



-REGULAR COUNCIL MEETING AGENDA-

Meeting #: 1585
Date: Tuesday, June 20, 2023, 5:30 pm
Location: Council Chambers
7400 Prospect Street

"This meeting is being recorded as authorized by the Video Recording & Broadcasting of Open Meetings Policy.

Pages

1. **CALL TO ORDER (1:00pm)**
In honour of the Lil'wat7ul, the Village of Pemberton acknowledges that we are meeting within the unceded territory of the Lil'wat Nation.
2. **IN CAMERA**
Recommendation:
THAT the meeting is closed to the public in accordance with the *Community Charter* section 90 (1) (c) employee relations, (k) negotiations, and (g) litigation and related discussions that in the view of Council could reasonably expect to harm the interest of the municipality if they were held in public.
3. **RECESS REGULAR MEETING**
4. **RECONVENE REGULAR MEETING (5:30pm)**
In honour of the Lil'wat7ul, the Village of Pemberton acknowledges that we are meeting within the unceded territory of the Lil'wat Nation.
5. **APPROVAL OF AGENDA**
Recommendation:
THAT the agenda be approved as presented.
6. **ADOPTION OF MINUTES**
 - 6.1 **Regular Council Meeting No. 1584, Tuesday May 30, 2023** 4
Recommendation:
THAT the minutes of the Regular Council Meeting No. 1584, held Tuesday, May 30, 2023, be adopted as circulated.
7. **BUSINESS ARISING FROM THE PREVIOUS REGULAR COUNCIL MEETING**
8. **BUSINESS ARISING FROM THE COMMITTEE OF THE WHOLE**
9. **COMMITTEE MINUTES - FOR INFORMATION**
10. **DELEGATION**
 - 10.1 **Pemberton Rotary Club**
 - a. James Linklater, President, Karen Tomlinson, President Elect, Pemberton Rotary Club
11. **STAFF REPORTS**
 - 11.1 **Office of the CAO**
 - 11.2 **Corporate and Legislative Services**
 - a. **Community Enhancement Fund: Pemberton Barn Dance** 10
Recommendation:
THAT Council provide direction with respect to the allocation of funds from the Community Enhancement Fund for the 2023 Pemberton Barn Dance.

- b. Corporate Officer Appointment 17

Recommendation:

THAT the appointment of Sheena Fraser as Corporate Officer for the Village of Pemberton be rescinded effective June 30, 2023;

AND THAT Elizabeth Tracy be appointed as Corporate Office for the Village of Pemberton with all the duties and responsibilities assigned under Section 148 of the *Community Charter* and the Village of Pemberton Officers Bylaw No. 683, 2011, effective June 30, 2023.

11.3 Development Services

- a. ALC2023-001 Non-Adhering Residential Use, 7367 Pemberton Farm Road East 20

Recommendation:

THAT the Village of Pemberton supports the Agricultural Land Reserve application for Non-Adhering Residential Use, submitted for property at 7367 Pemberton Farm Road East, as presented;

AND THAT staff is authorized to upload this resolution to the Agricultural Land Commission.

- b. Housing Needs Report 2023 35

Recommendation:

THAT the Village of Pemberton Housing Needs Report be received for information.

11.4 Finance

11.5 Operations

11.6 Recreation

11.7 Pemberton Fire Rescue

12. BYLAWS

13. MAYOR'S Report

14. COUNCILLORS' Reports

15. CORRESPONDENCE

15.1 Correspondence for Action

15.2 Correspondence for Information

- a. Letters received from residents between April 19, 2023 and June 20, 2023, providing comments and/or concerns, respecting the Nkwúkwma (Benchlands) sub-area plan 109

- Matt DesBrisay, Village of Pemberton, April 19, 2023
- Allison Megeney, Village of Pemberton, April 19, 2023
- Myson Effa, Village of Pemberton, April 21, 2023
- Terrence Halliday, April 26, 2023
- Tim Hailwood, Village of Pemberton, May 6, 2023
- Cathy Bennis, Village of Pemberton, May 16, 2023
- Andrew Eells, Village of Pemberton, May 20, 2023
- LeeAnne Patterson, Village of Pemberton, May 21, 2023

- b. Rosa Andrew, Skel7aqsten Skel7antsut, dated May 28, 2023, regarding Declaration of 1911 126

c.	Sharon Gregson, Spokesperson, Coalition of Child Care Advocates of BC, dated June 4, 2023, regarding UBCM Child Care resolution	127
d.	Jen Ford, President, UBCM, dated June 6, 2023, regarding Municipal Farmland Tax Exemption resolution	130
e.	Patrick Weiler, MP, West Vancouver-Sunshine Coast-Sea to Sky Country, dated June 6, 2023, regarding funding under Youth Innovation Component of the Enabling Accessibility Fund	132
f.	Patrick Weiler, MP, West Vancouver-Sunshine Coast-Sea to Sky Country, dated June 7, 2023, regarding Visa-free travel to Canada	133
g.	Sarah Valentine, dated June 13, 2023, concerning development near Mosquito Lake	135
h.	Lisa Richardson, dated June 14, 2023, expressing concerns regarding development near Mosquito Lake	136

16. DECISION ON LATE BUSINESS

17. LATE BUSINESS

18. NOTICE OF MOTION

19. QUESTION PERIOD

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20. IN CAMERA CONTINUED

Recommendation:

THAT the meeting is closed to the public in accordance with the *Community Charter* section 90 (1) (c) employee relations, (k) negotiations, and (g) litigation and related discussions that in the view of Council could reasonably expect to harm the interest of the municipality if they were held in public.

21. RISE WITH REPORT

22. ADJOURNMENT OF REGULAR COUNCIL MEETING

Recommendation:

THAT the meeting be adjourned.

VILLAGE OF PEMBERTON
-REGULAR COUNCIL MEETING MINUTES-

Meeting #: 1584
Date: Tuesday, May 30, 2023, 9:00 am
Location: Council Chambers
7400 Prospect Street

COUNCILLORS: Mayor Mike Richman
Councillor Ted Craddock
Councillor Jennie Helmer
Councillor Katrina Nightingale
Councillor Laura Ramsden

STAFF: Elizabeth Tracy, Chief Administrative Officer
Tom Csima, Director of Operations
Ethan Fredeen, Deputy Corporate Officer

PUBLIC: 1
MEDIA: 0

This meeting was held via electronic means by Zoom webinar. A recording of the meeting was made available to the media and the public.

1. CALL TO ORDER

In honour of the Lil'wat7ul, the Village of Pemberton acknowledges that we are meeting within the unceded territory of the Lil'wat Nation.

At 9:03am Mayor Richman called the meeting to order.

2. APPROVAL OF AGENDA

Moved/Seconded

THAT the agenda be approved as presented.

CARRIED

3. ADOPTION OF MINUTES

3.1 Adoption of Minutes

Moved/Seconded

THAT the minutes from the following Council Meetings be adopted as a block as circulated:

- Regular Council Meeting No. 1581, Tuesday May 9, 2023;
- Special Council Meeting No. 1582, Thursday May 11, 2023; and
- Special Council Meeting No. 1583, Tuesday May 23, 2023.

CARRIED

4. BUSINESS ARISING FROM THE PREVIOUS REGULAR COUNCIL MEETING

There was no business arising.

5. BUSINESS ARISING FROM THE COMMITTEE OF THE WHOLE

5.1 Recommendation from the Committee of the Whole Meeting No. 244, Tuesday May 23, 2023

Moved/Seconded

THAT Staff be directed to consider the following alterations to the draft Nkwúkwma Sub-Area Plan to be considered and reported back at a future Committee of the Whole meeting:

- Explore a set requirement for a percentage of affordable housing units, either on-site or off-site, tied into each phase of development;
- Review maximum unit count exemption for affordable housing and applicability of housing agreements based on a clear definition of what qualifies as affordable housing;
- Explore Housing diversity options including a mix affordable and diverse housing throughout the development rather than in concentrated locations;
- Include the potential impact of provincial fourplex announcements in consideration of housing diversity;
- Explore more detailed climate action charter Development Permit Area Guidelines for buildings;
- Explore Active Transportation options such as shuttles or alternate modes of active transportation;
- Provide additional details and specifics for the proposed improvements to Eagle drive and a safe and appropriate secondary access ;
- Explore detailed opportunities to promote reconciliation, including Signage and education opportunities;
- Explore policy to ensure that the future Phase 3 rezoning direction has the ability to respond to community needs at the time, such as aligning housing needs with a future housing needs assessment and future amenity needs;
- Include the potential impact of provincial fourplex announcements in consideration of housing diversity;
- Clarify the greenspace allocation by type and amount; and
- Explore impacts on existing trail networks

CARRIED

6. COMMITTEE MINUTES - FOR INFORMATION

7. STAFF REPORTS

7.1 Office of the CAO

a. CAO Verbal Report

7.2 Corporate and Legislative Services

a. UBCM Statutory Farm Tax Exemption Resolution

Moved/Seconded

THAT Council direct staff to submit the “UBCM Statutory Farm Tax Exemption” resolution for consideration at the 2023 UBCM Convention.

CARRIED

7.3 Operations

a. 2022 Drinking Water System Annual Report

At 9:15am Tom Csimá, Director of Operations joined the meeting.

Director Csimá provided an update to Mayor & Council regarding:

- Annual Water Report;
- Water System Performance Assessment;
- Water Treatment Investigation; and
- Water Conservation.

Council inquired about the following regarding the 2022 Drinking Water System Annual Report:

- Manganese levels within the water;
- Leak detection technology;
- Water consumption compared to the national average;
- Current water systems ability to handle population growth; and
- Current aquifer levels.

Moved/Seconded

THAT Council receives the 2022 Drinking Water System Annual Report for information.

CARRIED

b. Crown Land Licence of Occupation Application - One Mile Lake Boardwalk

Moved/Seconded

THAT the application for a Crown Land License of Occupation for the One Mile Lake boardwalk be supported.

CARRIED

8. BYLAWS

There are no bylaws to be presented.

9. MAYOR’S Report

Mayor Richman attended and reported on the following meetings and events:

- Squamish Lillooet Regional District Board Meeting;
- Squamish Lillooet Regional District Committee of the Whole; and
- Sea to Sky Regional Hospital Board Meeting.

Additionally, Mayor Richman emphasized that any correspondence regarding the Nkwúkwna Benchlands development should be included in the subsequent meeting once it is received by

staff. Furthermore, the Mayor suggested that the correspondence should be included as part of the comprehensive report presented to the Council at a later date.

Moved/Seconded

THAT all pending correspondence awaiting Council receipt be brought forward during the June 20, 2023 Regular Council Meeting.

CARRIED

10. COUNCILLORS' Reports

Councillor Craddock attended and reported on the following meetings and events:

- Speikúmtn Community Forest Interim Board; and
- Diking District Meeting.

Councillor Nightingale attended and reported on the following meetings and events:

- Pemberton Arts Council.

Councillor Ramsden attended and reported on the following meetings and events:

- Pemberton Valley Utilities & Services Committee; and
- Pemberton & District Library Board.

11. CORRESPONDENCE

11.1 Correspondence for Action

- a. **Andrea Blaikie, Executive Director, Speikúmtn Community Forest, Dated May 23, 2023, Distribution of Funds to Shareholders**

Moved/Seconded

THAT the correspondence be referred to staff to draft a policy respecting how the Village will disburse funds received through the Speikúmtn Community Forest Partnership;

AND THAT staff prepare a list of shovel ready projects that might align with the guiding values as provided by the Speikúmtn Community Forest;

AND THAT the draft policy and shovel ready list of projects be brought back to a future Committee of the Whole meeting for discussion.

CARRIED

11.2 Correspondence for Information

- a. **Ruth Hoyte, Mayor, District of Coldstream, dated May 9, 2023, Homes for People Action Plan Letter to the Minister of Housing**

Moved/Seconded

THAT correspondence be received for information.

CARRIED

12. IN CAMERA (11:00AM)

Moved/Seconded

THAT the meeting is closed to the public in accordance with the *Community Charter* section 90 (1) (c) employee relations, (d) security of property, (g) litigation, and (k) negotiations and related discussions that in the view of Council could reasonably be expected to harm the interests of the municipality if held in public.

CARRIED

At 10:30am Council moved to In Camera.

13. RISE WITH REPORT FROM IN CAMERA

At 12:06pm Council rose without report.

14. RECESS REGULAR MEETING

At 12:07pm Council recessed the Regular Meeting.

15. RECONVENE REGULAR MEETING FOLLOWING THE COMMITTEE OF THE WHOLE

In honour of the Lil'wat7ul, the Village of Pemberton acknowledges that we are meeting within the unceded territory of the Lil'wat Nation.

At 2:14pm Council reconvened the Regular Meeting.

16. IN CAMERA, CONTINUED (2:30PM)

Moved/Seconded

THAT the meeting is closed to the public in accordance with the *Community Charter* section 90 (1) (c) employee relations, (d) security of property, (g) litigation, and (k) negotiations and related discussions that in the view of Council could reasonably be expected to harm the interests of the municipality if held in public.

CARRIED

At 2:15pm Council moved to In Camera.

17. RISE WITH REPORT

At 4:14pm Council rose without report.

18. DECISION ON LATE BUSINESS

19. LATE BUSINESS

20. NOTICE OF MOTION

21. QUESTION PERIOD

There were no questions from the public.

22. ADJOURNMENT OF REGULAR COUNCIL MEETING

At 4:18pm the meeting was adjourned.

Moved/Seconded

THAT the meeting be adjourned.

CARRIED

Mike Richman, Mayor

Ethan Fredeen, Deputy Corporate Officer

DRAFT

Date: Tuesday, June 20, 2023

To: Elizabeth Tracy, Chief Administrative Officer

From: Ethan Fredeen, Deputy Corporate Officer

Subject: Community Enhancement Fund: Pemberton Barn Dance

PURPOSE

The purpose of this report is to request funding from the Community Enhancement Fund (CEF) to support the Rotary Club & Lions Club's "Pemberton Barn Dance" being held on Saturday, September 16th, 2023.

BACKGROUND

The Village has received a request for funding to support a community event. Rotary Club & Lions Club is seeking support for the activities related to their Dance scheduled over September 16th, 2023. While the Rotary & Lions Club call for support is not a request through the established application process the Village has traditionally allocated funds from the Community Enhancement Fund to sponsor the Pemberton Barn Dance.

Criteria

The Community Enhancement Fund application states that the Village will provide funding to not-for-profit organizations, entities or societies based within the Village of Pemberton that are considered by Council to be contributing to the general interest and benefit of its residents in the following areas:

- Sports, Recreation and Education
- Arts and Culture, or
- Special Events.

The funds available for grants are limited and may not be sufficient to fund all requests for grants made in any one year. Grants will be awarded at Council's discretion and will be authorized by Council resolution.

As such, Council has established the following priorities:

- a) non-profit groups and/or activities which either promote the Village of Pemberton; or
- b) benefit a large number of Pemberton residents; or
- c) involve participation of a large number of Pemberton residents; or
- d) others as authorized by statute.

Applications or events that have secured additional funding through fundraising or own initiative will be given priority.

Funding will be considered for Village organizations providing sports, recreation and education, arts and culture, and special event services in any of the following:

- New Programs
- Expansion of current programs
- Leadership development
- New or expanded special events
- Special projects

DISCUSSION & COMMENTS

2023 Pemberton Barn Dance

The Rotary and Lions Club request for sponsorship funding is attached as **Appendix A**. Rotary and Lions Club is requesting funding, to support the 2023 Pemberton Barn dance which is scheduled for September 16th, at the “Downtown Barn”. The Pemberton Barn Dance will be a well attended community event with live music and a large dance floor.

An overview of the event program and budget is attached in **Appendix A**. Rotary & Lions Club are seeking support from other community organizations and businesses as well.

The Pemberton Barn Dance has received funding support from the Village in the past through the Community Enhancement Fund. A breakdown of the funding support is shown below:

Pemberton Barn Dance Contributions		
Year	CEF Funding	Event Sponsor
2017	\$1,500	Sponsorship
2018	\$1,500	Sponsorship
2019	\$2,500	Platinum Sponsorship
Total	\$5,500	

The request for funding meets with the criteria as set out in the Community Enhancement Fund Policy.

The Village has received several requests for funding recently and as a result, the Community Enhancement Fund has been well subscribed leaving only \$1,500 for the rest of the year. Staff anticipate there will be more requests for funding over the summer and into the fall. As such, Council may wish to consider making a smaller contribution this year and be a personal sponsor for \$400.00 leaving \$1,100 for the remainder of the year.

Community Enhancement Fund:

The Community Enhancement Fund (CEF) budget is established at \$7,500. The Pemberton Secondary School Bursary is allocated from this fund and because of an increase to the bursary being approved in 2022 is now established at \$3,000 and set aside at the beginning of each

year for this purpose. As such, \$4,500 is available for the remainder of the year to be used to support community activities.

During the COVID-19 Pandemic the Village did not receive many requests for funding through this program due to many community events being paused because of public health orders and gathering restrictions. As well, the Pemberton and District Initiative Fund (PDIF) was established, and many groups are now accessing funding support through that program overseen by the Squamish-Lillooet Regional District.

The fund also supports other smaller events and/or activities and the Village will utilize funding from this program to support fundraisers by contributing a silent auction item such as a gift basket.

Last year the Village supported the following programs/events and activities:

Pemberton Secondary Bursary	\$3,000	
Lil'wat Mount Currie Rodeo	\$1,000	Peewee Barrel Racing Sponsor
Lil'wat Christmas Bureau	\$ 500	
Museum	\$ 500	Haunted House Event
Pemberton Health Care Foundation	\$1,200	Call for donations at Christmas
Rotary/Chamber Golf Tournament	\$ 500	Tee Sponsor
Sea to Sky Pemberton Food Bank	\$ 500	Christmas Hamper Program
Tourism Pemberton Slow Food Cycle	\$ 250	Bronze Sponsor

COMMUNICATIONS

There are no communications elements anticipated.

LEGAL CONSIDERATIONS

There are no legal considerations at this time.

IMPACT ON BUDGET & STAFFING

Community Enhancement Fund Reconciliation – As of June 9th, 2023

2023 Budget Amount		\$7,500	
Contributions Expensed:		PROPOSED	
Village of Pemberton Bursary	\$3,000		Yearly allocation
Lil'wat Christmas Bureau	\$500		Mtg No. 1578, March 28, 2023 Christmas Hamper Program – to be
Pemberton Secondary School - Red Devils Alumni Association	\$250		Mtg No. 1579, April 11, 2023 Donation
Pemberton Secondary School Rotary Interact Club	\$250		Mtg No. 1579, April 11, 2023 Hoop-a-Thon
Chamber/Rotary Golf Tournament	\$500		Mtg No. 1578, March 28, 2023 Bronze Sponsorship
Sea to Sky Community Services – Pemberton Food Bank	\$500		Mtg No. 1578, March 28, 2023 Christmas Hamper
Stewardship Pemberton	\$500		Mtg No. 1578, March 28, 2023 Earth Day Event
Lil'wat Nation 2023 Rodeo	\$500		Mtg No. 1581, May 9, 2023
TOTAL ALLOCATED TO DATE:	\$6,000		
CEF FUNDS REMAINING:		\$1,500	
Requested Contribution:			
Community Barn Dance		\$400	Personal sponsorship
Remainder after contribution:		\$1,100	

INTERDEPARTMENTAL IMPACT & APPROVAL

The funding requests, as presented, can be accommodated as shown above and the administration of the Community Enhancement Fund is incorporated into the day-to-day activities of the Corporate & Legislative Services Department and the Finance Department.

Interdepartmental Approval by:	Thomas Sikora, Manager of Finance
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COMMUNITY CLIMATE ACTION PLAN

This initiative has no impact on the Community Climate Action Plan strategies.

IMPACT ON THE REGION OR NEIGHBOURING JURISDICTIONS

Both events will benefit residents from all of the neighbouring jurisdictions.

ALTERNATIVE OPTIONS

Option One: Approve a contribution from the Community Enhancement Fund, in the amount of \$400 for a Personal Sponsorship.

Option Two: Approve a contribution from the Community Enhancement Fund, in an amount to be determined by Council, to support the event operations.

RECOMMENDATIONS

THAT Council provide direction with respect to the allocation of funds from the Community Enhancement Fund for the 2023 Pemberton Barn Dance.

ATTACHMENTS:

Appendix A: 21st Pemberton Barn Dance Request Letter

Appendix B: Sponsorship Package 2023

Prepared by:	Ethan Fredeen, Deputy Corporate Officer
CAO Approval by:	Elizabeth Tracy, Chief Administrative Officer



Pemberton

21st Pemberton Barn Dance

Dear Sir/Madam:

Over the past 20 years locals, friends and guests of Pemberton have celebrated the "Pemberton Barn Dance". This event is organized by the Rotary Club of Pemberton & Lions Club of Pemberton as a fundraiser for local projects. This year's event takes place Saturday, September 16th, 2023 at the "Downtown Barn" with up to 600 tickets being sold.

The event hosts live music, a large dance floor, lighting, concession stand and beverage bar provided in a safe controlled area. The barn is enclosed with screened fencing with certified security, portable toilets, bales of hay, tables & chairs. The event requires insurance, permits, public notices, licenses, advertising, tickets and other expenses.

To help cover the cost of these expenses the event organizers look to sponsors to support the event. On the attached page you will find opportunities for different levels of sponsorship. Please seriously consider supporting this event as your sponsorship directly impacts the clubs' abilities to fund local projects.

Monies raised from past events have gone toward local projects such as the Lion's Seniors Villa, improvements to One Mile Lake trail system, docks and dog beach, the new recreation site, among others. Proceeds from this year's event will go toward supporting the local projects that the Lions & Rotary Clubs have historically done for new & emerging projects being planned.

We look forward to hearing from you in regard to support for this year's Pemberton Barn Dance. Cheques can be made payable to the "Rotary Club of Pemberton". Please contact Richard Megeney at [REDACTED].

Sincerely,

James Linklater- President, Rotary Club of Pemberton

Derek Graves - President, Lions Club of Pemberton

Pemberton Barn Dance



Pemberton

Sponsorship Package 2023

Title Sponsor - \$6500 Plus (1 Available)

Named in title "2023 Barn Dance sponsored by Your Business", included in all advertising (signage, posters, radio, social media, and newspaper thank you ad), Logo/Name on Stage Pop-up Banners / Screen Visuals (tbd), stage banner space, MC announcements & 15 sponsor tickets.

Platinum Sponsor - \$5000 (2 Available)

Logo/Name on advertising (signage, posters, social media, and newspaper thank you ad), dancefloor banner space, MC announcements & 10 sponsor tickets.

Gold Sponsor - \$2500

Logo on posters, entrance banner space, newspaper thank you ad, MC announcement & 6 sponsor tickets.

Personal Sponsor - \$400

Logo in thank you ad, banner space, MC announcement and 2 sponsor tickets.

Product in kind Donations

Will be considered based on need & value - please inquire

Package Selected (check one): Title Sponsor Platinum Gold Personal

Business Name: _____ Contact Person: _____

Phone Number: _____ Email Address: _____

Sponsorship Details:

Confirmation and contract deadline: July 5, 2023. PNG version of logo at deadline. Supply banners one week prior to the event.

For more details or questions, please contact Graham Page, Barn Dance Coordinator at [redacted] or [redacted]

Date: Tuesday, June 20, 2023

To: Elizabeth Tracy, Chief Administrative Officer

From: Sheena Fraser, Manager, Corporate & Legislative Services

Subject: Corporate Officer Appointment

PURPOSE

The purpose of this report is to appoint a new Corporate Officer for the Village of Pemberton.

BACKGROUND

Section 146 of the *Community Charter* requires that a Council “must, by bylaw, establish officer positions in relation to the powers, duties and functions under sections 148 (corporate officer) and 149 (financial officer)” and “may, by bylaw, establish other officer positions” such as the Chief Administrative Officer.

Section 148 of the *Community Charter* is provided below for information:

Corporate officer

148 One of the municipal officer positions must be assigned the responsibility of corporate administration, which includes the following powers, duties and functions:

- (a) ensuring that accurate minutes of the meetings of the council and council committees are prepared and that the minutes, bylaws and other records of the business of the council and council committees are maintained and kept safe;
- (b) ensuring that access is provided to records of the council and council committees, as required by law or authorized by the council;
- (c) administering oaths and taking affirmations, affidavits and declarations required to be taken under this Act or any other Act relating to municipalities;
- (d) certifying copies of bylaws and other documents, as required or requested;
- (e) accepting, on behalf of the council or municipality, notices and documents that are required or permitted to be given to, served on, filed with or otherwise provided to the council or municipality;
- (f) keeping the corporate seal, if any, and having it affixed to documents as required.

In January 2009 Sheena Fraser was appointed Corporate Officer for the Village of Pemberton pursuant to section 148 of the *Community Charter*. Ms. Fraser has held that position since that time.

Subsequently, in 2011, the Village adopted Village of Pemberton Officers Bylaw No. 683, 2011 which established the Manager of Administration (now Manager of Corporate & Legislative Services) and the Manager of Finance positions as Officer Positions. The Bylaw established the powers, duties, and responsibilities for both positions as set out in the relevant sections of the *Community Charter*.

DISCUSSION & COMMENTS

In February 2023, Ms. Fraser submitted to the Chief Administrative Officer her Notice of Retirement effective June 30, 2023. As Ms. Fraser will be retiring from the position of Manager of Corporate & Legislative Services, she is also retiring from holding the position of Corporate Officer for the Village of Pemberton. As such, it is necessary to rescind Ms. Fraser's appointment and appoint a new Corporate Officer.

At the Regular Meeting No. 1581, held April 25, 2023, Mr. Ethan Fredeen was appointed as the Deputy Corporate Officer which is a new role for the Village. While Mr. Fredeen could fulfill the duties and responsibilities in his capacity as the Deputy, it is prudent to appoint a Corporate Officer so there is redundancy in the event Mr. Fredeen is away from the office.

It is recommended that Elizabeth Tracy, Chief Administrative Officer, be appointed as the Corporate Officer until the position of Manager, Corporate & Legislative Services has been filled.

In preparing this report, Staff reviewed the current Village of Pemberton Officers Bylaw and established that it needs updating to reflect the current organizational structure. As such, a new bylaw will be drafted and brought forward for readings at a future meeting.

COMMUNICATIONS

There is no communications element required at this time.

LEGAL CONSIDERATIONS

The appointment of a Corporate Officer meets with the intent of s. 148 of the Community Charter.

IMPACT ON BUDGET & STAFFING

There is no impact on the budget for the appointment of the Corporate Officer.

INTERDEPARTMENTAL IMPACT & APPROVAL

There are no interdepartmental impacts anticipated.

COMMUNITY CLIMATE ACTION PLAN

This initiative is not applicable to the CCAP strategies.

IMPACT ON THE REGION OR NEIGHBOURING JURISDICTIONS

The appointment of the Corporate Officer for the Village of Pemberton has no impacts on other jurisdictions.

ALTERNATIVE OPTIONS

There are no alternative options for consideration.

RECOMMENDATIONS

THAT the appointment of Sheena Fraser as Corporate Officer for the Village of Pemberton be rescinded effective June 30, 2023;

AND THAT Elizabeth Tracy be appointed as Corporate Office for the Village of Pemberton with all the duties and responsibilities assigned under Section 148 of the *Community Charter* and the Village of Pemberton Officers Bylaw No. 683, 2011, effective June 30, 2023.

ATTACHMENTS:

None

Prepared & submitted by:	Sheena Fraser, Manager, Corporate & Legislative Services
CAO Approval by:	Elizabeth Tracy, Chief Administrative Officer

Date: Tuesday, June 20, 2023

To: Elizabeth Tracy, Chief Administrative Officer

From: Colin Brown MCP, Planner II

Subject: ALC2023-001 Non-Adhering Residential Use Application, 7367 Pemberton Farm Road East

PURPOSE

The purpose of this report is to seek input from the Council on a non-adhering residential use application to construct a barn and residential unit in the Agricultural Land Reserve.

BACKGROUND

The Village of Pemberton (the Village) has received an application from the Agricultural Land Commission (ALC), on behalf of Joanne Den Duyf, property owner at 7367 Pemberton Farm Road East. The application is to allow a proposed barn with a residence above, similar to a carriage house. A Location Map and the Application Package is attached as **Appendix A**.

The proposed barn complies with Village of Pemberton Zoning Bylaw No. 832, 2018; however, the property is in the Agricultural Land Reserve (ALR) and must comply with ALR regulations. The regulations restrict the floor area of the second dwelling unit, above the barn, to a maximum of 90 square metres. The proposed dwelling unit is to be 183 square metres. The proposed barn and dwelling unit therefore require ALC approval as a non-adhering residential use.

The ALC process requires that the Village of Pemberton provide input before the application is sent to the commission for consideration.

DISCUSSION & COMMENTS

The property has established agriculture as a principal use and currently produces hay. A developing farm application was submitted in November 2022 for an orchard. The applicant is concerned about the affordability of developing the principal dwelling, the barn, and new farm infrastructure (clearing, irrigation, drainage, fencing) at the same time. Constructing the barn with a residence first will allow the owner to live on the property before proceeding with the house and farm improvements for the orchard.

Zoning for the property is A-1 Agriculture, which allows for a Farm Residence, of up to 350 square metres (m²). The proposed dwelling unit over the barn will be 183 square metres. The zone also allows a Detached Dwelling that will permit the primary Farm Residence in the future, and the secondary dwelling unit as a Detached Dwelling for Farm Help.

ALR Regulations allow for two (2) dwelling units to be located on a property; however, they restrict the floor area for properties of less than 40 hectares (subject property is 8.9 hectares):

Primary Dwelling – restricted to maximum of 500 square metres

Secondary Dwelling – restricted to maximum of 90 square metres

The regulations do not stipulate which dwelling is constructed first, which allows for the applicant to build the barn before the primary dwelling. The floor area of the proposed barn with the secondary dwelling is 183 square metres which exceeds the restriction of 90 square metres and requires approval from the Agricultural Land Commission (ALC) to allow the non-adhering residential use. This is the matter to be addressed with this application.

Staff review confirms that the proposed development complies with Village of Pemberton Zoning Bylaw No. 832, 2018. Furthermore, the current Village of Pemberton Official Community Plan provides policies and direction that supports development and enhancement of agriculture:

5.8 AGRICULTURE AND RELATED BUSINESSES ARE RETAINED AND ENCOURAGED

Agriculture has been fundamental to the settlement of the Pemberton Valley. The community recognizes the importance of this economic and social generator. The area has fertile soil and a climate that permits a longer growing season that will assist in providing farming products to the region. The following policies, strategies and actions puts an increased emphasis on the importance of not only protecting agriculture but also expanding the opportunities in both rural and developed areas.

5.8.1 Agriculture Policies

- *Preserve and facilitate the enhancement of productive farmland;*
- *Promote local food production and sales;*
- *Accommodate community supported agricultural opportunities and land uses; and*
- *Support a wide range of agricultural practices and preserve land to build local food protection capacity.*

Given that the proposed development complies with Village bylaws and is part of improvements to agricultural production on the property, staff recommends that Council support the ALC application for the non-adhering residential use. Furthermore, the proposed residential unit will use the same footprint as the barn and leaves more land available for agriculture.

COMMUNICATIONS

The application package was circulated to internal departments seeking input. No concerns were identified and seeing that the proposed development complies with Village bylaws, there are no further communications considerations at this time.

LEGAL CONSIDERATIONS

The property at 7367 Pemberton Farm Road East is located in the Agricultural Land Reserve and are subject to ALR Regulations. In the event that Village bylaws and policies are in conflict, the ALR Regulations take precedent. For this application, the ALR Regulations have different requirements for a second residence on a farm and requires ALC approval for the proposed development. More information on the Agricultural Land Reserve is available on the website: <https://www.alc.gov.bc.ca/>

IMPACT ON BUDGET & STAFFING

There are no impacts to the budget or staff hours for considerations at this time.

COMMUNITY CLIMATE ACTION PLAN

The Community Climate Action Plan (CCAP) was adopted in March 2022. Agriculture and food are important sustainability considerations for Pemberton. The CCAP provides the following strategies related to Food:

FOOD	
FOOD 1.1 Support local food production and consumption	a. Accelerate implementation of the Village of Pemberton Community Agricultural Parks Master Plan . b. Support local food production through the encouragement of farmer’s markets and community gardening space within multi-family developments.
FOOD 1.2 Reduce regional food waste/increase regional food recovery	a. Implement relevant actions from the Sea to Sky Food Recovery Strategy and Action Plan . b. Continue to work with community stakeholders and regional partners to advance food recovery, security and resiliency in the Sea to Sky.

IMPACT ON THE REGION OR NEIGHBOURING JURISDICTIONS

The development of this property must adhere to the policies and regulations of the Agricultural Land Reserve and the decisions of the Agricultural Land Commission. Riparian setbacks from the Lillooet River North Arm must be followed using provincial regulations. Development in the flood plain must follow the established flood construction level and consult the Pemberton Valley Dyking District, as needed.

ALTERNATIVE OPTIONS

Option One: (recommended)

THAT the Village of Pemberton supports the Agricultural Land Reserve application for Non-Adhering Residential Use, submitted for property at 7367 Pemberton Farm Road East, as presented;

AND THAT staff is authorized to upload this resolution to the Agricultural Land Commission.

Option Two:

THAT the Village of Pemberton supports the Agricultural Land Reserve application for Non-Adhering Residential Use, submitted for property at 7367 Pemberton Farm Road East, and adds the following comments:

- (determined through Council discussion)

AND THAT staff is authorized to upload this resolution with Council's comments to the Agricultural Land Commission

RECOMMENDATIONS

THAT the Village of Pemberton supports the Agricultural Land Reserve application for Non-Adhering Residential Use, submitted for property at 7367 Pemberton Farm Road East, as presented;

AND THAT staff is authorized to upload this resolution to the Agricultural Land Commission.

ATTACHMENTS:

Appendix A: Location Map and Application Package

Submitted by:	Colin Brown MCP, Planner II
Manager Approval:	Scott McRae, Manager of Development Services
CAO Approval by:	Elizabeth Tracy, Chief Administrative Officer

7367 Pemberton Farm Road East



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Esri Canada



Provincial Agricultural Land Commission - Applicant Submission

Application ID: 67818

Application Status: Under LG Review

Applicant: Joanne Den Duyf

Local Government: Village of Pemberton

Local Government Date of Receipt: 04/20/2023

ALC Date of Receipt: This application has not been submitted to ALC yet.

Proposal Type: Non-Adhering Residential Use - Additional Residence for Farm Use

Proposal: I am seeking approval to build an oversized secondary residence ahead of the primary residence. My property is 22 acres, making a second residence of 90m² possible. I would like to build a 32'x64' (190.27m²) barn/garage with suite above. When I remove the deck size and add the lower entry, the suite is approximately 183m².

Mailing Address :

[REDACTED]

Parcel Information

Parcel(s) Under Application

1. **Ownership Type :** Fee Simple

Parcel Identifier : 030-164-541

Legal Description : LOT D DISTRICT LOT 211 LILLOOET DISTRICT PLAN EPP40824

Parcel Area : 8.9 ha

Civic Address : 7367 Pemberton Farm Road East

Date of Purchase : 07/07/2017

Farm Classification : Yes

Owners

1. **Name :** Joanne Den Duyf

Address :

[REDACTED]

Current Use of Parcels Under Application

1. Quantify and describe in detail all agriculture that currently takes place on the parcel(s).

The property has been producing hay for some time. A developing farm application was submitted November 9, 2022 for an orchard. A similar application was submitted October 27, 2017.

2. Quantify and describe in detail all agricultural improvements made to the parcel(s).

I was unable to get hydro onsite until July 2021, in spite of paying \$15,000 for a Hydro design in 2018. Field drilling dug a well in August 2022.

It is my intent to plant an orchard including - clearing, installing irrigation, drainage, fencing, and planting.

3. Quantify and describe all non-agricultural uses that currently take place on the parcel(s).

No non-agricultural activity.

Adjacent Land Uses

North

Land Use Type: Other

Specify Activity : Rail line

East

Land Use Type: Recreational

Specify Activity : Village of Pemberton Recreation Site

South

Land Use Type: Agricultural/Farm

Specify Activity : PID 013-256-378 haying

West

Land Use Type: Agricultural/Farm

Specify Activity : PID 013-256-378 haying

Proposal

1. What is the purpose of the proposal?

I am seeking approval to build an oversized secondary residence ahead of the primary residence. My property is 22 acres, making a second residence of 90m² possible. I would like to build a 32'x64' (190.27m²) barn/garage with suite above. When I remove the deck size and add the lower entry, the suite is approximately 183m².

2. Describe the necessity for an additional residence for farm use and how it will support agriculture in the short or long term.

There are currently no structures on the property. I cannot afford to build a primary residence, a barn and

invest in farming infrastructure/start up at the same time.

Having one structure with combined uses preserves the area of farm land available for farming.

Having the suite on site will facilitate our family living on the land ahead of building a primary, larger home in future and allow us to invest funds in the property - orchard (fencing, irrigation, whips), bees, chickens and eventually grazing animals. We have been hesitant to do anything beyond hay without living on the property.

3. Describe the size, type and number, as well as occupancy of all residential structures currently located on the property.

N/A

4. What is the total floor area of the proposed additional residence in square metres?

183 m²

5. Describe the rationale for the proposed location of the additional residence.

The barn/garage with suite will be parallel to an existing driveway which leads to the site of the future primary residence.

6. What is the total area of infrastructure necessary to support the additional residence?

There would be a small driveway to access both ends of the barn off the existing driveway.

A well house needs to be built for watering the farm. My understanding is that no permit is required for a 10'x10' building. I would like a larger building so that the water treatment system can be properly contained within. No larger than 20'x20'.

7. Do you need to import any fill to construct the additional residence or infrastructure?

Yes

Proposal dimensions

Total fill placement area (0.01 ha is 100 m²) *0.03025 ha*

Maximum depth of material to be placed as fill *0.61 m*

Volume of material to be placed as fill *164.53 m³*

Estimated duration of the project. *1 Years 6 Months*

Describe the type and amount of fill proposed to be placed.

6" minus - 216m²

3/4" minus - 54m²

Briefly describe the origin and quality of fill.

Lot D was part of Lot 4 until subdivided. Lot 4 was entirely considered ALR land until removed sometime around 2016. The 6" material from Lot C (7362 Pemberton Farm Road E) stockpile. The 3/4" minus from Lot A (2001 Sunstone Way) stockpile.

Applicant Attachments

- Proposal Sketch - 67818
- Other correspondence or file information - Barn-Suite Plan
- Other correspondence or file information - Site Plan
- Other correspondence or file information - Aerial Photo
- Certificate of Title - 030-164-541

ALC Attachments

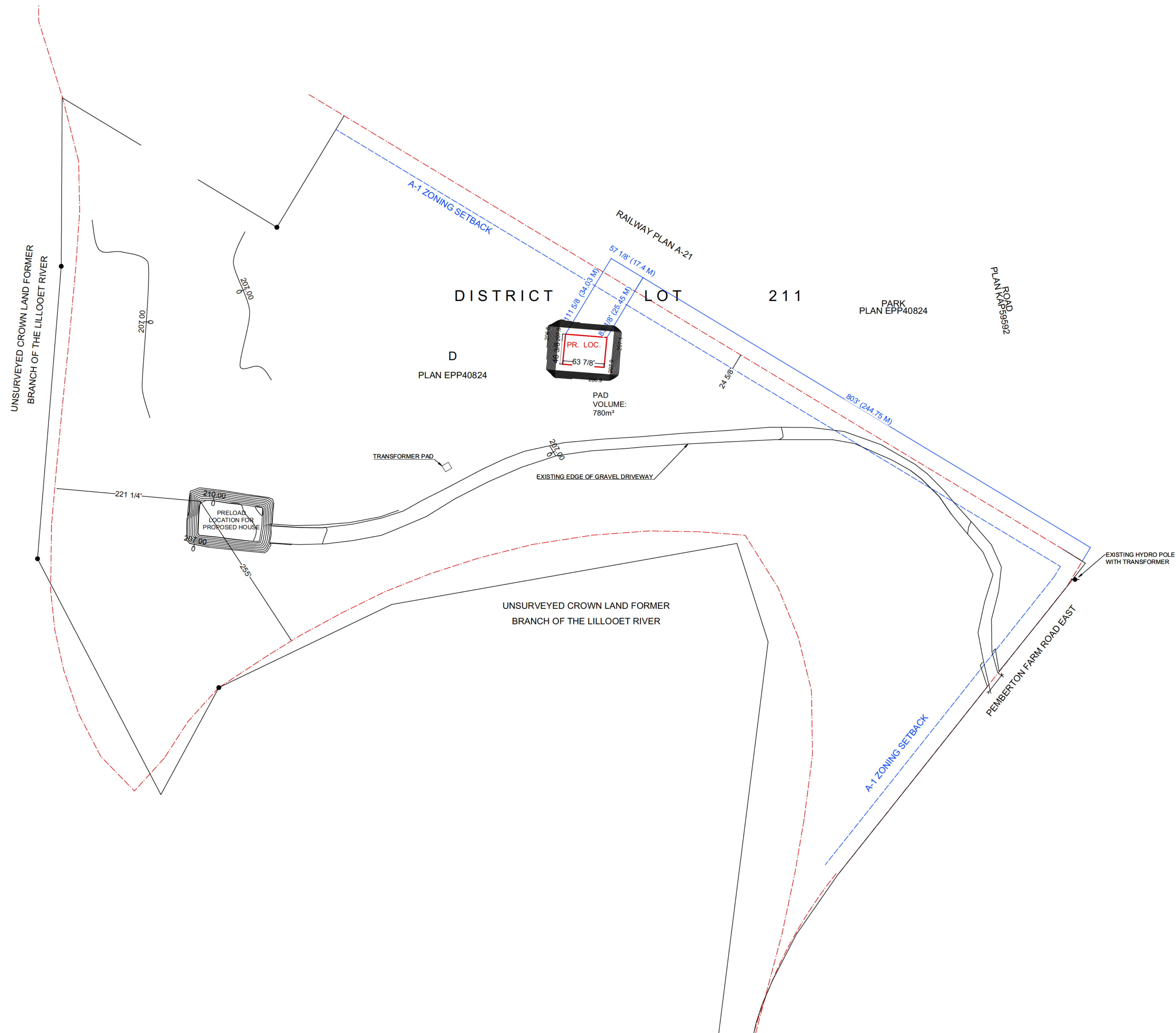
None.

Decisions

None.

SITE STATISTICS

CIVIC ADDRESS	7367 PEMBERTON FARM ROAD EAST	
LEGAL DESCRIPTION	LOT D, DISTRICT LOT 211, LILLOOET DISTRICT, PLAN EPP40824 PID: 030-164-541	
ZONING	AGRICULTURE A (A-1)	
SITE AREA:	8.9 Ha	
FLOOD CONTROL LEVEL:	208.75 M'	
PROPOSAL INFORMATION	ALLOWED/REQUIRED	PROPOSED
PROPOSED LOT COVERAGE:	N/A	.003% (N/A)
PROPOSED GFA:	350 SQ M	332 SQ M
MAX HEIGHT: FROM LOWEST AVERAGE GRADE	10.5 M (34.4')	7 M (22' 11-12")
FRONT LOT LINE SETBACK:	7.5 M	244.75 M
REAR LOT LINE SETBACK:	7.5 M	N/A
INTERIOR SIDE SETBACK:	7.5 M	25.45 M
EXTERIOR SIDE SETBACK	7.5 M	N/A



FOR BUILDING PERMIT		
No.	Date	Issue Notes
A	MAR 20/2023	Minor amendment to site plan (transformer location) and area overlays
Design Firm 6226 Eagle Drive Whistler, BC, V0N 1B6 as@allieshielddesign.com 604 966-7758		
1. This drawing is not to be scaled. Dimensions are approximate. Any discrepancies noted on this drawing must be reported to the consultant immediately. 2. By using this document the client agrees that the consultant's liability for services including negligence and omissions is strictly limited to the value of fees paid. The client agrees to indemnify and defend the consultant in the event of third party claims alleging negligence and/or injury as a result of services rendered.		
Project Title 7367 PEMBERTON FARM ROAD EAST PEMBERTON, BC		
SITE		
Date	Project ID	
AUGUST 2020	1811	
Drawn By	Scale	
AS	1:1000 @ ARCH D	
Sheet No		
		A 0.00
CAD File Name		Page 29 of 138
1811 LOT211		

1 SITE PLAN
Scale: 1:1000



SITE STATISTICS

CIVIC ADDRESS	7367 PEMBERTON FARM ROAD EAST	
LEGAL DESCRIPTION	LOT D, DISTRICT LOT 211, LILLOOET DISTRICT, PLAN EPP40824 PID: 030-164-541	
ZONING	AGRICULTURE A (A-1)	
SITE AREA:	8.9 Ha	
FLOOD CONTROL LEVEL:	208.75 M'	
PROPOSAL INFORMATION	ALLOWED/REQUIRED	PROPOSED
PROPOSED LOT COVERAGE:	N/A	.003% (N/A)
PROPOSED GFA:	350 SQ M	332 SQ M
MAX HEIGHT: FROM LOWEST AVERAGE GRADE	10.5 M (34.4')	7 M (22'-11-1/2")
FRONT LOT LINE SETBACK:	7.5 M	244.75 M
REAR LOT LINE SETBACK:	7.5 M	N/A
INTERIOR SIDE SETBACK:	7.5 M	25.45 M
EXTERIOR SIDE SETBACK	7.5 M	N/A

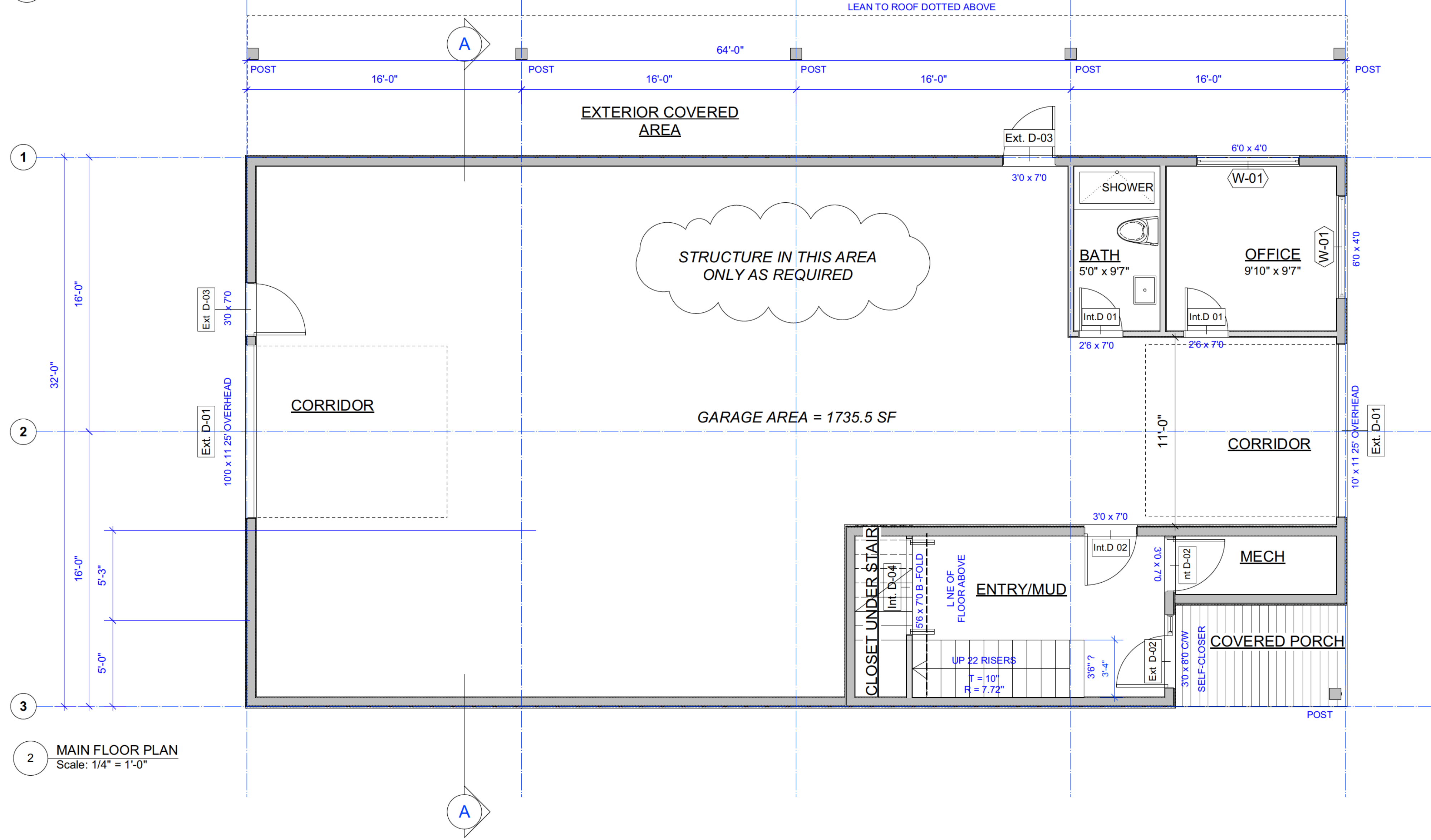
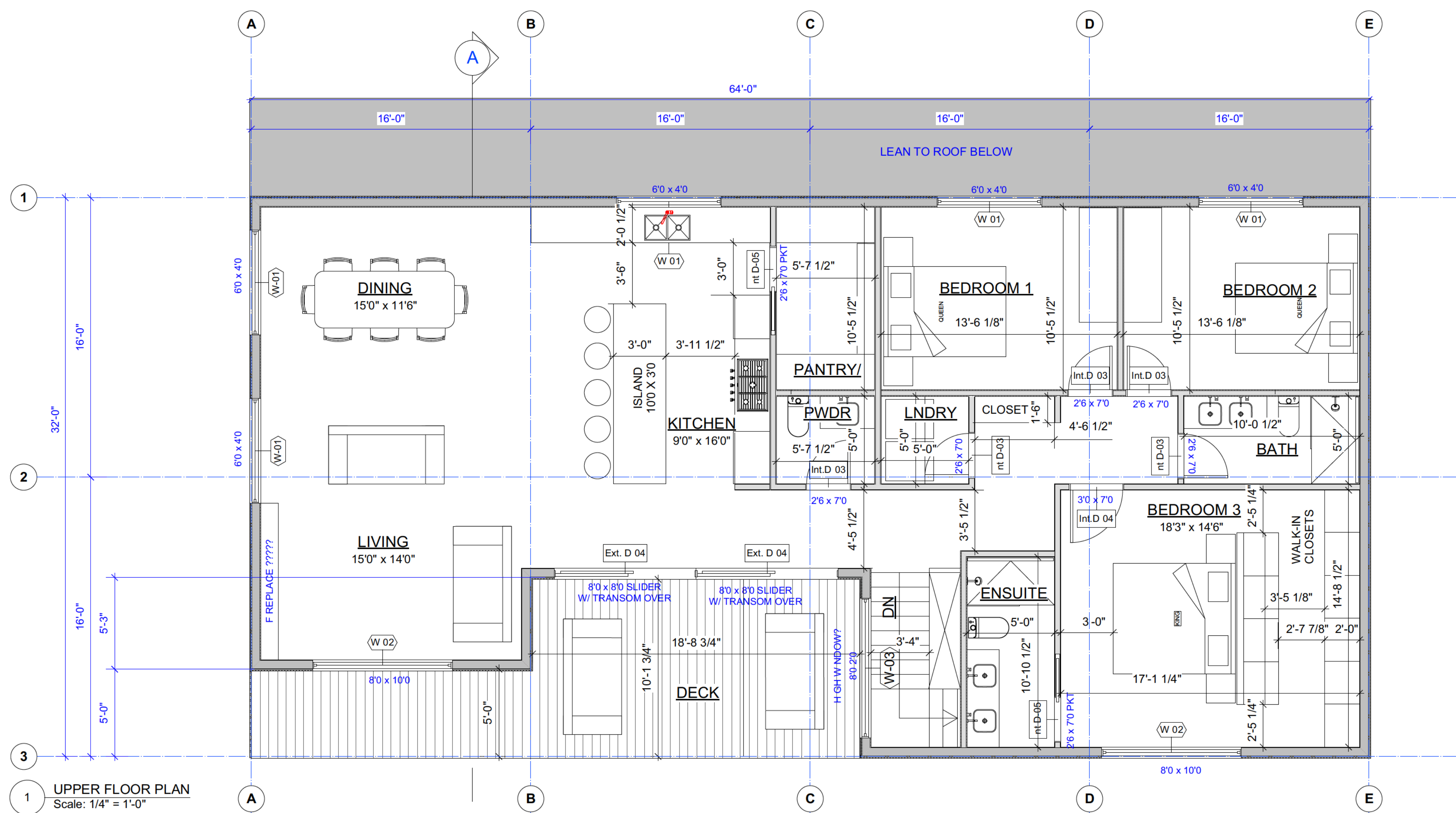


1 SITE PLAN
Scale: 1:1000



FOR BUILDING PERMIT		
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SITE		
Date	Project ID	
AUGUST 2020	1811	
Drawn By	Scale	
AS	1:1000 @ ARCH D	
	Sheet No	
		A 0.00
CAD File Name	Page 30 of 138	
1811 LOT211		

SEE ENGINEERED STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



FOR INFORMATION

- REV. A - FEBRUARY 28, 2019
- REV. B - MARCH 06, 2019
- REV. C - MAY 15, 2020
- REV. D - MAY 19, 2020
- REV. E - MAY 25 2020
- REV. F - JUNE 19 2020

No.	Date	Issue Notes
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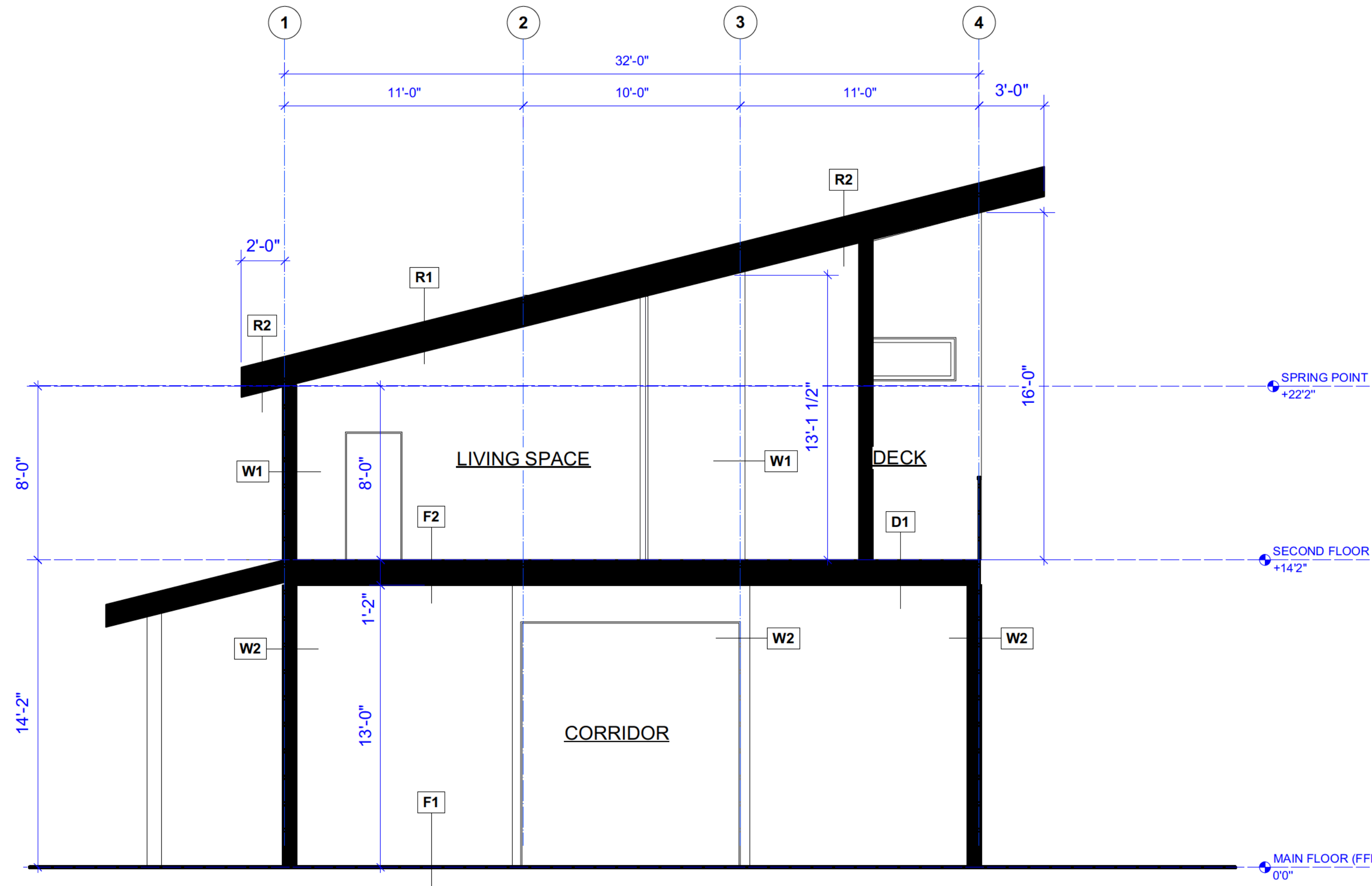
Project Title:
**DISTRICT LOT 211
PEMBERTON, BC**

PLANS

Date	FEB 2019	Project ID	1811
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		Sheet No.	

CAD File Name:
1811 LOT211

SK01



1 SECTION AA
Scale: 1/4" = 1'-0"

NOTE: ALL ASSEMBLIES TO BE CONFIRMED BY ENERGY ASSESSOR/STEP CODE REPORT

Roof Assemblies

Assembly	RSI	REQ'D
R1 Insulated Sloped Roof	4.67	REQ'D
Ext. Air Film	0.03	R-26.5
2 ply SBS modified bitumen Roofing membrane	-	
5/8" Exterior grade T & G plywood sheathing	0.135	
Strapping layed to create 1% min fall	-	
TJI roof joists as per Struct	-	
R28 Roxul Insulation 7 1/4"	4.93	
1/2" GWB or Wood ceiling finish	0.08	
Int. air film	0.11	
RSI Provided	5.29	
	R-30.0	
R2 Uninsulated Flat Roof over Exterior Space		UNINSULATED
Same as above but without Insulation		
Continuous Vented Wood Soffit		

Floor Assemblies

Assembly	RSI	REQ'D
D1 Insulated Deck	4.93	REQ'D
	R-28.0	
1-1/4" Decking	0.16	
Counter battens	-	
Roofing membrane	-	
5/8" Exterior grade T & G plywood sheathing	0.161	
Strapping to create min. 2% fall	-	
Vapour barrier	-	
R28 Roxul Insulation 7 1/4"	4.93	
Roof joists as per Structural Engr.	-	
Continuous air barrier	-	
Continuously vented soffit	-	
RSI Provided	5.251	
	R-29.8	
F1 Slab On Grade - Insulated	2.84	REQ'D
	R-13.2	
Air Film	0.16	
2" Concrete topping for in-floor heating	0.02	
4" XPS rigid insulation	3.41	
Concrete slab (See Structural)	0.05	
6 Mil poly vapour barrier	-	
Min 6" free draining compacted crushed gravel (See Geotech)	-	
Suitable bearing ground or structural fill	-	
RSI Provided	3.645	
	R-20.7	

Assembly	RSI	REQ'D
F3 Interior Floor Over Unheated Space/Crawlspace	4.93	REQ'D
	R-28.0	
Int. Air Film	0.16	
3/4" Floor Finish	0.161	
3/4" Plywood sheathing glued & screwed - See structural	0.161	
TJI Floor Joists (See Structural)	-	
R28 Roxul Insulation 7 1/4"	4.93	
Continuous air barrier	-	
Soffit with continuous venting	-	
Ext. air film	0.03	
RSI Provided	5.442	
	R-30.9	

Wall Assemblies

Assembly	RSI	REQ'D
W1 Exterior Wall - 2 x 6 OR 2 x 8 studs (2nd Floor)	4.23	REQ'D
	R-24.0	
Ext. Air Film	0.03	
Stained Cedar Siding/Whitewash Pine or Metal Cladding	0.026	
- See Elevations for location and extent	-	
Pressure treated 1/2" x 1 1/2" strapping rain screen or 1/2" exterior grade plywood strips	0.15	
Building Wrap / Air barrier - Taped and Continuous	-	
1/2" Ext grade plywood sheathing - vented top and bottom	0.109	
2x6 Wood studs @ 16" o.c.	-	
R24 Batt Insulation 5 1/2"	4.23	
6 Mil poly vapour barrier	-	
1/2" GWB or Water Resistant GWB at bathroom locations	0.08	
Ceramic tile/ stone at bath/ shower locations	-	
Int air film	0.12	
RSI Provided	4.745	
	R-26.9	
W2 ICF Exterior Wall (to First Floor)	2.98	REQ'D
	R-16.9	
Ext. Air Film	0.03	
Stained Cedar Siding/Whitewash Pine or Metal Cladding	0.026	
- See Elevations for location and extent	-	
Pressure treated 1/2" x 1 1/2" strapping rain screen or 1/2" exterior grade plywood strips	0.15	
ICF Block Assembly	5.28	
1/2" GWB or Water Resistant GWB at bathroom locations	0.08	
Ceramic tile/ stone at bath/ shower locations	-	
Int air film	0.12	
RSI Provided	5.686	
	R-32.3	

Assembly	RSI	REQ'D
W Typical 2x4 Interior Wall		
3A		
1/2" Gypsum Wall Board	0.03	
2x4 Wood studs @ 16" o.c.	-	
R14 Roxul Stone Wool Batt insulation in wall cavity at walls requiring sound proofing	-	
1/2" Gypsum Wall Board (moisture resistant in bathrooms)	-	
W Typical 2x6 Interior Wall		
3B		
Same as above but w/ 2"x6" wood studs		
W Interior Wall to Unheated Space	2.92	REQ'D
4		
	R-16.6	
Int air film	0.12	
1/2" Gypsum Wall Board	0.08	
Plywood sheathing one or both sides (See Structural)	-	
2x6 Wood studs @ 16" o.c.	-	
R24 2 F.G. Batt Insulation	4.23	
6 Mil poly vapour barrier	-	
1/2" Gypsum Wall Board	0.08	
Int air film	0.12	
RSI Provided	4.63	
	R-26.3	
W 2x4 Sheer Wall - See Structural		
5A		
1/2" Gypsum Wall Board on Plywood sheathing one or both sides (See Structural)		
2x4 Wood studs @ 16" o.c.		
1/2" Gypsum Wall Board (moisture resistant in bathrooms)		
W 2x6 Sheer Wall - See Structural		
5B		
1/2" Gypsum Wall Board on Plywood sheathing one or both sides (See Structural)		
2x6 Wood studs @ 16" o.c.		
1/2" Gypsum Wall Board (moisture resistant in bathrooms)		

FOR INFORMATION

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 REV. B - MARCH 06, 2019
 REV. C - MAY 15, 2020
 REV. D - MAY 19, 2020
 REV. E - MAY 25 2020
 REV. F - JUNE 19 2020

No.	Date	Issue Notes



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 6226 Eagle Drive
 Whistler, BC, VON 1B6
 as@allieshielldesign.com 604 966-7758

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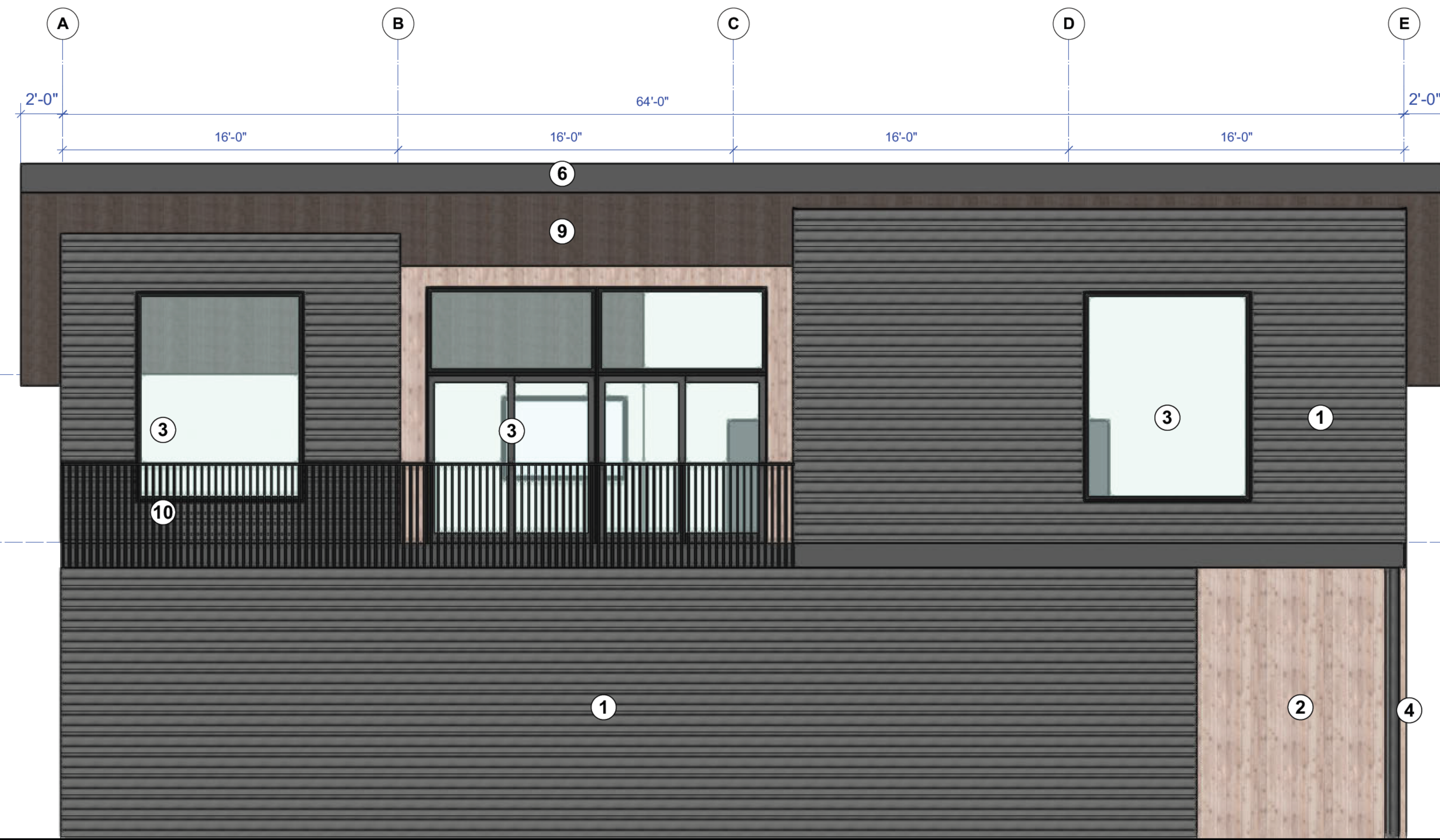
Project Title
 DISTRICT LOT 211
 PEMBERTON, BC

SECTION AA

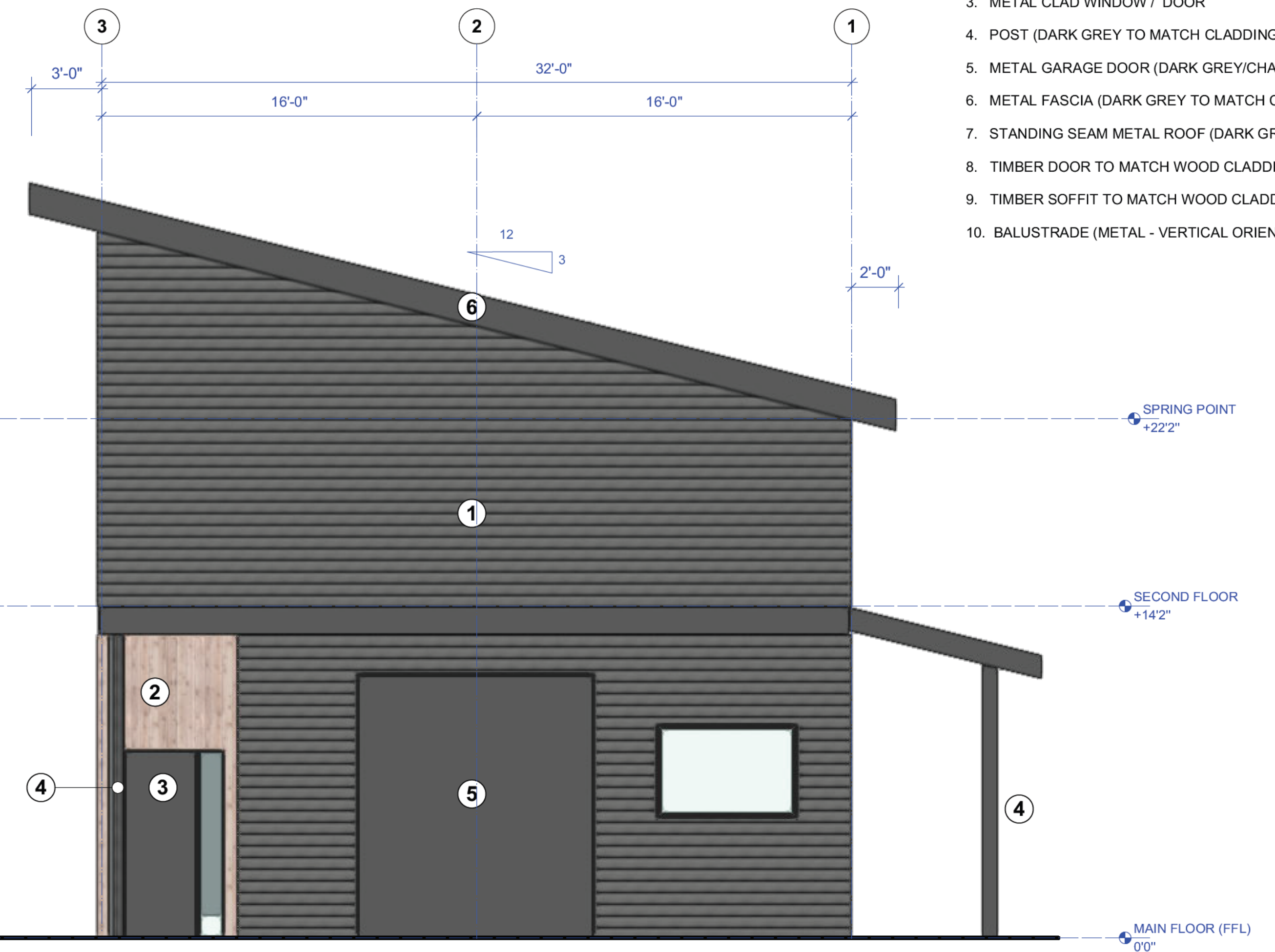
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FEB 2019	1811
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1811 LOT211	

EXTERIOR FINISHES

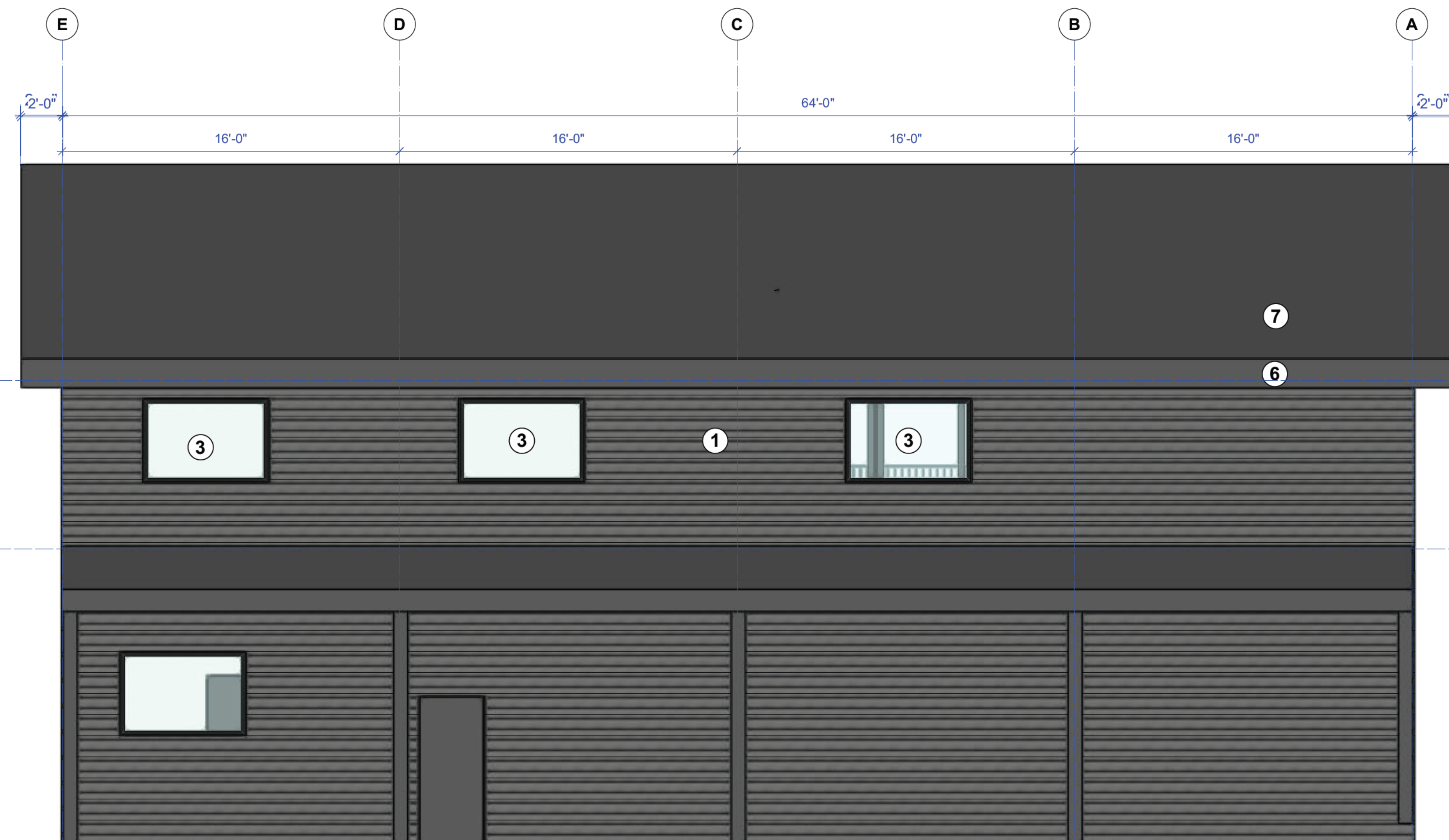
1. LAP HARDIE BOARD SIDING
2. WHITE WAHSED WOOD/HARDIE CLADDING
3. METAL CLAD WINDOW / DOOR
4. POST (DARK GREY TO MATCH CLADDING)
5. METAL GARAGE DOOR (DARK GREY/CHARCOAL)
6. METAL FASCIA (DARK GREY TO MATCH CLADDING)
7. STANDING SEAM METAL ROOF (DARK GREY TO MATCH CLADDING)
8. TIMBER DOOR TO MATCH WOOD CLADDING
9. TIMBER SOFFIT TO MATCH WOOD CLADDING
10. BALUSTRADE (METAL - VERTICAL ORIENTATION SLATS)



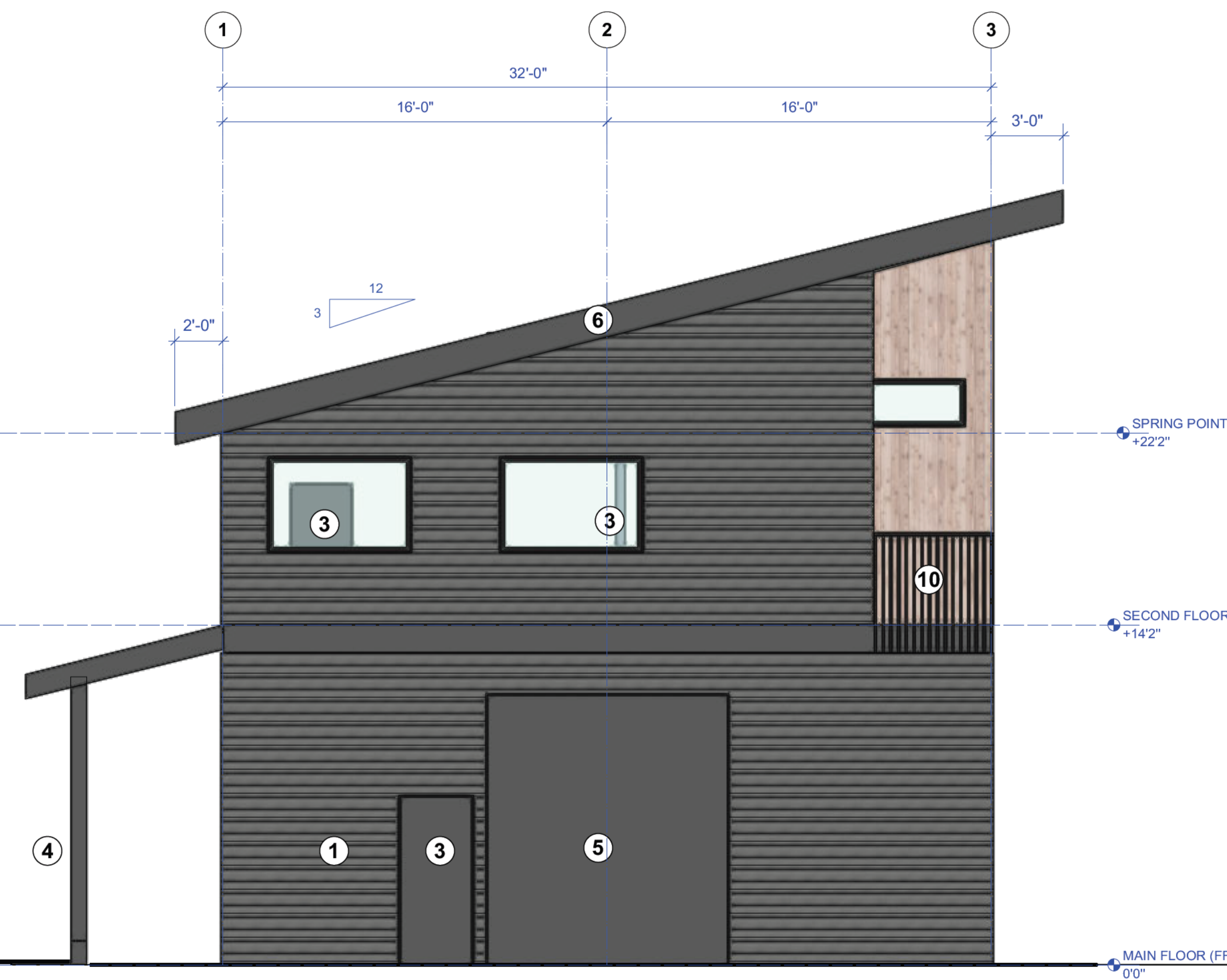
1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 SIDE ELEVATION (ENTRY)
Scale: 1/4" = 1'-0"



3 REAR ELEVATION
Scale: 1/4" = 1'-0"



4 SIDE ELEVATION (REAR)
Scale: 1/4" = 1'-0"

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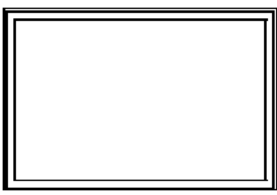

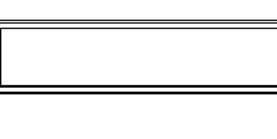
Project Title
DISTRICT LOT 211
PEMBERTON, BC

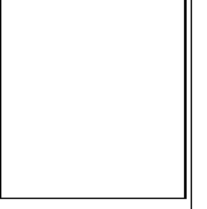
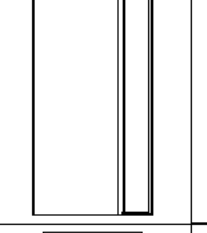
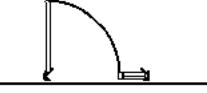
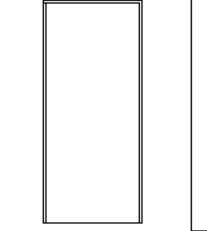
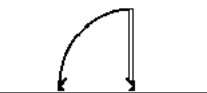
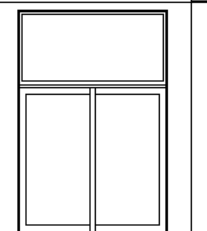

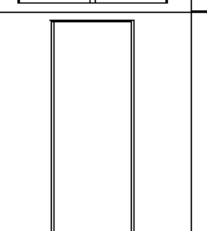

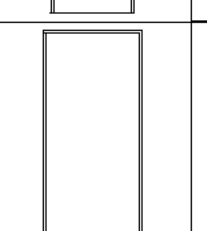

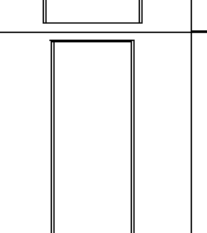

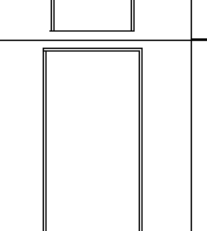

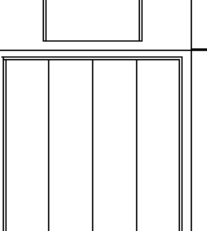
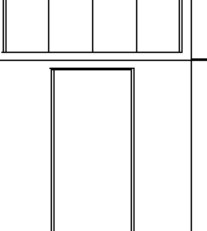
ELEVATIONS

Date	FEB 2019	Project ID	1811
Drawn By	AS	Scale	1/4" = 1'0 @ TABLOID
		Sheet No	

CAD File Name
1811 LOT211


SK03
Page 33 of 138

Window Schedule - District Lot 211							
Elevation	ID label	Qty	Nominal Size		Window Style		
			Width	Height	Sash Operation	Top Shape	Comments
	W-01	7	6'0"	4'0"	Casement	Square	
	W-02	2	8'0"	10'0"	Casement	Square	
	W-03	1	8'0"	2'0"	Casement	Square	

Door Schedule - District Lot 211										
Mark	Qty	Elevation	Plan	Width	Height	Type				Type
Ext. D- 01	2			10'0"	11'3"					Overhead
Ext. D- 02	1			3'0"	8'0"					Swing Simple
Ext. D- 03	2			3'0"	7'0"					Swing Simple
Ext. D- 04	2			8'0"	8'0"					Slider
Int. D-01	2			2'6"	7'0"					Swing Simple
Int. D-02	2			3'0"	7'0"					Swing Simple
Int. D-03	5			2'6"	7'0"					Swing Simple
Int. D-04	1			3'0"	7'0"					Swing Simple
Int. D-04	1			5'6"	7'0"					Bi-fold Bi-part
Int. D-05	2			2'6"	7'0"					Pocket Simple

FOR INFORMATION

REV. A - FEBRUARY 28, 2019
 REV. B - MARCH 06, 2019
 REV. C - MAY 15, 2020
 REV. D - MAY 19, 2020
 REV. E - MAY 25 2020
 REV. F - JUNE 19 2020

No.	Date	Issue Notes
 <p>Allie Shiell Landscape & Building Design</p>		
Design Firm 6226 Eagle Drive Whistler, BC, VON 1B6 as@allieshiell.com 604 966-7758		
<small>1. This drawing is not to be scaled. Dimensions are approximate. Any discrepancies noted on this drawing must be reported to the consultant immediately. 2. By using this document the client agrees that the consultant's liability for services including negligence and omissions is strictly limited to the value of fees paid. The client agrees to indemnify and defend the consultant in the event of third party claims alleging negligence and or injury as a result of services rendered.</small>		
Project Title DISTRICT LOT 211 PEMBERTON, BC		
Sheet Title SCHEDULES		
Date	FEB 2019	Project ID 1811
Drawn By	AS	Scale 1/4" = 1'0 @ TABLOID
		Sheet No. SK05
CAD File Name 1811 LOT211		Page 34 of 138

Date: Tuesday, June 20, 2023

To: Elizabeth Tracy, Chief Administrative Officer

From: Scott McRae, Manager of Development Services

Subject: Housing Needs Report - 2023 Edition

PURPOSE

The purpose of this report is to present the Village's Housing Needs Report to Council for information.

BACKGROUND

The Village of Pemberton has seen rapid growth and is experiencing significant housing pressures. Pemberton's scenic location, abundant outdoor activities, and proximity to jobs makes it an attractive place to live, work, play, and retire. In response to housing pressures, the Village completed an Age-Friendly Housing Needs Assessment and an Age-Friendly Housing Action Plan in 2019. At the same time, the provincial government amended the Local Government Act to require municipalities to prepare Housing Needs Reports (HNR) that meet stringent quantitative standards, including detailed demographic and housing supply analysis, every 5 years. While there was a grace period for local governments who were already working on Housing Needs Assessments that did not meet the new requirements, Village staff identified housing needs as one of the primary areas of concern for the OCP update. It was clear that a HNR that included thorough analysis and projections utilizing the most recent census data would streamline the OCP update process and assist Council with decision-making. The Village hired Urban Matters, a consulting firm who specializes in the subject matter and has experience meeting the legislated requirements, to complete the work.

DISCUSSION & COMMENTS

The Pemberton HNR was prepared to help the Village, local housing stakeholders, and residents better understand the housing trends in the community and the housing needs of individuals and families. This work is intended to support the Village in identifying opportunities to address local housing gaps and will be used to inform plans and policies that have implications for housing, such as the OCP. It can also be used by the housing sector to support initiatives planning for new housing development. It also provides a wealth of data to support advocacy to higher levels of government and applying for federal or provincial funding opportunities. The report focuses on the 5 year period ending in 2028, at which time legislation requires a new edition be produced. The HNR is attached as **Appendix A**.

COMMUNICATIONS

This project does not require a communications element.

LEGAL CONSIDERATIONS

The Village's updated Housing Needs Report was prepared to meet and exceed the requirements for housing needs reports outlined in the Local Government Act.

IMPACT ON BUDGET & STAFFING

The HNR was funded in part through a \$15,000 grant awarded to the Village by the Union of British Columbia Municipalities (UBCM) as part of their 2022 Housing Needs Report program (closed intake). The remaining cost of the project was allocated in the Development Services budget for 2023.

INTERDEPARTMENTAL IMPACT & APPROVAL

No interdepartmental impact was identified regarding this initiative.

COMMUNITY CLIMATE ACTION PLAN

The HNR supports the Village's aspirations in implementing the actions within the Community Climate Action Plan (CCAP) which concern land use planning and housing supply. The HNR enables informed decision making in pursuit of more compact and complete communities, listed in the CCAP as SHIFT 1.1.

IMPACT ON THE REGION OR NEIGHBOURING JURISDICTIONS

As part of the project, staff introduced the consultants to the Lílwat Nation to provide an opportunity for input regarding any off-reserve member housing needs that should be captured within the HNR and any Nation priorities or upcoming projects that may be important context for the Village to be aware of. Lílwat Nation staff provided detailed responses that have been incorporated into the report.

ALTERNATIVE OPTIONS

There are no alternative options for consideration.

RECOMMENDATIONS

THAT the Village of Pemberton Housing Needs Report be received for information.

ATTACHMENTS:

Appendix A: Village of Pemberton Housing Needs Report

Submitted by:	Scott McRae, Manager of Development Services
CAO Approval by:	Elizabeth Tracy, Chief Administrative Officer



Village of Pemberton Housing Needs Report

June 2023

urban
matters





Prepared for: Village of Pemberton

Box 100, 7400 Prospect Street
Pemberton, BC V0N 2L0



Prepared by: Urban Matters CCC

550-1050 Homer Street
Vancouver, BC V6B 2W9
Contact: Marina Jozipovic

Acknowledgements

We respectfully acknowledge that the Village of Pemberton is situated within the unceded traditional territory of the Lílwat Nation.

This report is prepared for the sole use of the Village of Pemberton. No representations of any kind are made by Urban Matters CCC or its employees to any party with whom Urban Matters CCC does not have a contract. Copyright 2023.

Executive Summary

Overview

The Village of Pemberton (“Pemberton”) is currently grappling with severe housing pressures. Pemberton is known for being a close-knit community with awe-inspiring natural surroundings and extensive outdoor recreation opportunities and attracts a diverse range of residents, including seasonal visitors, young families, retirees, and outdoor enthusiasts. This diversity of residents necessitates a variety of housing options.

In 2019, the provincial government introduced changes to the *Local Government Act*, mandating housing needs reports to assess current and anticipated housing needs. To develop these reports, local governments must collect data, analyze trends, and produce a housing needs report and update it every five years. These reports are intended to increase local awareness of the state of housing in communities and to inform local plans and policies. The Pemberton Housing Needs Report exceeds the mandated requirements and provides a robust understanding of housing trends and needs across different income levels and housing types.

This report aims to support the Village, local housing stakeholders, and residents in developing informed housing policies and addressing housing challenges effectively.

Community Overview

- Pemberton is experiencing significant population growth and household formation. Between 2016 and 2021, Pemberton’s population grew by 32% and household formation increased by 40%.
- The community has a relatively young population with a median age of 36.4, however, Pemberton has witnessed a doubling in the proportion of seniors over time. Between 2006 and 2021 the percentage of seniors increased from 3% to 6% of the population.
- Pemberton, situated within the unceded traditional territories of Lílwat Nation, have a significantly lower share of the population who identify as Indigenous as the SLRD. In 2021, 6% of the population identified as Indigenous, whereas in the SLRD, 10% of the population identified as Indigenous.
- The community has been disproportionately impacted by pandemic employment trends due to a high concentration of seasonal workers in tourism. Accommodation and food services, construction, retail trade, and public administration are among the top employment sectors in Pemberton.
- Compared to the province, Pemberton has a high median household income, with couples with children earning the highest incomes. Median household incomes for the total population were \$100,000 in 2021, and by household type couples with children had the highest median household incomes (\$122,000 in 2021).

Housing Profile

- Pemberton has seen major growth in its housing stock with a 43% increase in housing stock between 2006 and 2021.
- Purpose-built rentals are extremely limited in Pemberton, with the current stock serving only 9.5% of renter households. The vast majority of renters are in the secondary market, occupying secondary suites and rented homes and condominiums.
- Pemberton has a relatively newer housing stock with 83% of homes built after 1990.
- Pemberton has attracted a highly mobile population that experiences frequent household moves, with one in five households moving in a typical year.
- The COVID-19 pandemic has influenced housing dynamics, leading to a rise in year-round occupancy as seasonal homeowners take advantage of remote work opportunities.
- Average home sale prices in Pemberton have increased between 130% and 134%, varying by housing type, in the past 10 years. Affordability emerges as a significant concern, with soaring home prices rendering homeownership increasingly unattainable for most households. This situation is compounded by limited data on rental availability and costs, which suggests that certain segments, such as one-parent families and individuals living alone or with roommates, face significant affordability challenges.
- Engagement findings reveal the growing issues of housing precarity and homelessness in Pemberton, with visible instances of homelessness and reports of overcrowded conditions or alternative living arrangements.

Pemberton's Housing Needs

Summary of Housing Needed in Pemberton, 2023 to 2028

Type of Housing Needed	Number of Dwellings or Supports
Underlying Need (2023)	139+
Anticipated Homeownership (2023 to 2028)	466
Anticipated Rental (2023 to 2028)	242
Total	847+

Overview of Key Needs

Tenure

Rental Housing

More rental housing is needed to address the lack of adequate supply to meet the needs of workers in the community, one-parent families, and non-census families (i.e., individuals living alone or with roommates). The primary rental market serves only a small fraction of renters, while the secondary rental market faces challenges due to the incentives for short-term rentals.



Although efforts are underway to increase rental supply, more needs to be done to address the housing shortage. The Village of Pemberton should explore creating additional rental housing options and implement regulations and incentives to support long-term rentals, particularly for accessory dwellings.

Homeownership

Homeownership in Pemberton is prohibitively expensive for most buyers in today's market. Many residents face challenges in affording low-density housing forms, and there is a concern about generational inequity for younger people trying to establish households in the community. To address this need, the Village of Pemberton should explore non-market options like co-operative housing that provide long-term affordability and security of tenure. Additionally, increasing the supply of smaller and more affordable homeownership options, such as apartment condominiums, would help make homeownership more attainable for a wider range of income levels in Pemberton.

Demographics

Small Households

Individuals living alone or with roommates, and couples without children, collectively make up 48% of Pemberton's population. Both face challenges in the housing market, but individuals face among the greatest affordability challenges for both renting and owning. Couples without children are better able to afford rental housing than individuals living alone, however, when it comes to homeownership, almost all housing types are unaffordable for them.

Workers

Engagement findings suggested that workers across industries are struggling to find and maintain secure housing in Pemberton. Although job opportunities in Pemberton abound, many workers who may want to move to Pemberton are forced to decline job offers as they are unable to secure rental housing.

Families with Children

Couples with children and one-parent households make up 37% of Pemberton's population collectively, with one-parent households making up a much smaller share (5%). Although couples with children are among the highest earners and one-parent families among the lowest earners in Pemberton, both are experiencing significant housing challenges, with one-parent families facing among the greatest affordability challenges. Couples with children are hard-pressed to afford owning any lower density housing options. Homeownership for one-parent families in Pemberton is wholly unaffordable, as is renting.

People Experiencing Homelessness

Engagement findings suggest that housing precarity and homelessness is becoming increasingly visible, with more reports of unsuitable living conditions such as off-grid housing, mobile homes, and couch surfing. In Pemberton, people struggle to find rental accommodation, leading to transience. Inadequate supports are available to those experiencing housing precarity and homelessness.

Seniors

Seniors in Pemberton are facing significant challenges when it comes to housing. The proportion of seniors has doubled over the years, indicating a growing need for suitable housing options for this demographic. Engagement findings show that affordability is a key concern, affecting both low-income and middle-income seniors. The lack of accessible rentals and limited availability of assisted living options compel some seniors to consider moving elsewhere for support services. Additionally, the shortage of subsidized housing creates a lengthy waitlist, leaving many seniors without the affordable housing options they require.

Other Needs

Individuals with disabilities, Indigenous households, and recent immigrants are significantly more likely to experience core housing need. This is particularly true for those who are renting or are 65 years and older. Although there is limited information about some of these specific households in Pemberton, it is crucial for future housing initiatives to address the heightened housing challenges faced by these demographics.

Next Steps

The Pemberton Housing Needs Report provides essential information about housing needs in the community, serving as a valuable tool for decision-making, investment, and advocacy to higher levels of government. This Report will be used to inform the updates to the Pemberton Official Community Plan.

It is mandated by the *Local Government Act*, that this Housing Needs Report be updated every five years, ensuring access to relevant housing data. The next Housing Needs Report for Pemberton should be initiated following the release of the 2026 census data and completed no later than the summer of 2028.

Addressing housing needs requires collaboration among various stakeholders, including the Village, provincial and federal governments, private developers, non-profit housing providers, and service agencies. This report serves as one of many tools to support efforts in addressing housing challenges within the community.

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1 Introduction

Housing data used in this report often includes technical terms. A glossary is provided at the back for reference.

1.1 Purpose

The Village of Pemberton (the “Village”) is a growing and dynamic community. Its scenic location, abundant outdoor activities, and proximity to jobs makes it an attractive place to live, work, play, and retire. These features attract many people to the community. In recent years, communities across BC have experienced accelerating housing costs in both the homeownership and rental markets, limited rental availability, and inadequate affordable housing options.

The Pemberton Housing Needs Report (“HNR”) was prepared to help the Village, local housing stakeholders, and residents better understand the housing trends in the community and the housing needs of individuals and families. This work is intended to support the Village in identifying opportunities to address local housing gaps and will be used to inform plans and policies that have implications for housing, such as the Official Community Plan (OCP). It can also be used by the housing sector to support initiatives planning for new housing development and applying for federal or provincial funding opportunities.

1.2 Provincial Requirements

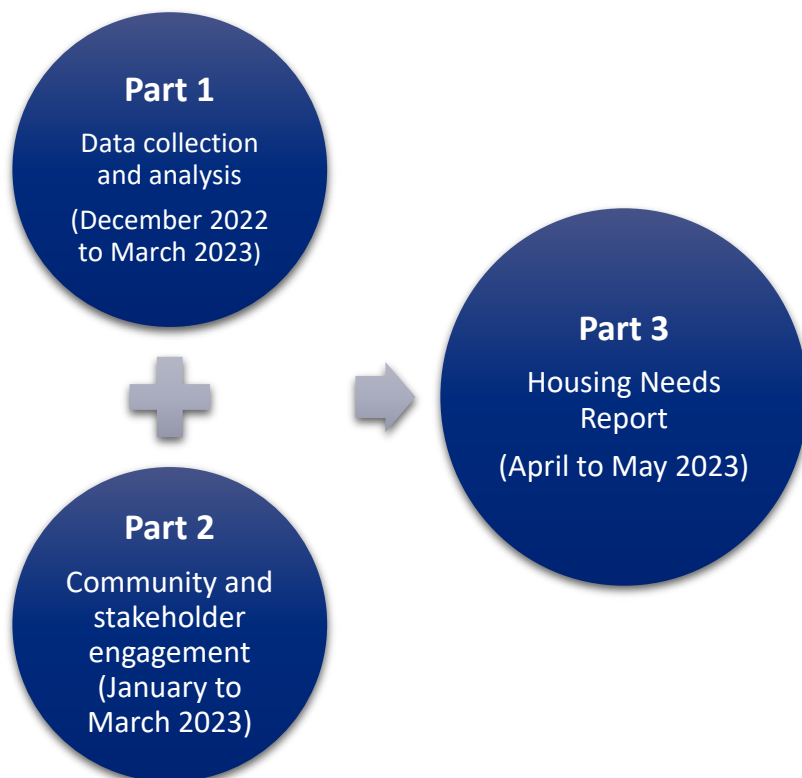
In 2019, in response to growing housing challenges across the province, the Province of BC introduced changes to the *Local Government Act* requiring local governments to complete housing needs reports to better understand current and anticipated housing needs. Local governments are required to collect data, analyze trends, and present a housing needs report that will be updated every five years. The next housing needs report should be completed by Summer 2028. These documents are intended to inform local plans and policies and provide publicly available information on housing.

The Pemberton HNR was prepared to meet and exceed the requirements for housing needs reports outlined in the *Local Government Act*.¹

¹ Information on these requirements can be found here: <https://www2.gov.bc.ca/gov/content/housing-tenancy/local-governments-and-housing/policy-and-planning-tools-for-housing/housing-needs-reports>

1.3 Process

The Pemberton HNR was prepared between December 2022 and June 2023. It consisted of three major parts as illustrated below.



Part 1: Data Collection and Analysis

Housing needs reports draw on a number of quantitative data sources that are used to help identify broader community trends and dynamics. Below are the key data sources used in this report:

- Statistics Canada Census Profiles for 2006, 2011, 2016, and 2021, as well as the National Household Survey for 2011. These data form the majority of reported data in this document.
- A custom data set of census information for 2006, 2011, and 2016, provided by the Province of British Columbia for the purposes of completing Housing Needs Reports. These data are based on a 25 percent sample of private households and are considered less reliable than the complete Census Profiles. However, some data is only available through this data set, such as income distribution by tenure and median income by tenure which are important for understanding affordability challenges.

- Planning and development data provided by the Village of Pemberton, including housing completions, secondary suites, and short-term rental license.
- BC Assessment data on average sales prices.
- Short-term rental trend data from AirDNA.

Part 2: Engagement

1.4 Housing Stakeholders

Nine interviews were conducted between January and February 2023 with 15 local stakeholders. Stakeholders were selected based on their local knowledge on affordable housing needs, supportive housing needs, homelessness, seniors housing needs, workforce housing, and private housing demand. These stakeholders were asked about:

- What attracts people to Pemberton in the short- and long-term.
- Barriers, challenges, gaps, strengths, and opportunities related to housing and housing related services.
- Housing demand.
- The community of Pemberton's role in the broader region related to housing and housing related services.
- The state of homelessness.
- Workforce recruitment and retention.
- Upcoming housing related projects or initiatives.

The stakeholders interviewed were associated with a variety of different organizations. The organizations engaged with include the following:

- Sea to Sky Community Services.
- Pemberton Lions Club.
- Village of Pemberton.
- Pemberton and District Chamber of Commerce.
- Pemberton Valley Hardware.
- Pemberton Valley Supermarket.
- TM Builders.
- Fitzgerald Building Company.
- Vidorra Developments.
- WRM Strata Management & Real Estate Services Ltd.
- Whistler Real Estate.

1.5 Community Members

In addition to receiving input on housing needs through stakeholder interviews, broader community input on housing needs was obtained through the Pemberton Official Community Plan Update process. The OCP Update process was underway during the HNR development process. Engagement efforts were coordinated so that OCP engagement activities include several housing questions. This feedback has been summarized and integrated throughout this

report. The OCP process provided several opportunities for community members to be involved and included the following:

- **Kitchen Table Discussion Kits:** Kits were distributed to the community from January 16 to March 10, 2023, to empower participants to host their own kitchen table discussions about their vision for the future of their community. The kits included several engagement activities, including ice breaker questions, mapping activities, and a demographic survey. In total, the Village received 20 completed kits from 142 contributors.
- **Community Open House:** The Village hosted a community open house at the Pemberton and District Community Centre on March 6, 2023. The format of the open house included an overview presentation, discussion tables, and interactive display boards to collect community input. 166 community members attended the open house.
- **OCP Advisory Committee:** Council appointed 8 advisory committee members to review land use policy, support community engagement, and provide feedback on new planning ideas. Committee members participated in a facilitated discussion about the existing OCP and the OCP Review process on October 25, 2022.

1.6 Lílwat Nation

The Village of Pemberton is situated within the unceded traditional territory of the Lílwat Nation. The Nation was engaged to better understand the housing needs of its members and the development projects that may impact housing in Pemberton. The Village of Pemberton thanks that Lílwat Nation for their collaboration. A special section outlining Lílwat-led development projects is provided on page 53 of this report.

Part 3: Housing Needs Report

This housing needs report is made up of qualitative and quantitative data collected through Parts 1 and 2. Both data sources are important, with statistical data helping highlight trends over time and broad community dynamics, while community and stakeholder feedback provides nuance, community perspectives, and emerging trends that may not be captured through statistical data.

1.7 Data Limitations

Limitations Specific to Small Communities

Provincial legislation requires the collection of approximately 50 kinds of data. All the required data was sought for Pemberton; however, due to the small size of the community, some data was unavailable. For example, CMHC rental market information on the rental vacancy rate or median rents is unavailable due to the small number of purpose-built rentals in the community.

Impact of Boundary Extension on Data

This report refers to data that goes as far back as 2006. The Village has explored several boundary extensions since 2006, once in 2011 and again in 2018. Historical trends should be considered within this context. Information provided by Statistics Canada indicates that the number of additional dwellings and households due to boundary extension was minor over this period: ²

- Between 2001 and 2006, boundary extension added 3 dwellings (information on the number of additional residents was not provided).
- Between 2011 and 2016 censuses, boundary extension added 65 residents and 39 private dwellings.

While there was a proposed boundary extension in 2018, the process was not successful. Only boundary extensions that resulted in additional population or dwelling are referenced above. Note that dwelling counts fluctuate between census years due to changes in housing stock (demolitions, adding or removing secondary suites from the rental stock). The above information may not correspond perfectly which changes in dwelling count shown later in the report for reasons such as how data is categorized and rounding that Statistics Canada applies to every measure to maintain privacy.

Interpreting Population Projections

Population and dwelling projections were prepared for Pemberton and are used in this report. While projections are a useful tool for understanding how trends may evolve based on historic growth, they are not predictions. The actual growth of population and dwellings in Pemberton is dependent on numerous factors that may not be known at the time projections were prepared or cannot be factored in based on data limitations. For example, national economic trends, emerging or declining industries, and changing preferences can all impact population growth and housing demand. Significant events, such as the COVID-19 pandemic, can also shift trends rapidly. In high demand communities such as Pemberton, there is a strong relationship between population growth trends and the supply of housing; a limited supply of housing can suppress the rate of growth in the community.

² Statistics Canada, email correspondence, April 18, 2023.

Impact Of COVID-19 Pandemic Measures on Data Reliability

The 2021 census was completed during a period of the COVID-19 pandemic when travel restrictions were still fluctuating and a number of support measures to address income loss were still in place. For example, the Whistler Blackcomb ski resort was closed for part of the 2021 Winter/Spring season. This means that communities along the Sea to Sky, including Pemberton, did not have normal levels of seasonal and permanent workers. Further, income support programs were still in place in 2021 while the census was in process, including those transferred from the Canadian Emergency Response Benefit (CERB) to Employment Insurance (EI), the Canada Recovery Benefit (CRB), the Canada Recovery Sickness Benefit (CRSB), and the Canada Recovery Caregiving Benefit (CRCB). These income loss supports may have impacted census data in several ways: 1) they may have inflated the incomes of very low income households, as some households earned more on benefit programs than they did through their regular jobs in the case of minimum wage employment and part-time work; and 2) inflated income data would mean that housing affordability data would underestimate the number of households spending 30 percent or more of household income on shelter and the number of households in core housing need. These are limitations facing all Canadian communities. Recognizing these data limitations, the census data for 2021 on housing affordability should be treated with caution as it is not considered to be a reliable snapshot of housing need in the community.

1.8 Local Policy Context

The Village of Pemberton has initiated a review of its Official Community Plan (OCP). The community has seen rapid growth since the existing OCP was adopted in 2011, and is experiencing significant pressures to address the ongoing housing crisis. The Village last completed an Age-Friendly Housing Needs Assessment and an Age-Friendly Housing Action Plan in 2019; however, this was before the *Local Government Act* was amended to require local governments to complete housing needs reports, and as such these documents do not meet the new requirements to provide data on the housing stock and projections into the future. When preparing for the OCP, the Village identified that an updated HNR would benefit the OCP and assist Council with decision-making using the recent 2021 census reports. The new HNR will inform housing policies in the new OCP and will lead to new initiatives and planning to ensure a healthy housing supply is available for Pemberton's residents.

1.9 Document Structure

This document is structured as follows:

Chapter	Content
Section 1— Introduction	<ul style="list-style-type: none"> Overview of the purpose of Pemberton’s Housing Needs Report, provincial requirements, process, data limitations, and the local policy context.
Section 2 — Community Overview	<ul style="list-style-type: none"> Key data on Pemberton’s population to provide context for this report, including projected population growth.
Section 3 — Housing Profile	<ul style="list-style-type: none"> Summary of data related to Pemberton’s housing stock, including structure type, rental and non-market rental stock, sales prices, homelessness, and affordability.
Section 4 — Housing Need	<ul style="list-style-type: none"> Estimate of current housing need and anticipated housing need over the next five years.
Section 5 — Summary and Next Steps	<ul style="list-style-type: none"> Summary of needs and potential next steps.

2 Community Overview

2.1 Key Findings

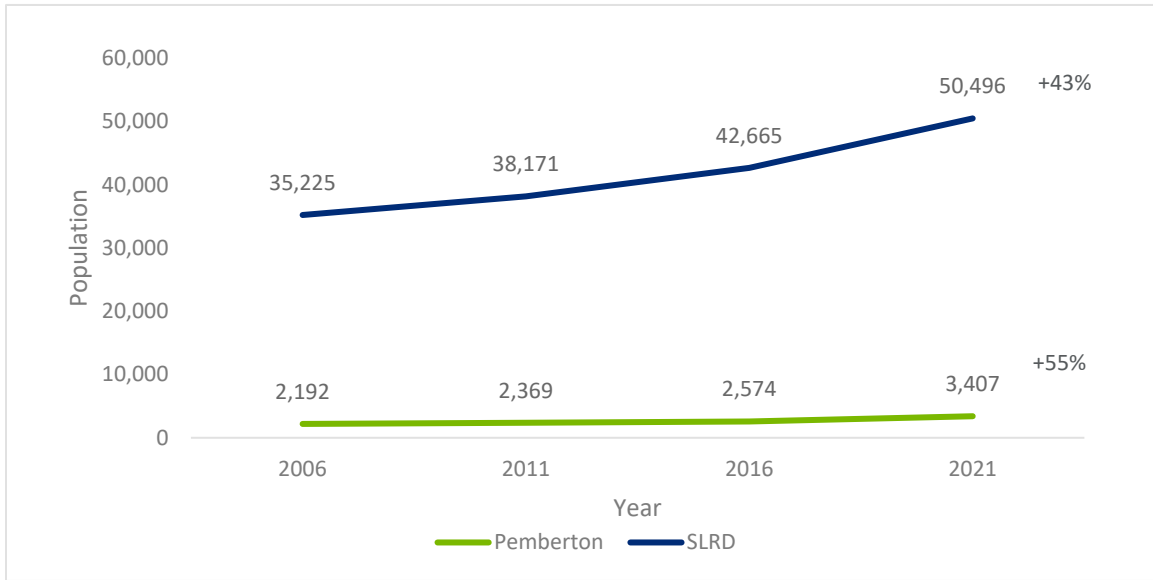
- Pemberton had a population of 3,407 as of 2021 and is growing rapidly, with a population increase of 32%, or 833 people, between 2016 and 2021. Section 3 explores development trends related to population growth.
- Pemberton has a young population with a median age of 36.4, compared to 42.8 across the province. That said, the proportion of seniors has doubled over the past four census periods, increasing from 3% to 6% of the population.
- Household formation is also increasing rapidly, with households growing by 40% between 2016 and 2021. Pemberton has some unique community characteristics compared to other communities in the region, with more households with children.
- Pemberton is within the unceded traditional territories of Lílwat Nation and is located adjacent to several Lílwat reserve communities. In 2021, 6% of Pemberton residents identified as Indigenous.
- Pemberton has historically had high labour participation and low unemployment. The top six employment sectors in 2021 (in ranked order) were accommodation and food services; construction; retail trade; public administration; arts, entertainment, and recreation; and administration and support, waste management, and remediation services. Pemberton has been disproportionately impacted by pandemic employment trends as so many people living in the community are seasonal workers in tourism. 2021 census figures should be treated with caution as they may not represent the community in a typical year and may undercount seasonal households who were not present.
- The median household income in Pemberton was \$100,000 in 2020 (reported in the 2021 census), much higher than the provincial median. Couples with and without children earned the highest household incomes, while one-parent households and individuals earned much lower incomes. Renters typically have significantly lower incomes than homeowners. The prevalence of low-income households has fluctuated between census years but appears to be on a downward trend. This downward trend should be treated with caution due to the impact of COVID-19 economic measures such as temporary income supplements.

2.2 Population and Households

Pemberton has been experiencing rapid population growth in recent years. Between 2016 and 2021, the population increased by 32%, or 833 people, from 2,574 in 2016 to 3,407 in 2021 (Figure 1). This is much faster growth than the SLRD as a whole, which grew by 18% over this period. For comparison, between 2006 and 2016, a ten-year period, Pemberton's population grew by only 382 people. Figure 1 also shows a longer-term trend, from 2006 up to 2021.

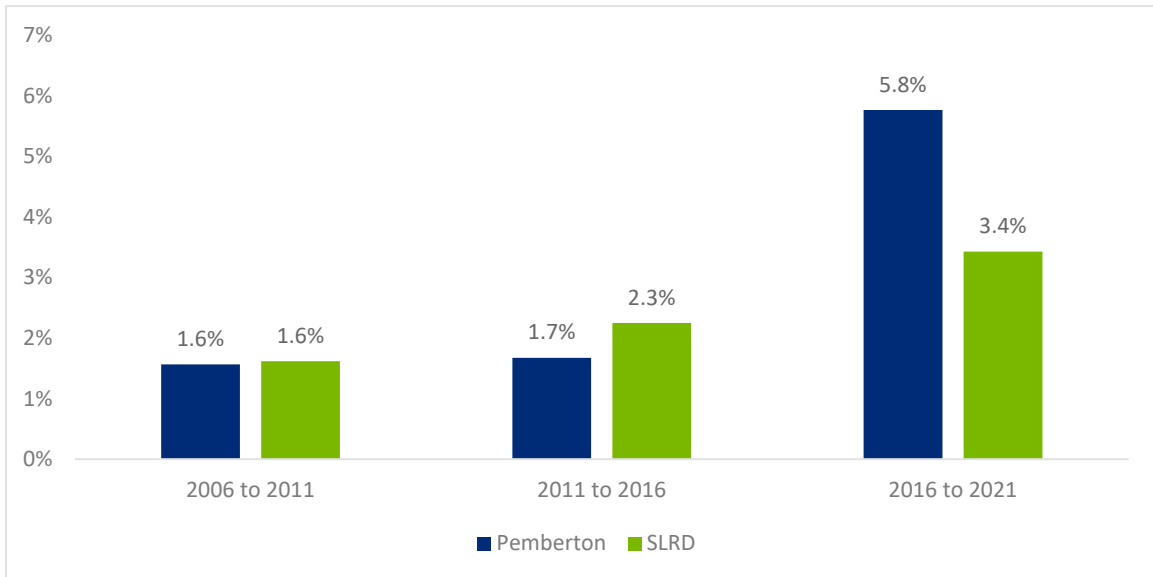
Figure 2 shows how the growth rate between census periods has changed over time, with Pemberton’s growth rate accelerating in recent years. This is also reflected in the housing stock data discussed in Section 3.

Figure 1. Population growth, Pemberton and SLRD, 2006 to 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016, 2021.

Figure 2. Annual population growth rate for different periods in Pemberton and SLRD, 2006 to 2021.

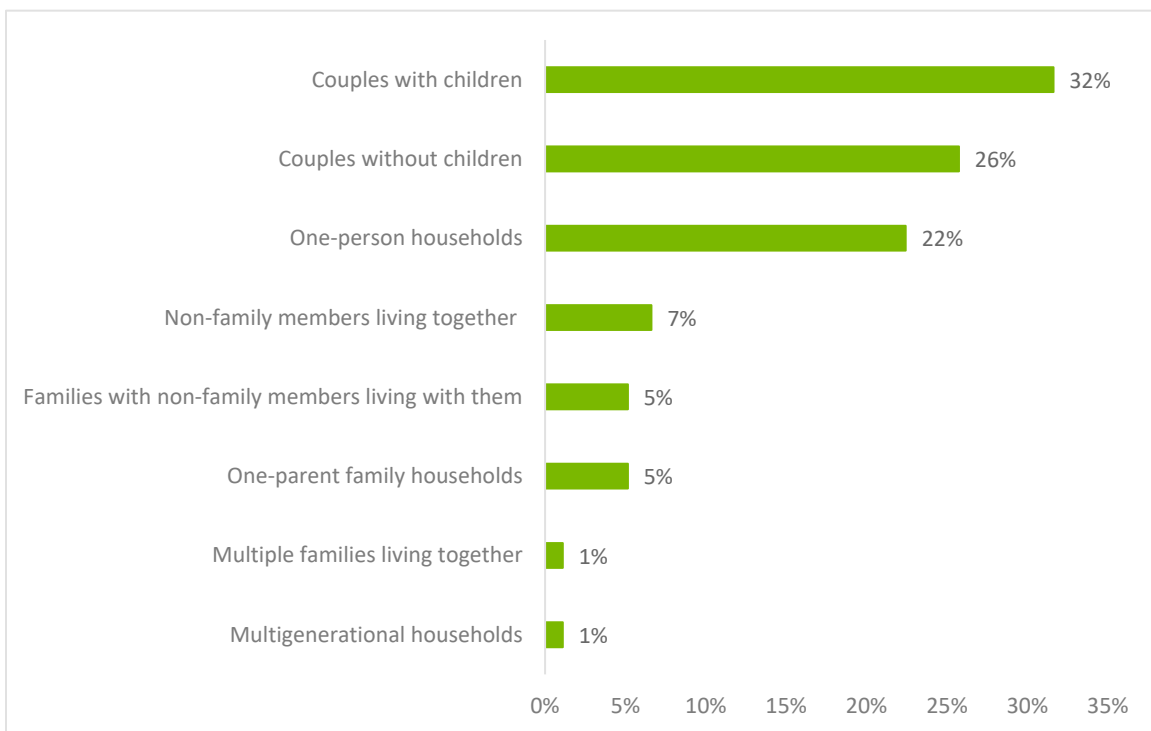


Source: Statistics Canada Census Program, Census Profiles 2006, 2016, 2021; NHS Profile 2011

The number of households in Pemberton increased by 40% between 2016 and 2021, indicating that there has also been significant household formation occurring over this period. Figure 2 shows average annual population growth for the different census periods examined in this document. The annual growth rate seen between 2016 and 2021 is significantly higher than previous periods.

Average household size has seen modest fluctuations over time with no clear pattern emerging. As of 2021, the average household size in Pemberton was 2.5, the same as the SLRD. Within the region, Pemberton is an outlier in its household composition (see Figure 3) with a high proportion of families: 32% of households are made up of couples with children and 5% are made up of one-parent families. The proportion of couples with children is much higher than that of the SLRD where only 24% of households are couples with children. Pemberton also has a smaller proportion of one-person households than the region, 22% compared to 26%, respectively.

Figure 3. Household composition, Pemberton, 2021.



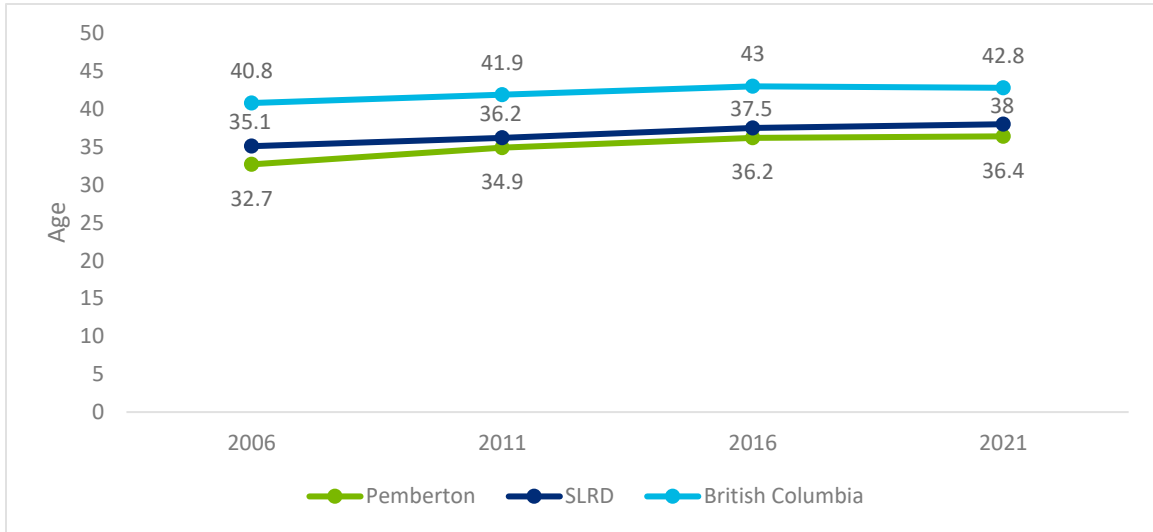
Source: Statistics Canada Census Program, Census Profiles 2006, 2016, 2021; NHS Profile 2011

2.2.1 Age

Trends in age distribution in Pemberton see modest fluctuations between census periods. Pemberton has a relatively young population, with a median age of 36.4 in 2021, compared to 38 in the SLRD and 42.8 across the province (Figure 4). One trend of note is that over the past

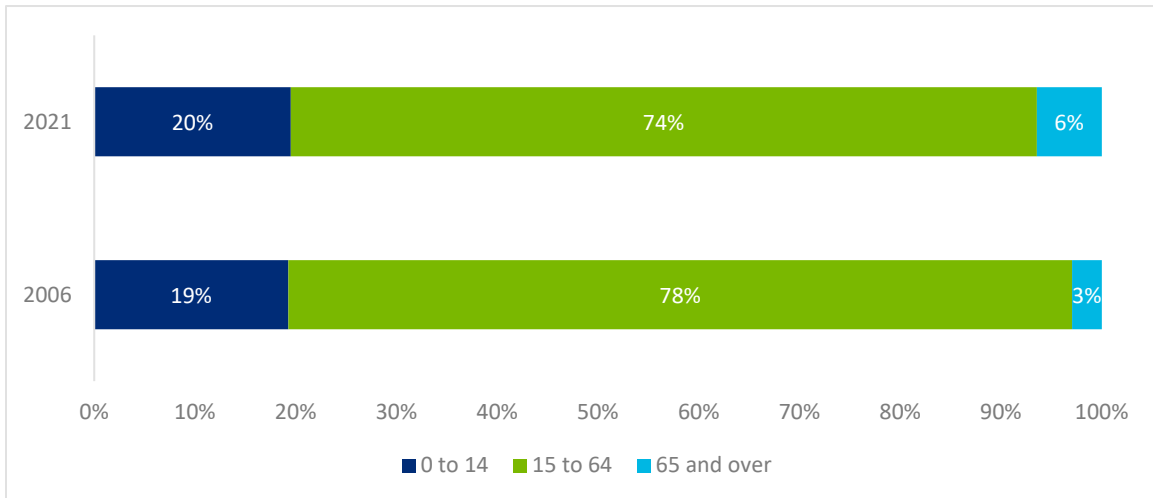
four census periods (2006 to 2021), the proportion of seniors has more than doubled, from 3% to 6% of the population, or from a population of 65 in 2006 to 220 in 2021 (see Figure 5).

Figure 4. Median age, Pemberton, SLRD, and BC, 2006 to 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016, 2021.

Figure 5. Age Distribution, Pemberton, 2006 to 2021.



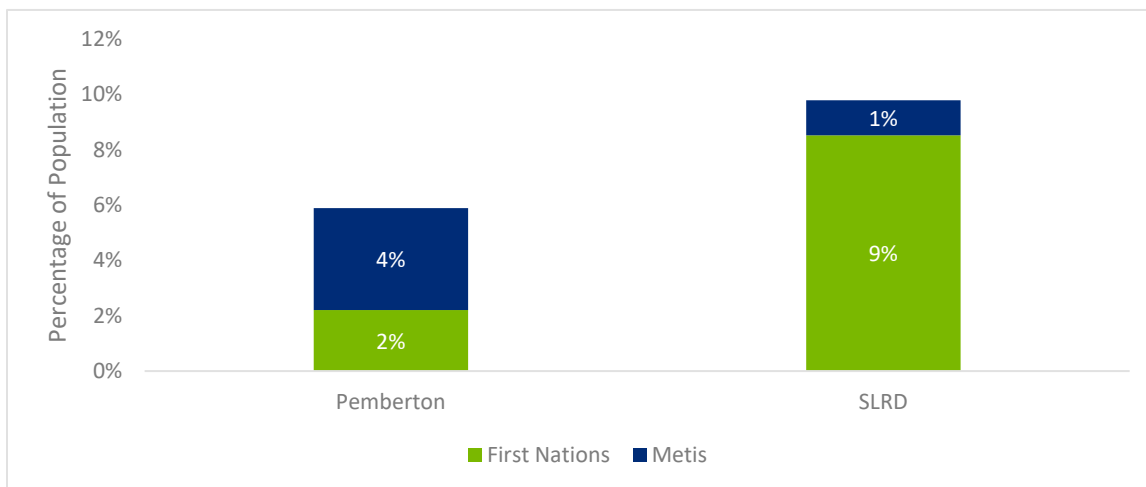
Source: Statistics Canada Census Program, Census Profiles 2006, 2021.

2.2.2 Indigenous Identity

Pemberton is situated within the unceded traditional territories of Lílwat Nation and is located adjacent to several Lílwat reserve communities. In 2021, 6% of Pemberton residents identified as Indigenous (see Figure 6). 10% of the SLRD population identify as Indigenous and live within First Nation reserve communities, urban areas, and rural communities in the region. In addition

to being situated within Lílwat Nation territory, the SLRD is also situated within the territory of several other First Nations including Sk̓wx̓wú7mesh Úxwumixw (Squamish) and St'át'imc. Small parts of the SLRD also lie within the unceded traditional territories of the Stó:lō, Tseil-Waututh, Nlaka'pamux, Tsilhqot'in, and Secwepemc Nations.³

Figure 6. Indigenous identity, Pemberton and SLRD, 2021.



Source: Statistics Canada Census Program, Census Profiles 2021

2.2.3 Languages Spoken at Home

English is the most common language spoken at home by Pemberton residents (91%), followed by French (3%), Tagalog (1%), and Punjabi (1%). An additional 3% of residents speak a wide variety of less common languages.

2.3 Economy

2.3.1 Employment & Labour Force

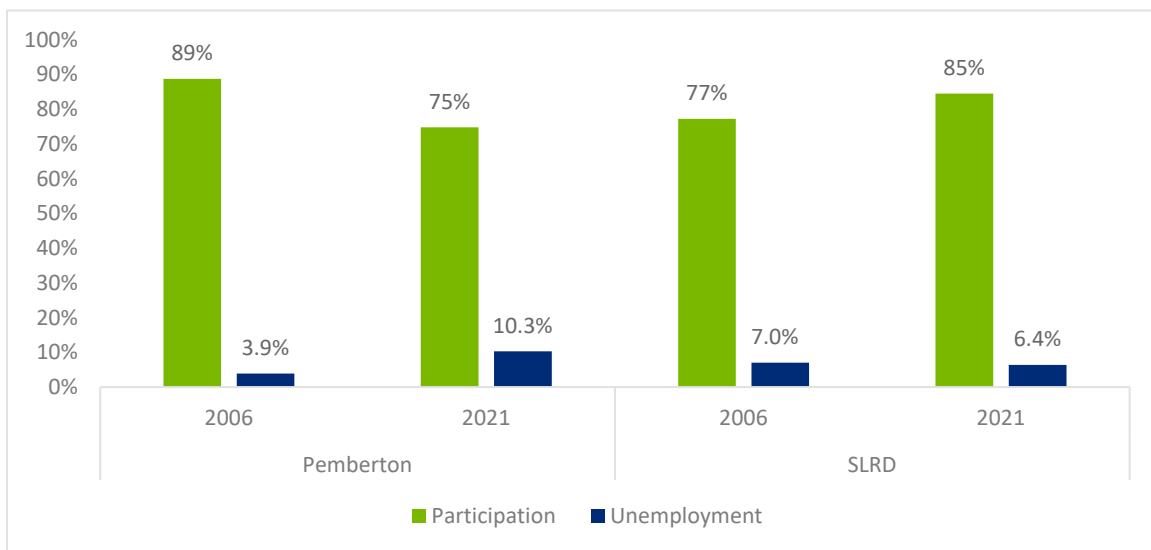
Pemberton has typically seen higher labour participation and lower unemployment than the region as a whole. However, between 2006 and 2021, the labour participation rate declined slightly, from 89% to 85% (see Figure 7), which may reflect a greater proportion of retired individuals in the community. The unemployment rate increased from 3.9% to 6.4% over this period.

³ SLRD, First Nations, n.d. <https://www.slrd.bc.ca/about-us/first-nations#:~:text=The%20Squamish-Lillooet%20Regional%20District%20is%20found%20within%20the,St%27%C3%A1t%27imc%20Nation.%20Each%20Nation%20is%20independent%20and%20self-governing.>

Trends indicate an abundance of job opportunities in Pemberton, with the proportion of workers employed within the village growing from 37% in 2016 to 52% in 2021. The pandemic significantly impacted tourism in the Sea to Sky, with many businesses in Whistler, including the Whistler Blackcomb resort, closed or operating at minimal capacity. These conditions may have resulted in a higher proportion of employment occurring in Pemberton. The top six employment sectors employing Pemberton workers are as follows: accommodation and food services (17%); construction (15%); retail trade (8%); public administration (8%); arts, entertainment, and recreation (7%); and administration and support, waste management and remediation services (7%) (see Figure 8).

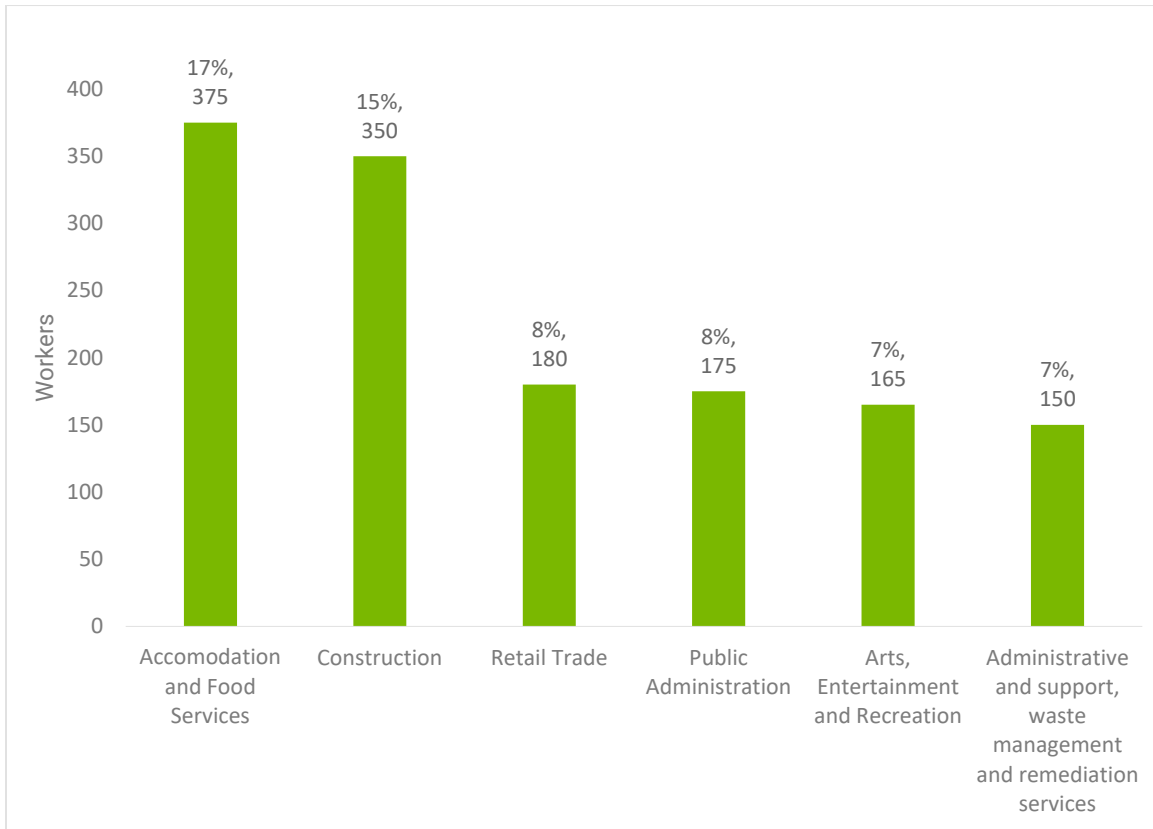
In terms of where Pemberton residents work, only 52% of Pemberton workers work in the village itself, with 43% accessing employment in other communities in the region, and 4% working outside of the SLRD (see Figure 9). Since 2016, fewer workers commute outside the Pemberton census division to a place of work. Figure 9 shows that in 60% of Pemberton’s workforce commuted to workplaces outside of Pemberton in 2016, only 43% of the workforce commuted to workplaces outside Pemberton in 2021. What is more, the proportion of workers who worked at a fixed address (usual place of work) decreased from 69.5% in 2016 to 60% in 2021 (see Figure 10). Reflecting pandemic-related trends, Figure 10 shows that the proportion of Pemberton workers who reported that they worked at home increased from 8.8% in 2016 to 20% in 2021.

Figure 7. Labour force participation rates, Pemberton and SLRD, 2006 and 2021.



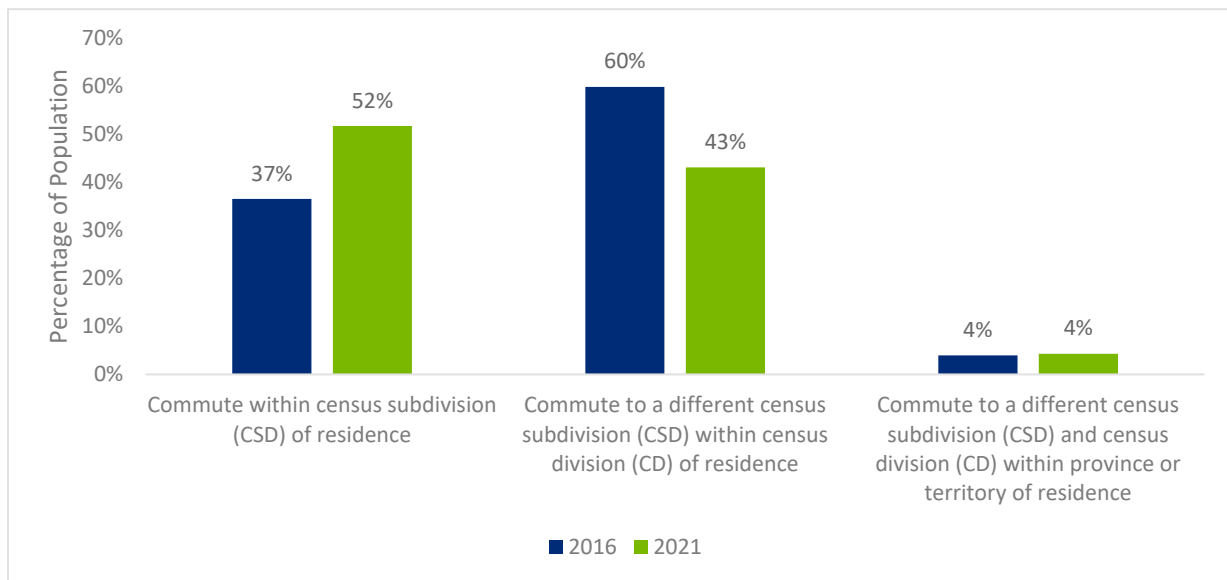
Source: Statistics Canada Census Program, Custom Data Organization for BC Ministry of Municipal Affairs and Housing

Figure 8. Labour force by industry area, Pemberton, Top 5 industries, 2021.



Source: Statistics Canada Census Program, Census Profiles, 2021

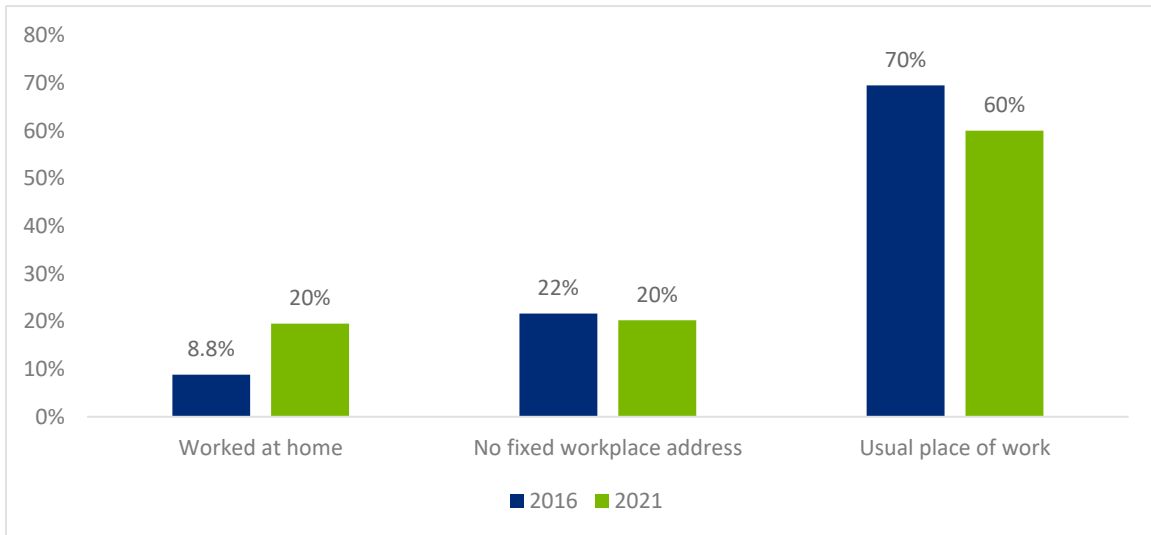
Figure 9. Commuting destination, Pemberton, 2016 to 2021.



Source: Statistics Canada Census Program, Census Profiles 2016, 2021

Note that since no workers commuted to a different province or territory, this data has been excluded.

Figure 10. Place of work, Pemberton, 2016 to 2021.



Source: Statistics Canada Census Program, Census Profiles 2016, 2021

Note that since no residents worked outside Canada, this data has been excluded.

2.3.2 Household Median Income

Pemberton has experienced significant changes in the incomes of local households. Between 2006 and 2021, nominal⁴ median household income (before tax) grew from \$60,912 to \$100,000, an increase of 64% (see Figure 11). The median income for the SLRD in 2021 was comparable to Pemberton, \$99,000. Notably, median household incomes for Pemberton and the SLRD were much higher than the median for the province (\$85,000).

Median household income varies greatly between different household types. Couples with and without children earn the highest household incomes: in 2020, the median household income was \$122,000 for couples with children and \$109,000 for couples without children (see Figure 12). One-parent households and individuals are dependent on much lower incomes: the median household income was \$61,200 for one-parent families and \$45,200 for individuals not living with family.

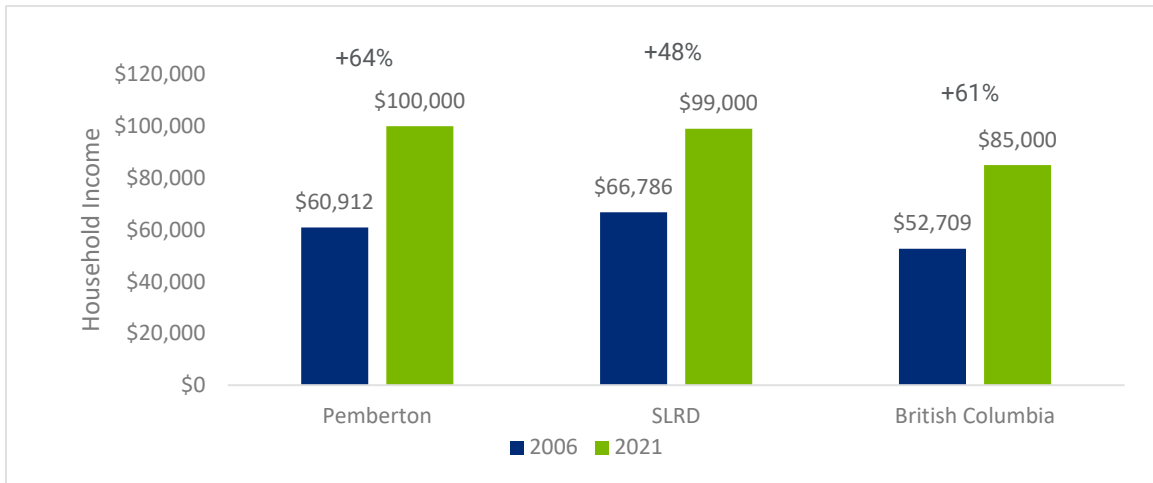
Household income data broken out by renters and owners is not yet available for 2021. As a point of reference, the 2016 median household income for renters was 57% that of owner households.

The prevalence of low-income households has fluctuated between census years but may be on a downward trend, declining from 5.3% low-income households in 2016 to 3% low-income

⁴ Nominal income means it has not been adjusted for inflation.

households in 2021. (see Figure 13). These numbers should be considered with caution as COVID-19 economic measures such as the Canada Emergency Response Benefit (CERB) was in place during the 2021 census period and may have temporarily boosted incomes.

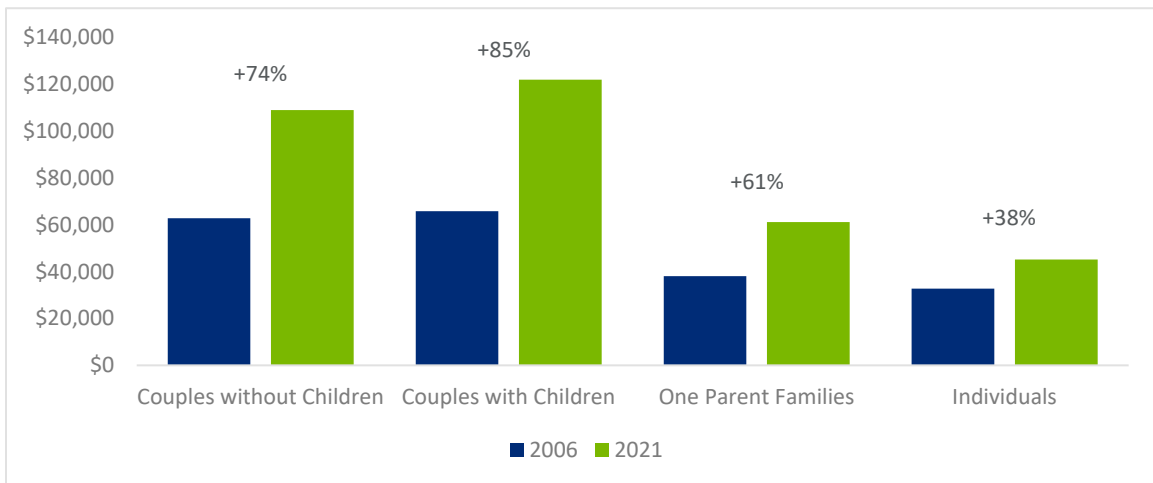
Figure 11. Median household income (before tax) in Pemberton, SLRD and BC, 2006 - 2021.



Source: Statistics Canada Census Program, Custom Data Organization for BC Ministry of Municipal Affairs and Housing

Note that the census asks households for income based on the previous year's tax returns. For example, income reported in 2006 is based on 2005 tax return information.

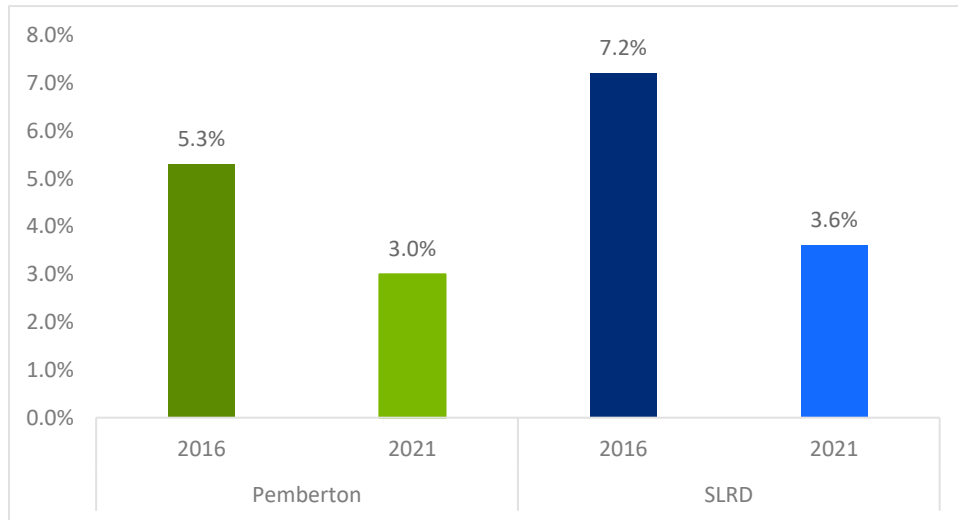
Figure 12. Change in median income by family type, Pemberton, 2006 - 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2016, 2021; NHS Profile 2011

Note that income data for individuals in the above graph is based on different measure for 2006 and 2021. For 2006, it is based on the median income for one-person households. For 2021, it is based on the median income for persons 15 years and over not in economic or census families.

Figure 13. Prevalence of population with low-income for Pemberton, SLRD, 2016 - 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2016, 2021; NHS Profile 2011

Note that this report uses the low-income cut-offs (LICO) measure, which considers households which devote substantially more than the average family to necessities (e.g., food, shelter, clothing) as low-income. While not a perfect measure of low income, other measures such as LIM-AT show a similar downward trend for both Pemberton and SLRD.

3 Housing Profile

3.1 Key Findings

- Between 2006 and 2021, Pemberton's housing stock grew by 43%, in line with population growth trends, with most of the growth in lower density housing forms such as single-detached dwellings and row houses. Pemberton's housing stock consists of greater diversity of housing typologies compared to typical small communities, with a smaller proportion of single-detached houses and a higher proportion of row house and secondary suites. The community saw a greater proportion of single-detached houses and secondary suites between 2006 and 2021, while other dwelling types declined.
- Building permit data indicates that building permits are trailing net additional dwellings captured in the census. This may indicate more informal creation of units, such as through the conversion of single-family dwellings into rooming houses or adding secondary dwellings without accessing a building permit. While data is limited, these trends indicate that housing demand is surpassing supply.
- Pemberton has a relatively newer housing stock with 83% of the community's dwellings built after 1990, compared to 55% of the SLRD's housing stock.
- Pemberton and the SLRD overall have highly mobile populations. One in five Pemberton households move in a typical year and demographic data indicates more fluctuations between census periods than is typical. This makes noticing clear trends and keeping up with local housing need more challenging.
- The percentage of year-round occupied dwellings in Pemberton has increased from 85% to 95% between 2006 and 2021, likely influenced by the COVID-19 pandemic, which allowed many secondary and seasonal homeowners to live in Pemberton year-round. However, these trends may not be long-term as tourism returns and many companies that previously allowed remote work require workers to return to the office.
- As of 2021, Pemberton had 880 homeowners and 475 renters, with the proportion of renters increasing to 35% from 23% between 2016 and 2021. CMHC rental market data is limited for Pemberton, but there were 45 purpose-built rental units in late 2022. Estimates indicate that the majority of renters in Pemberton rent in the secondary rental market, with 43% living in secondary suites, 9.5% in purpose-built rental units, and the remaining 48% in rented condos, townhouses, or single-detached houses.
- The cost of owning a home in Pemberton has escalated at an eye-watering rate. Over the past ten years, the average home sale price for a single-detached home has increased by 130% and by 134% for an apartment condominium. A detailed affordability analysis looking at owner households showed that almost all households are priced out of the homeownership market based on typical standards of affordability.

- Primary rentals are purpose built rental housing and provide the greatest long-term housing security for renters, however, primary rental housing is extremely limited in Pemberton. Although more supply is in development, currently only 9.5% of renter households living in purpose-built rental. The remainder live in secondary rental, that is rented homes and condominiums, as well as secondary suites. Data on the availability and cost of renting in Pemberton is extremely limited (CMHC doesn't publish data for community of this size). However, available data suggests that one parent families and individuals living alone or with roommates face the greatest affordability challenges. Median household incomes for those households are nowhere near enough to afford median shelter costs in the community.
- Engagement findings indicate that housing precarity and homelessness are on the rise, with more visible homelessness and more reports of people living in overcrowded conditions or finding non-housing alternatives such as living in vans and tents.

3.2 Overview

3.2.1 Housing Stock

Between 2006 and 2021, Pemberton's housing stock grew by 43%, in line with household growth (see Figure 14). Most of this growth has been through lower density housing forms such as single-detached dwellings (with and without secondary suites) and row houses⁵ (see Figure 15). While Pemberton's housing stock is concentrated in lower density forms, it notably offers a mix of housing typologies compared to typical small communities. Figure 15 shows the housing stock compared to the SLRD as a whole. Pemberton has a much smaller proportion of single-detached houses and a much higher proportion of row houses and secondary suites.

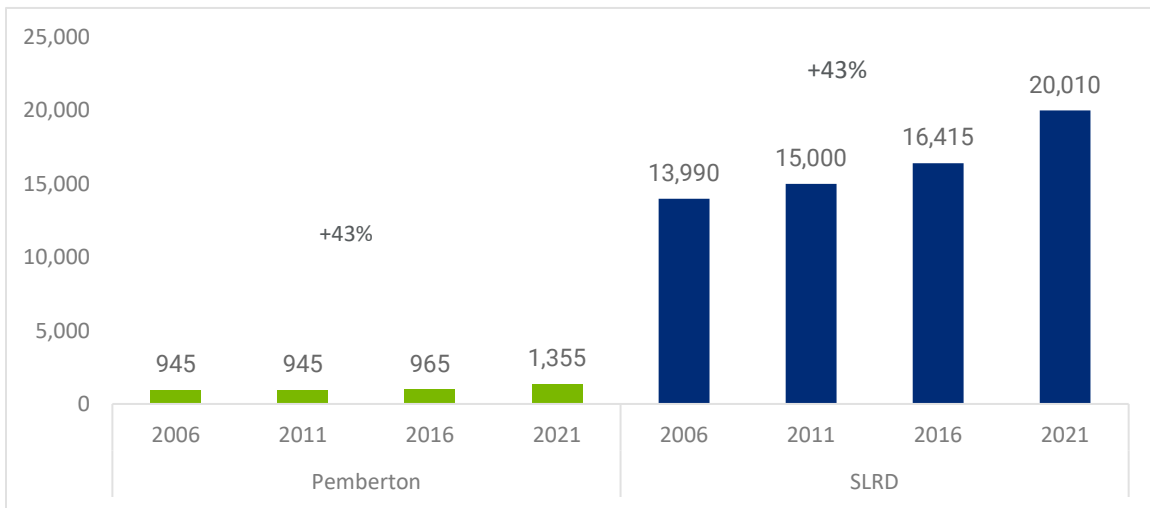
Between 2006 and 2021, Pemberton's housing stock changed in a variety of ways: the community saw a greater proportion of single-detached house (with and without secondary suites) (rising from 23% to 32%) and a higher proportion of secondary suites (rising from 11% to 15%) (see Figure 16). Other dwelling types declined over this period, including semi-detached houses (14% to 2%) and movable dwellings (6% to 4%). This data, however, must be treated with some caution. Inquiry with Statistics Canada indicated that some dwellings were reclassified after Pemberton experienced boundary extension, and this may account for some of the differences in semi-detached houses.

⁵ Row houses is the term used by Statistics Canada and refers to "one of three or more dwellings joined side by side" and typically refers to townhouses.

Reflecting Pemberton’s high proportion of families (as noted in section 2.2), most dwellings in Pemberton are 2- (29%) and 3- bedroom (36%) dwellings (see Figure 18).

Pemberton has a relatively young housing stock. 83% percent of dwellings in Pemberton were built after 1990, compared to 55% of the region’s housing stock (see Figure 19).

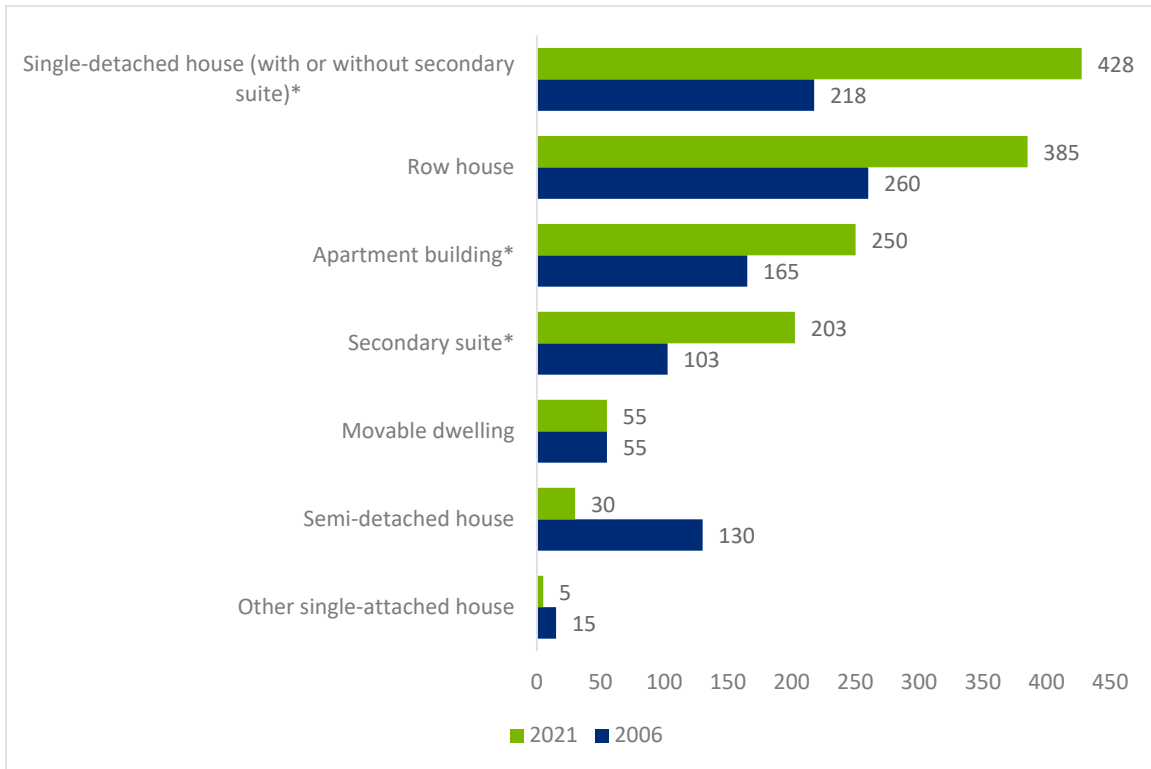
Figure 14. Total dwelling units, Pemberton and SLRD, 2006 to 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2021.

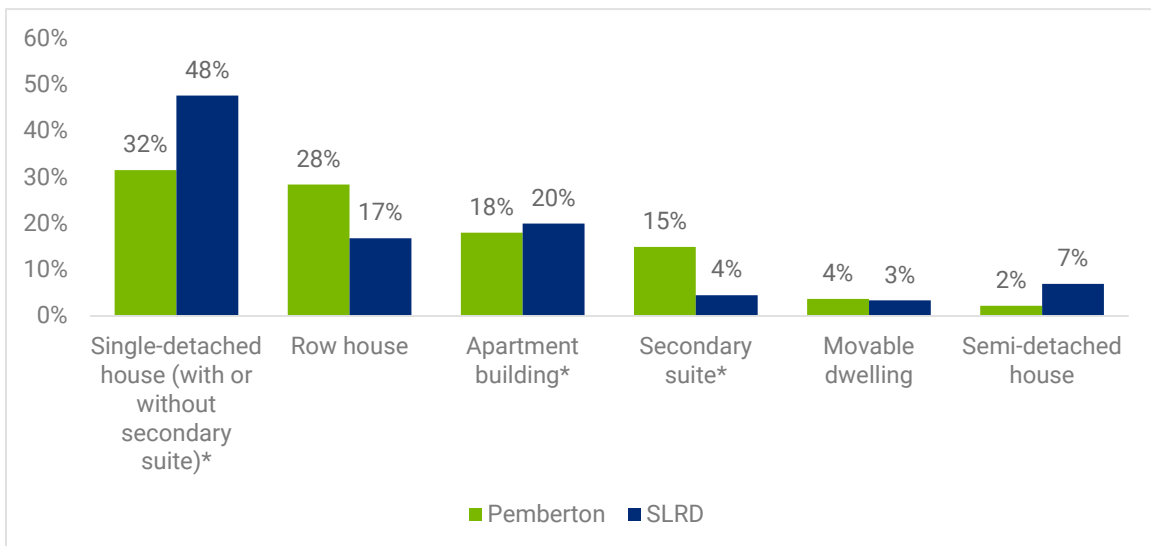
* Statistics Canada uses the category “apartment or flat in a duplex” to refer to both homes with secondary suites and secondary suites themselves. For the data shown in **Figures 15, 16, 17**, this figure has been divided in half to estimate secondary suites. The half of the figure referring to the primary dwelling has been combined with the category “single-detached house” to make a combined category called “single-detached house (with or without a secondary suite). Statistics Canada also separates “apartments” into “apartment building that has 5 or more storeys” and “apartment building that has fewer than 5 storeys”. Pemberton does not have any apartments with five or more storeys, so these categories have been combined. 3% of SLRD dwellings are in apartment buildings that are 5 or more stories. The category “other single-attached house” is not shown on this graph as neither Pemberton nor the SLRD contain such dwellings.

Figure 15. Number of dwellings by structural type, Pemberton, 2006 to 2021.



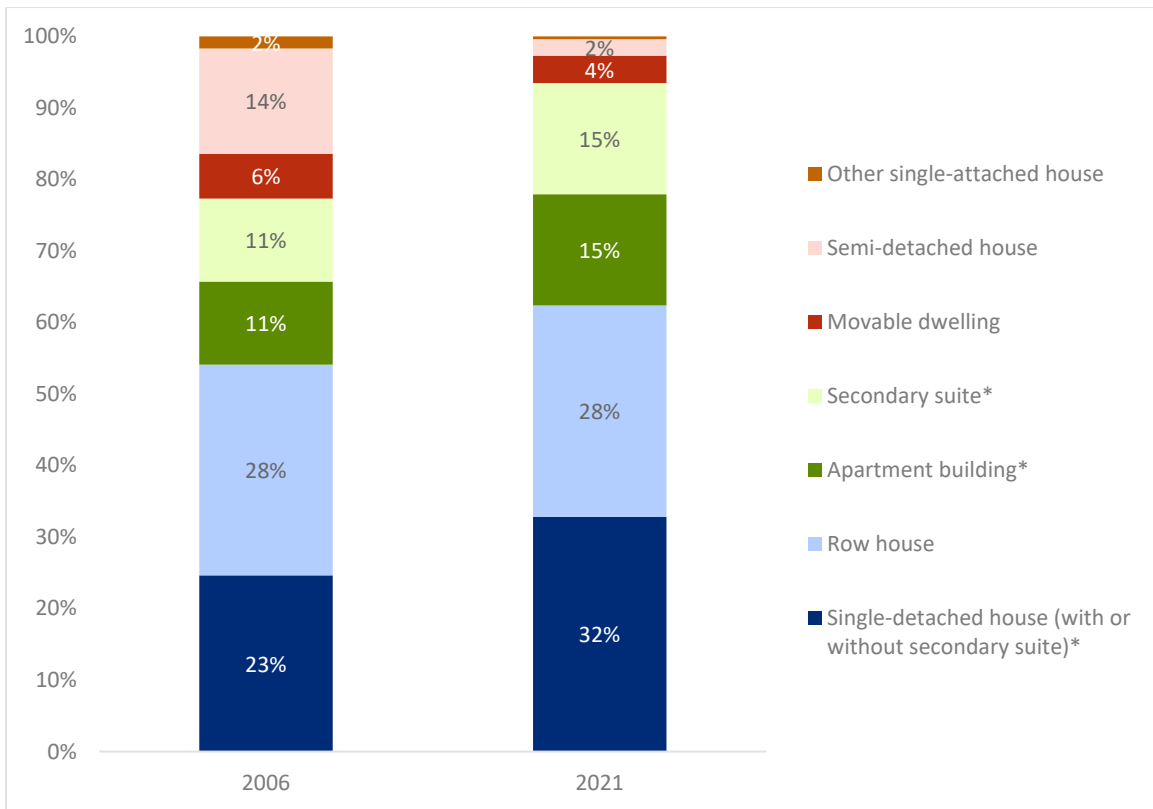
Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016, and 2021.

Figure 16. Dwelling units by structural type, Pemberton and SLRD, 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2021.

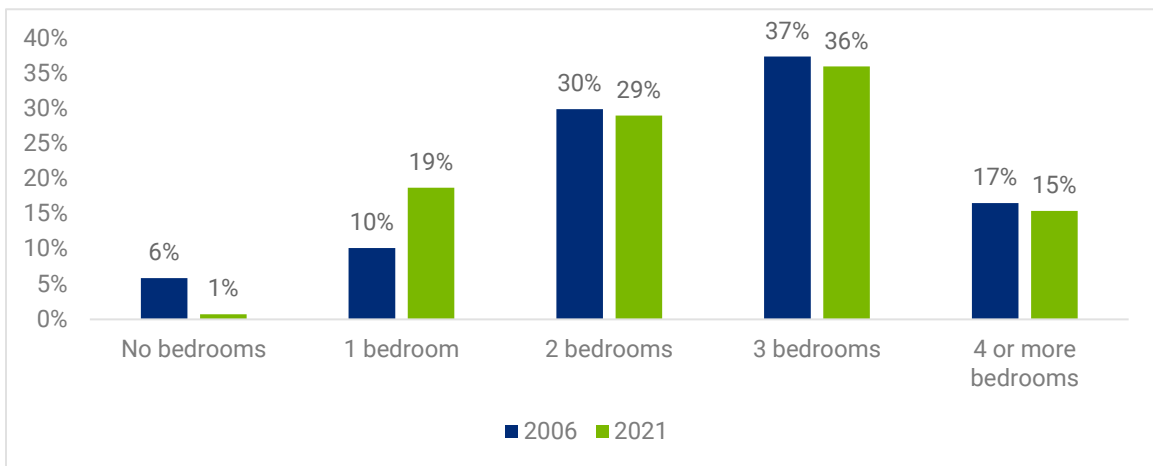
Figure 17. Percentage of dwellings by structure type, Pemberton, 2006 - 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016, and 2021.

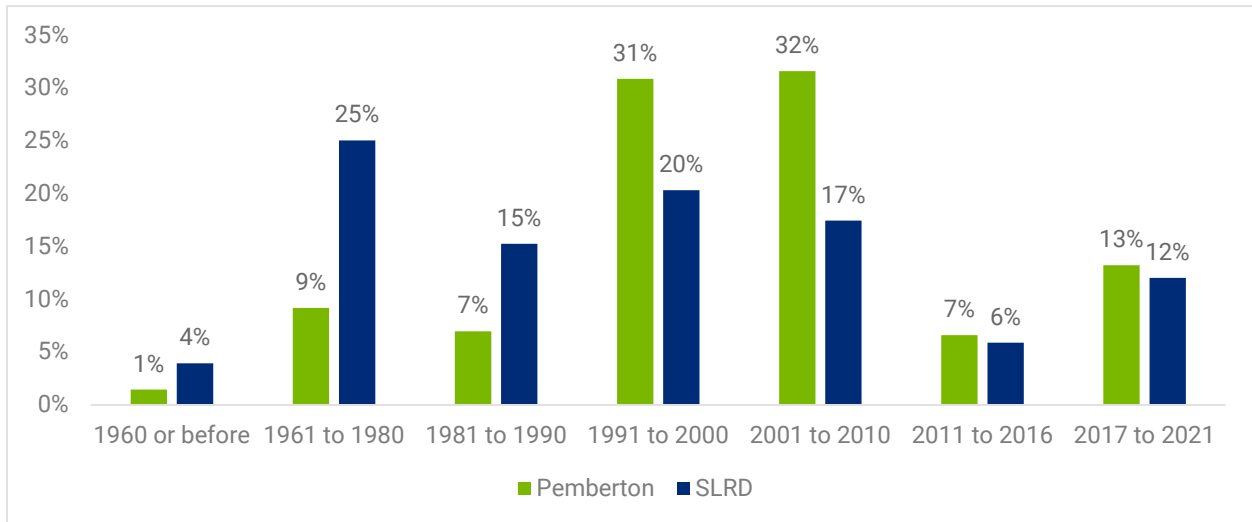
*Statistics Canada uses the category "apartment or flat in duplex" to refer to homes with secondary suites and accounts for both the home and the secondary suite. For the purposes of this report, this figure was divided in half to identify houses with secondary suites and the secondary suits themselves. The category "apartment building" refers to apartment buildings with less than five storeys as Pemberton does not have any apartments with five storeys or more.

Figure 18. Dwellings by number of bedrooms, Pemberton, 2016 to 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2021

Figure 19. Dwellings by housing period of construction, Pemberton, 2021.



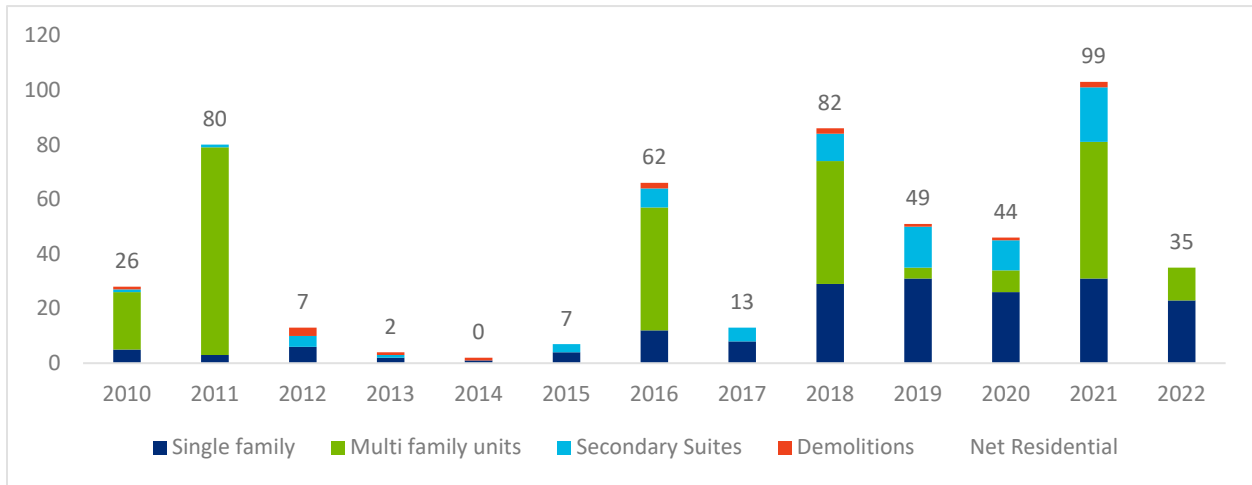
Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016, 2021

3.2.2 Development Trends

Figure 20 shows net building permits issued for residential development in Pemberton from 2010 to 2022 and includes both building permits and demolition permits issued. It shows major annual fluctuations in building permits issued over this time period. On average, 39 building permits (net) were issued per year between 2010 and 2022. This number has increased in recent years with 62 building permits issued per year over the past five years.

Of note, building permit data does not accurately reflect the increase in housing stock in Pemberton. Between the 2016 and 2021 censuses, an additional 390 private dwellings were recorded for Pemberton. However, the building permit data only shows 250 additional dwellings for 2016 to 2020, the five year period where completions on building permits can be expected to correspond roughly with the censuses. This reflects an observation identified through engagement with local stakeholders: single family dwellings may be divided into small apartments or accessory dwellings added outside the formal permitting process. One potential reason for homeowners not accessing formal building permits may be related to homes being situated within the floodplain. Permitting for accessory suites—in particular, some basement suites—may not be approved under Pemberton’s flood control bylaw. Trends such as these reflect significant demand for housing that is not being met through formal processes. It also indicates that the lack of housing supply may be leading renter households to unknowingly occupy homes at risk of flood damage.

Figure 20. Net Building Permits, Pemberton, 2013 to 2022.

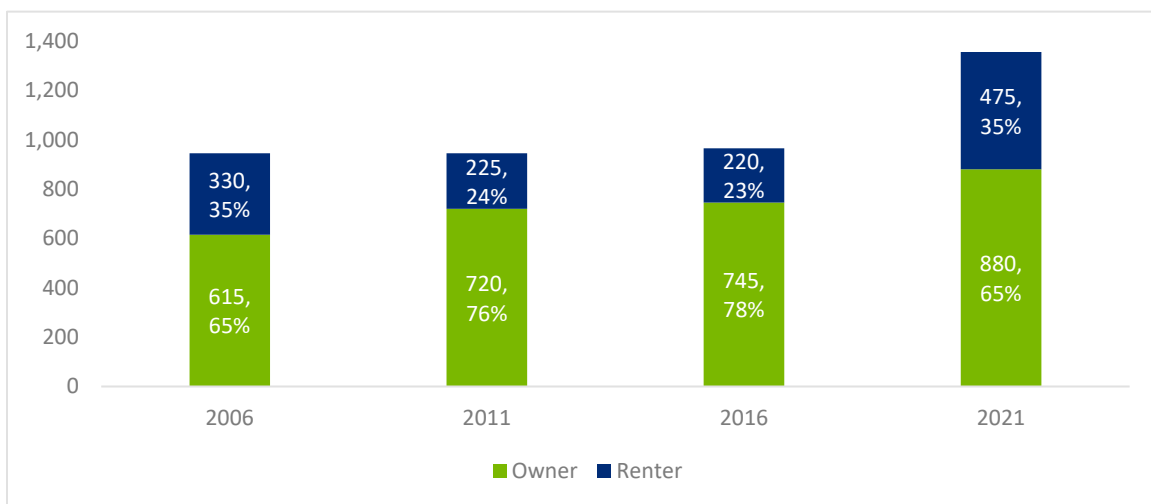


Source: Village of Pemberton, Building Permit Data, February 2023.

3.2.3 Tenure

As of 2021, there were 880 homeowners and 475 renters in Pemberton. Figure 21 illustrates that the distribution of tenures has fluctuated in Pemberton over time. Between 2006 and 2016, the proportion of renters in the community decreased from 35% in 2006 to 23% by 2016, while the overall supply of housing stayed relatively stable. Between 2016 and 2021, Pemberton saw a significant increase in both the number of dwellings and the population. Over these past five years, the proportion of renters increased again to 35%. Pemberton has a slightly higher rate of rentership than the region as a whole; 31% of households rent in the SLRD.

Figure 21. Housing tenure, Pemberton, 2006 to 2021.



Source: Statistics Canada Census Program, Census Profiles 2006, 2016, 2021; NHS Profile 2011

3.2.4 Movers

Both Pemberton and the SLRD are communities in flux. In 2021, 19% of Pemberton households (640 households), and 18% of the SLRD households, had moved in the previous year. This is higher than the 14% rate of movers across the province. These proportions have been fairly consistent over the past four census periods. Looking at only households who had moved in the previous year, 48% (305 households) moved within Pemberton, 34% (215 households) moved from other parts of BC, 12% (75 households) moved from other provinces, and 8% (50 households) came from outside of Canada.

3.2.5 Usual Residents

Statistics Canada collects data on whether dwellings are occupied by “usual residents” meaning whether they are occupied year-round. Dwellings that are not occupied by usual residents are typically seasonal or second homes or vacant. Between 2006 and 2021, the percentage of dwellings in Pemberton occupied year-round increased from 85% to 95%. This means that, over this period, dwellings in Pemberton were increasingly occupied by those who permanently reside in the community. As of 2021, 73 homes in Pemberton were not occupied year-round, down from 172 in 2006. The COVID-19 pandemic likely had an effect on home occupancy trends. Remote work allowed many secondary and seasonal homeowners to live in Pemberton year-round. Remote work also allowed many households to move from large urban areas to communities like Pemberton that offer greater lifestyle amenities. Finally, reduced travel and tourism reduced the need for seasonal workers in the area which may have also impacted occupancy. While these trends are significant, they may not be long term as tourism returns and many companies that had previously allowed remote work require workers to return to the office.

What We Heard: Pemberton's Housing Stock

Local stakeholders reported the following feedback through interviews:

- There are a lack of options for renting higher density and more affordable dwellings such as condos, apartments, rowhouses, or townhouses.
- There are a lack of affordable rental and ownership options for families needing dwellings with at least three bedrooms.
- Young adults, seniors, individuals with disabilities, single parents, and low-income families and individuals are most impacted by housing affordability challenges. Increasingly, middle-income individuals and families are also facing challenges affording market rents.
- Land costs are high, and developers are pressured to build bigger and more expensive homes in order to make building feasible.
- Pemberton is running out of developable land and there is not enough suitable land available for developers to build denser housing types.
- The requirement for building to BC Energy Step Code 4 limits affordable development. Interview participants noted that the extra efficiency of homes is important but that it increases the cost of building which is a cost that will be carried by the owner or renter.
- Interview participants said they would like to see the Village speed up the process of permitting. Developers building single-detached dwellings don't have as many challenges with permitting as those building higher density dwellings (e.g., condos, townhouses). The approval process for multifamily homes is slow and have been further hampered by local government staffing shortages and interest rate hikes.
- There is a need for more non-market and market-restricted housing to support local workers.

Respondents who participated in the OCP engagement sessions noted the following:

- The lack of affordable housing for community members was consistently highlighted as a main challenge for the Village over the next 25 years. Many noted that those born here are often unable to stay as they become priced out.
- Housing affordability was the highest priority topic areas among participants of the OCP open house.
- Open house attendees were invited to vote on the type of housing they would like to see developed in the Village. The highest voted options included Semi-Detached Houses and Townhouses (68 votes), Secondary Suites and Carriage Houses (53 votes), and Three to Four Storey Walk-ups (48 votes).

3.3 Homeownership

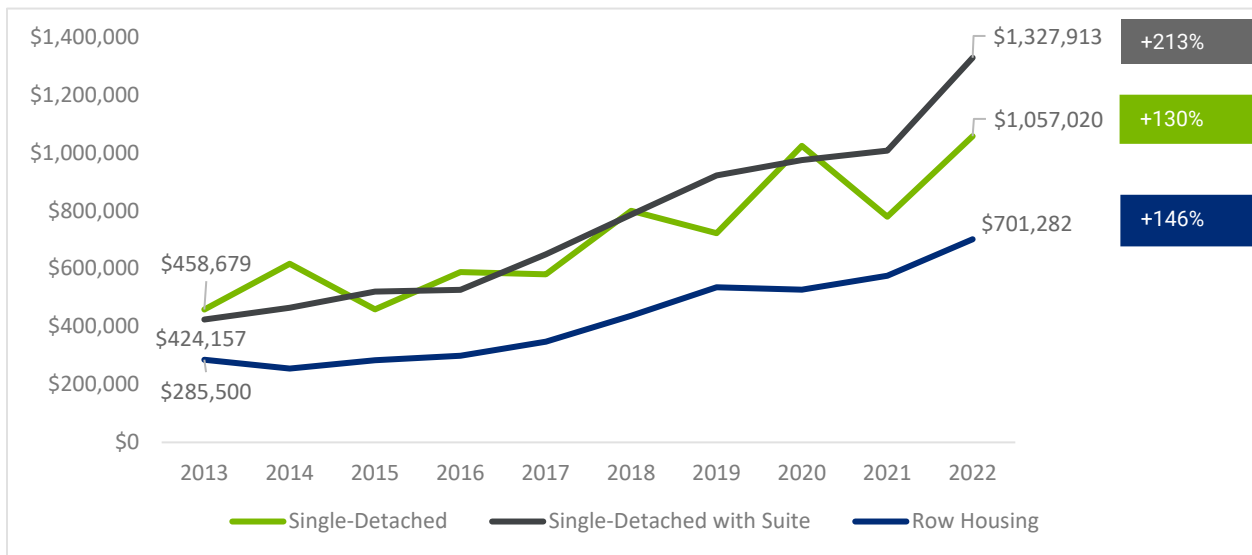
This section analyzes trends in the affordability of homeownership in Pemberton.

3.3.1 Home Sale Prices

Figure 22 and Figure 23 show average home sale prices for a variety of dwelling types in Pemberton. Since 2013, Pemberton has seen significant increases in home sale prices for all dwelling types, as illustrated in Figure 22 (single-detached, single-detached with suite, and row housing) and Figure 23 (apartments and manufactured homes). Home sale values have increased between 130% and 357% for these various dwelling types. Average home sale prices for manufactured homes have grown the fastest, at 357% since 2013. Sale prices for single-detached houses with suites have grown by 213%, row houses by 146%, apartments by 134%, and single-detached homes by 130%.

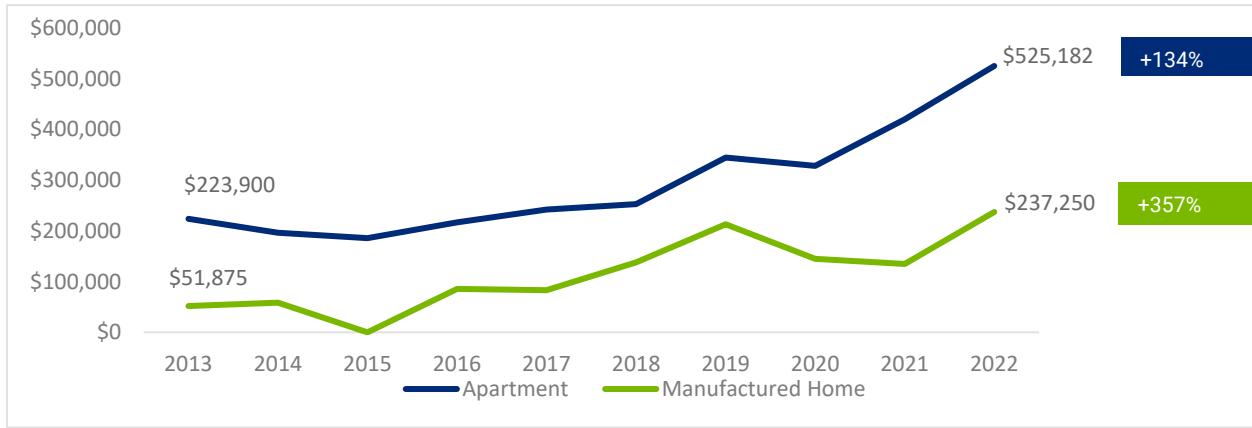
Data for home sale prices is dependent on sales occurring in a given year for a particular dwelling type. Average home sale prices for duplexes were not included as there were too many gaps in the data to include in these graphs. 5 data points were missing between 2013 and 2022, with no data for 2014, 2016, 2018, 2020, and 2022. These data gaps are likely the result of no duplexes being sold on the gap years listed.

Figure 22. Average Home Sale Prices for Single-Detached, Single-Detached with Suite, Row Housing, Pemberton, 2013-2021



Source: BC Assessment, 2022.

Figure 23. Average Home Sale Prices for Apartments, Manufactured Dwellings, Pemberton, 2013-2021



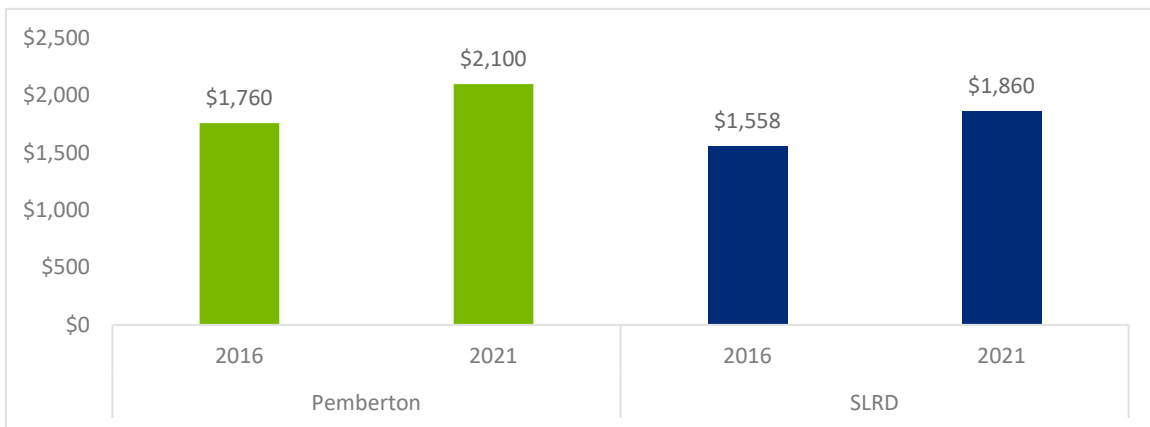
Source: BC Assessment, 2022.

Note that there was no data for 2015 due to low sales volumes.

3.3.2 Median Shelter Costs

Owner median shelter costs are the costs owners typically spent on housing every month. Understanding median shelter costs for Pemberton homeowners is vital to assessing ownership affordability. Figure 24 indicates that typical housing costs for homeowners in Pemberton are higher than median costs from the region. The median shelter cost for owners in 2021 was \$2100 per month.

Figure 24. Median monthly shelter costs for owned dwellings, Pemberton and SLRD, 2016 to 2021



Source: Statistics Canada Census Program, Census Profiles, 2016, 2021

Note that median shelter costs for owned dwellings includes those recent buyers as well as those who have been in their home for many years and may have paid off their mortgages. It is an aggregate figure reflected the halfway point of all owner household shelter costs. These figures are not considered an accurate measure of the true cost of owning in the community. Those entering the homeownership market today face significantly higher monthly shelter costs.

3.3.3 Affordability Gap Analysis

Two types of affordability gap analyses were completed to build a picture of how local household incomes compare with the cost of owning a home in Pemberton. As noted previously, owners typically have higher incomes than renters. Since median household income broken down by renter and owner households are not yet available for Pemberton in 2021, owner household incomes by household type have been estimated to reflect differences between owner and renter median incomes from previous years. For example, in 2016, owner household median income was \$91,907, and overall median income was \$82,585; owner income was 111.3% of overall income. Assuming there are no major variations in income differences in years before 2016, 111.3% can then be used to estimate owner incomes in Figure 25 below.

The first affordability analysis in Figure 25 looks at whether median-earning households can afford both median shelter costs in Pemberton by comparing shelter costs with what is affordable based on household incomes by household type. Affordable monthly housing costs in Figure 25 are based on the 30% shelter cost-to-income ratio.⁶ This is a commonly used metric that considers housing affordable if a household is spending less than 30% of their income on shelter. Therefore, the affordable monthly housing costs have been calculated by taking 30% of the income by household type. Using this affordability metric, Figure 25 uses data from the 2021 census and highlights that for couples with and without children, shelter costs are affordable and that these households should have a surplus after paying for shelter costs. However, for one-parent households and for non-census families (i.e., individuals living alone or with roommates), shelter costs are highly unaffordable.

While this first affordability analysis provides a snapshot of affordability, these shelter costs are inclusive of all owners, and do not distinguish between new owners and long-time owners who may have much lower shelter costs as a result of having paid off their mortgages. Therefore, this data may not accurately capture typical homeownership costs. For those that have recently purchased a home or are first-time buyers, monthly costs of owning are likely to be much higher and are more accurately captured in a second affordability analysis.

⁶ Information on the 30% shelter cost-income ratio can be found here: [CMHC introduces the Housing Hardship Measure | CMHC \(cmhc-schl.gc.ca\)](https://www.cmhc-schl.gc.ca/en/affordable-housing/affordable-housing-measure)

Figure 25 Owner Affordability Gap Analysis #1, Pemberton, 2022.

Household Type (2021 Median Household Income)	Affordable Monthly Housing Costs	2021 Monthly Median Shelter Costs (\$2100) Difference
Couples without Children (\$121,304)	\$3,033	\$933
Couples with Children (\$135,771)	\$3,394	\$1,294
One Parent Households (\$68,108)	\$1,703	-\$397
Non-Census Families (\$50,302)	\$1,258	-\$842

Source: Statistics Canada, Census, 2021. Median household incomes have been modified as described above.

The second affordability analysis compares Pemberton’s median household incomes with the cost of being a new homeowner in 2022. Since 2022 median incomes are not available, median incomes from 2021 have been inflated to estimate 2022 incomes using a compound annual growth rate of 3.36%. The affordability analysis presented in Figure 26 is a more accurate reflection of current housing costs. However, it is important to note that this is only one scenario of many possibilities that can reflect current housing affordability, the inputs used for this analysis can vary widely by household and may vary based on the amount of a down payment and based on actual mortgage interest rates. The analysis presented in Figure 26 is based on the following data and assumptions:

- 2021 home sale prices from BC Assessment for single-detached homes, singled-detached homes with a suite, row houses, condominiums/apartments, and manufactured/ mobile homes (see Figure 22 and Figure 23).
- Mortgage payments were based on a 25-year amortization period with a 5.54% interest rate.⁷
- A down payment of 10% was assumed for sales prices below \$1 million and 20% for sales prices over \$1 million. The government of Canada requires a 20% down payment for homes with a purchase price of \$1 million or more.
- Flat rate monthly utility costs were calculated using the Village of Pemberton’s rates included in the 2020 Water Rate Bylaw, which is inclusive of water and sewer utility rates.⁸ Utility costs ranged from \$41 to \$74 per month.

⁷ Based on the 5-year fixed closed rate offered by TD as of June 6, 2023.

⁸ Water Rate Amendment No. 884, 2020. <https://www.pemberton.ca/public/download/files/115804>

- Monthly hydro prices were estimated using Natural Resources Canada data on household types and energy usage for BC in 2020⁹, and BC Hydro's current residential rate of \$0.12 per kilowatt per hour.¹⁰ Monthly hydro prices were in the range of ~\$130 for an apartment or condo to \$288 for a single detached home per month.
- Insurance costs were estimated by adding Square One's example personal property premium rate and fire premium rate¹¹, and by using the average assessed home values for the different dwelling types to estimate the monthly rates. Insurance costs can vary significantly based on several factors including home location, home characteristics, occupancy and use, and personal characteristics of the insurance purchaser. Therefore, the monthly insurance costs are only basic estimates and range between \$65 to \$175 per month.
- Strata fees were estimated by using current Pemberton condominium and townhouse listings on Realtor.ca¹², taking an average of the total listed condominiums and townhouse strata fees, respectively. Strata fees for condominiums were estimated to be \$297 per month, and townhouses were estimated to be \$333 per month.

Affordability estimates for gas were not included, as Pemberton does not have piped gas utility. Therefore, the analysis in Figure 26 shows only affordability based on hydroelectric utilities. While there are homes in Pemberton that use other sources of energy (e.g., propane), data for other sources are not available. This analysis is then based on the assumption that 100% of energy use is hydroelectric.

Figure 26 shows the results of the second affordability analysis and illustrates the difference between the actual cost of housing, and what is affordable for median household incomes based on households spending 30% of their median income. This analysis highlights that all household types are significantly limited or prohibited in what they can afford to own. Down payments are significant at all levels and require households to have pre-existing equity or to save for a number of years before they are able to enter the homeownership market.

⁹ Natural Resources Canada, Residential Sector – British Columbia.

https://oee.nrcan.gc.ca/corporate/statistics/neud/dpa/menus/trends/comprehensive/trends_res_bct.cfm

¹⁰ BC Hydro, Quick Facts, 2022. <https://www.bchydro.com/content/dam/BCHydro/customer-portal/documents/corporate/accountability-reports/financial-reports/annual-reports/cs-2480-bc-hydro-quick-facts-2022.pdf>

¹¹ Square One, Understanding your home insurance premiums, 2022. <https://www.squareone.ca/resource-centres/insurance-basics/understanding-your-insurance-premiums>

¹² <https://www.realtor.ca/mls>.

Figure 26 Owner Affordability Gap Analysis #2, Pemberton, 2022.

Household Type	2022 Median Household Income	Affordable Monthly Housing Costs	Single-Detached Dwelling	Single-Detached Dwelling with a Suite
Average Sales Price (2022)			\$1,057,020	\$1,327,913
Down Payment (20% required for homes over \$1 million)			\$211,404	\$265,583
Estimated monthly housing costs (2022)			\$5,806	\$7,182

Couples without Children	\$125,845	\$3,146	-\$2,660	-\$4,036
Couples with Children	\$141,467	\$3,537	-\$2,270	-\$3,645
One Parent Families	\$70,293	\$1,757	-\$4,049	-\$5,425
Non-Census Families	\$51,916	\$1,298	-\$4,508	-\$5,884

Household Type	2022 Median Household Income	Affordable Monthly Housing Costs	Row House	Apartment / Condominium	Manufactured / Mobile
Average Sales Price (2022)			\$701,282	\$525,182	\$237,250
Down Payment (10%)			\$70,128	\$52,518	\$23,725
Estimated monthly housing costs prices (2022)			\$4,616	\$3,479	\$1,613

Couples without Children	\$125,845	\$3,146	-\$1,470	-\$333	\$1,533
Couples with Children	\$141,467	\$3,537	-\$1,080	\$57	\$1,923
One Parent Families	\$70,293	\$1,757	-\$2,859	-\$1,722	\$144
Non-Census Families	\$51,916	\$1,298	-\$3,318	-\$2,181	-\$315

What We Heard: Homeownership

Local stakeholders reported the following feedback through interviews:

- Pemberton lacks higher density and more affordable dwellings such as condos, apartments, or townhouses.
- There is concern that some of the development that is currently underway will not service the local community but draw wealthier individuals and families wanting to move to Pemberton.
- There is a demand for all housing types, but particularly for one- and two-bedroom apartments, condos, and townhouses to meet the needs of first-time buyers, young families, single people, and for young seniors moving to Pemberton to be active and near their children or grandchildren.
- Living in Pemberton as a lone parent household is completely prohibitive. Young single people looking to leave the rental market and purchase their first home cannot do so in Pemberton.
- Almost everyone is stretched to afford to own a home. Those who purchased a home years ago are in a better position than those wanting to buy a home today. If a household is trying to buy in the present market, they likely will need financial support from family to be able to afford anything.
- Even homeowners with mortgage payments here might have to access the food bank. Lots of people with fulltime jobs might have to access rental supplement or income assistance.

Community members who participated in the OCP engagement noted the following:

- Participants noted that first-time home buyers are struggling to find appropriate housing in the community. Many are forced to leave the market and move away due to the high prices and a lack of options.

3.4 Rental Housing

This section analyzes trends in the supply and affordability of rented homes.

3.4.1 Rental Housing Stock

A community's rental housing stock is made up of primary rental housing and secondary rental housing. **Primary rental housing, or purpose-built rental housing**, refers to privately initiated apartment structures used solely as rental units. These are typically multi-family buildings managed by a single landlord. **Secondary rental housing** describes rental units that were not originally purpose-built for the rental market, that are typically owned by a single owner, and that may be rented or owner-occupied. Examples of secondary rental housing includes secondary suites and carriage homes, as well as privately-owned condominiums, townhouses, and single-detached houses that are rented by the owner.

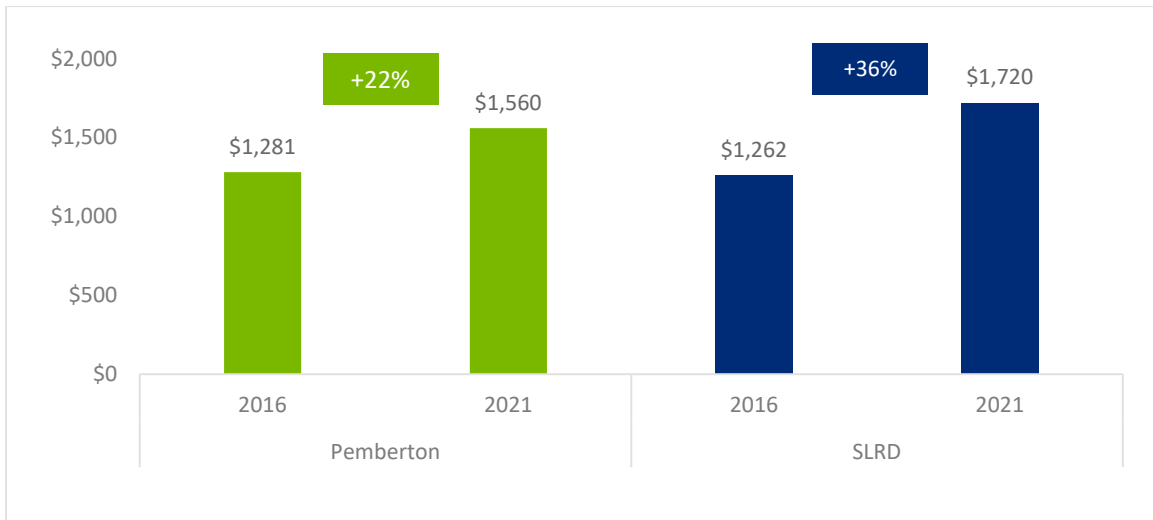
Pemberton has a very limited supply of purpose-built rental housing and most households rent in the secondary rental market. As of early 2023, Village data showed that there were 45 purpose-built rental units in Pemberton, including 37 one-bedroom units and eight two-bedroom units. Because of its small size, CMHC does not report on rental market data for Pemberton and data on the cost of renting in the community is limited.

Evidence indicates that the vast majority of renters in Pemberton rent in the secondary rental market, either renting accessory dwellings, or entire houses or condominiums. The 2021 census showed there were 475 renter households in Pemberton. With only 45 purpose-built rental units in the community, the primary rental market only serves about 9.5% of renter households. This indicates that 90.5% of renter households find housing in the secondary rental market, in accessory dwellings or rented houses, townhouses, and condominiums.

3.4.2 Median Shelter Costs for Rented Dwellings

Renter median shelter costs are the costs households typically spent on rents every month. Understanding median shelter costs for Pemberton renters is vital to assessing rental affordability. Figure 27 indicates typical housing costs for renters in Pemberton are lower than median costs from the region. The median shelter cost for renters in 2021 was \$1560 per month.

Figure 27. Median monthly shelter costs for rented dwellings, Pemberton and SLRD, 2016 to 2021



Source: Statistics Canada Census Program, Census Profiles, 2016, 2021

Note that median shelter costs for rented dwellings includes those who recently began a rental lease as well as those who have been in their home for many years. It is an aggregate figure reflected the halfway point of all renter household shelter costs. These figures are not considered an accurate measure of the true cost of renting in the community. Those recently entering the rental market may be facing much higher rental rates.

3.4.3 Non-Market Housing and Rental Assistance

The number of households accessing subsidized housing, through non-market rental units or subsidies in the private rental market, has stayed fairly consistent over time. Census data on the number of renter households in subsidized housing is available for 2011 to 2021. Over this period the number of households accessing subsidized housing increased modestly from 30 to 40 households. This aligns with data on non-market housing units in Pemberton with a financial affiliation with BC Housing. BC Housing Data shows that as of May 2022, there were 40 non-market housing units in Pemberton.

Figure 28. Non-Market Housing Units Affiliated with BC Housing, Pemberton, 2022.

	Independent Social Housing	Rent Assistance in the Private Market	Transitional Supported and Assisted Living	Total
Number of Units	30	6	4	40

Source: BC Housing’s Research and Corporate Planning Department, Unit Count Reporting Model, March 2022.

3.4.4 Affordability Gap Analysis

A rental affordability analysis was completed for Pemberton based on estimated 2021 median incomes, using the same estimation method as used in the owner affordability analysis in section 3.3.3. Based on 2016 data, renter median incomes are 64% of overall median incomes. While this analysis provides an idea of rental affordability, it does not consider current rental costs which are typically far higher than median and monthly shelter costs as this data includes renters who have been in their homes for many years and have been relatively sheltered from major increases typically seen in rental markets.

As noted in section 3.3.3, median household income broken down by renter and owner households is not yet available for Pemberton in 2021. While the estimation method used to determine current renter incomes is not perfect, it provides a general idea of what affordability looks like in Pemberton and since 35% of households in Pemberton rent, this picture of affordability is important to note.

Figure 29 shows the results of this analysis. This analysis considers affordable monthly housing costs based on the 30% shelter cost-income ratio used in section 3.3.3. Median shelter costs for rented dwellings are affordable for couples with or without children who rent, but highly unaffordable for one-parent households and non-census families. Like the homeownership affordability analysis, non-census families or individuals living alone are by far the most deeply impacted by unaffordability in Pemberton.

Figure 29. Renter Affordability Gap Analysis, Pemberton, 2021.

Estimated 2021 Median Household Income for Renter Households	Affordable Monthly Housing Costs	2021 Monthly Median Shelter Cost Difference (\$1560)
Couples without Children (\$69,301)	\$1,733	\$173
Couples with Children (\$77,567)	\$1,939	\$379
One Parent Households (\$61,200)	\$973	-\$587
Non-Census Families (\$45,200)	\$718	-\$842

Source: Statistics Canada, Census, 2021. Median household incomes have been modified as described above.

3.4.5 Short-Term Rentals

AirDNA, a service that collects data on short-term rentals, reports that Pemberton saw a peak of 44 active rentals in the fourth quarter of 2022. Among current active rentals (28 as of March 10, 2023), 75% were for the entire home and 57% were for one-bedroom units.

In Pemberton, there is a limit on the amount of short-term vacation rentals that are allowable in the community. Short-term vacation rentals (STVRs) are limited to 5% of dwelling units in each neighbourhood. The current cap is at 27 total STVRs, of which 21 are active and 6 are available. A total of 13 applicants are on the waitlist where the neighbourhood limits have been reached. Note that legal B&Bs are allowed where permitted in the zoning bylaw. This may explain the inconsistencies from AirDNA and Village records for STVRs.

What We Heard: Rental Housing

- There is a shortage of long-term, affordable rental housing, in particular, there is a shortage of one- and two-bedroom rentals.
- Many renters are forced to move elsewhere due to the lack of affordable, suitable rental units in Pemberton. Many workers who want to move to Pemberton for work have had to decline job opportunities because they were unable to secure rental housing.
- Seniors and people with physical disabilities may have to move elsewhere due to a lack of accessible rental housing (e.g., dwelling at ground level).
- If you're a lone parent household, living in Pemberton is completely prohibitive.
- There is a shortage of subsidized housing for low-income individuals and families. Sea-to-Sky Community Services helps community members facing eviction find housing in Squamish because of the lack of opportunities for subsidized housing in Pemberton.
- Short-term rentals are perceived to be reducing long-term rental stock for people who live and work in the region. There are reports of long-term renters being evicted because landlords want to convert their suites to short-term accommodations.
- Homeowners earn more money renting their suites short-term.
- Many who cannot afford to buy a house in Pemberton have left due to a lack of options for renting long-term.
- Assisted living for seniors to age-in-place is needed. The Lions Club Seniors Villa has supportive workers coming in to help residents, however, seniors who require assisted living or extra in-home supports often leave Pemberton for Squamish or elsewhere.
- There is a lack of subsidized housing for individuals who are low-income, disabled, or seniors. There is currently a long waitlist for the Lions Club subsidized housing.
- Employers struggle to recruit and retain staff due to a lack of affordable rental housing. Fewer young people are coming to Pemberton to work in trades because they are unable to find affordable accommodation. Some employers struggle to secure affordable housing for low-income staff, and others struggle to retain higher paid staff because of a lack of desirable options.
- No respondents interviewed recruit a temporary or short-term workforce. All employers interviewed are working to hire part- or full-time and permanent employees.

What We Heard: Rental Housing (continued)

Feedback from OCP engagement also noted challenges in finding appropriate rental accommodations for community members. There is limited rental stock in the community, and many local wages do not provide enough financial stability for the population to afford the high rental prices.

3.5 Homelessness

No data is currently available for trends in homelessness for Pemberton. Therefore, the state of homelessness in Pemberton remains mostly undocumented, with the exception of anecdotal evidence and stakeholder and community knowledge described below.

What We Heard: Homelessness

Local stakeholders reported the following feedback through interviews:

- Homelessness is becoming more visible than it used to be two years ago. Panhandling is becoming more widespread.
- Some people are living in unsuitable and precarious conditions off-grid, in mobile housing, tents, or couch surfing. Some interview participants knew of individuals living out of town and off-grid who would hitchhike into town for work and for amenities.
- Several interview participants reported anecdotes of people moving to Pemberton for work and couch surf while searching for accommodation, and then would have to move away because they weren't able to secure a rental accommodation.
- It is not uncommon for households to live in dwellings with not enough rooms to accommodate the number of people, for example, parents sleeping on a couch while their children sleep in a room of a one-bedroom suite.
- There is a need for improved supports for those underhoused and living in trailers. These individuals need support seasonally because their housing isn't necessarily safe in this climate.

4 Housing Need

This section summarizes how many units are needed to address current and anticipated housing need in Pemberton over the next five years.

4.1 Key Findings

Figure 30 summarizes the number of dwellings or other supports required to address current and anticipated housing need in Pemberton between 2023 and 2028. An evaluation of growth scenarios in development trends and current housing pressures revealed that the high growth scenario correlated most accurately with recent historical data. A high growth scenario was used to estimate total units required over the next five years.

- Current need indicates housing need at the time this document was prepared based on who lives in the community today. Only rental need is estimated in the current housing need category.
- Anticipated need indicates housing needed to support continued population growth trends in both the homeownership and rental markets.

Figure 30 Summary of Housing Need, Pemberton, 2023 to 2028

Type of Housing Needed	Number of Dwellings or Supports
Underlying Need (2023)	139+
Anticipated Homeownership (2023 to 2028)	466
Anticipated Rental (2023 to 2028)	242
Total	847+

**Based on average rate of core housing need for renter households in Pemberton applied to the 2023 estimate of renter households. Homeowners are not included in this figure as their needs and movement in the housing systems differs due to their access to home equity. This figure should be considered a minimum as it does not account for suppressed household (e.g., young people unable to form own households due to lack of housing supply or households living in overcrowded conditions). As core housing need refers to existing household living in the community who are unable to afford to move, these households require either non-market rental units or direct subsidies.*

4.2 Underlying Housing Need

4.2.1 Housing Standards

Housing standards¹³ are nationally used units of measure that identify three aspects of housing:

- **Affordable Housing:** housing that costs less than 30% of total before-tax income.
- **Adequate Housing:** housing that does not require major repairs, according to residents.
- **Suitable Housing:** housing that has enough bedrooms for the size and makeup of the resident household, according to National Occupancy Standard (NOS) requirements.

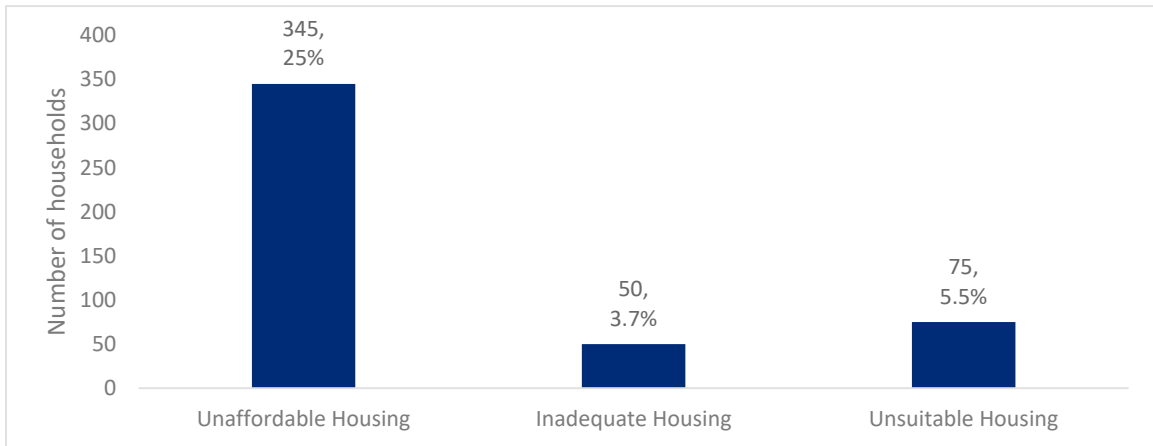
Figure 31 shows the number and proportion of all households in Pemberton that fall below each housing standard. Affordability is the most significant issue for Pemberton households, as it is in most BC communities. Figure 32, Figure 33, and Figure 34 show how these trends have changed over time for the affordability, adequacy, and suitability standards.

The proportion of renters facing rental need is typically much higher than owners. The 2021 data on the affordability standard must be read with caution as income supplements introduced as a COVID-19 pandemic response were still in place and may have temporarily inflated incomes. There is not enough evidence to suggest that housing issues are truly on a downward trajectory. As pandemic restrictions eased and interest rates remained low through 2021 and most of 2022, housing demand increased rapidly. Broader trends indicate that affordability and supply issues are much worse today than in 2021; for example, CMHC's 2022 Rental Market Survey reported the lowest Canada-wide rental vacancy rate in two decades.

Issues with housing adequacy, that is state of repair, appear to have worsened over time (Figure 33). Issues with housing suitability fluctuate significantly between census periods (Figure 34). As noted in Section 2: Community Overview, Pemberton experiences major fluctuations in its households between census periods and this is likely due to the presence of a sizeable temporary (seasonal) workforce. Suitability issues may be short-term as workers and households accept whatever housing is available at the time of need.

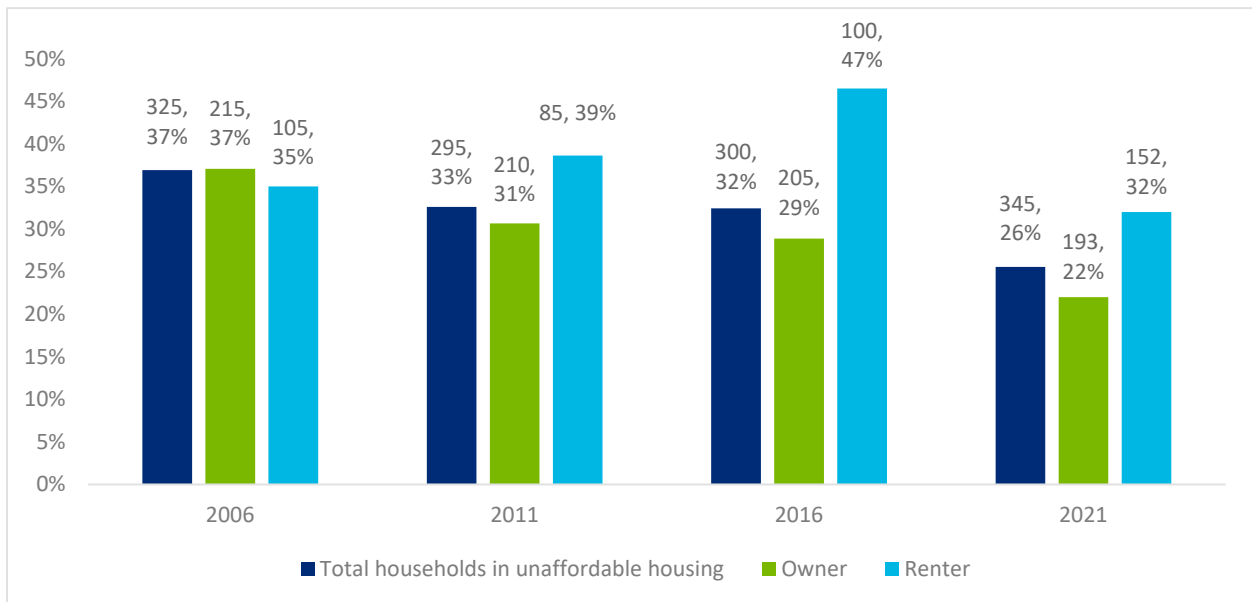
¹³ See glossary for further details.

Figure 31. Households below housing standards, Pemberton, 2021.



Source: Statistics Canada Census Program, Census Profile 2021

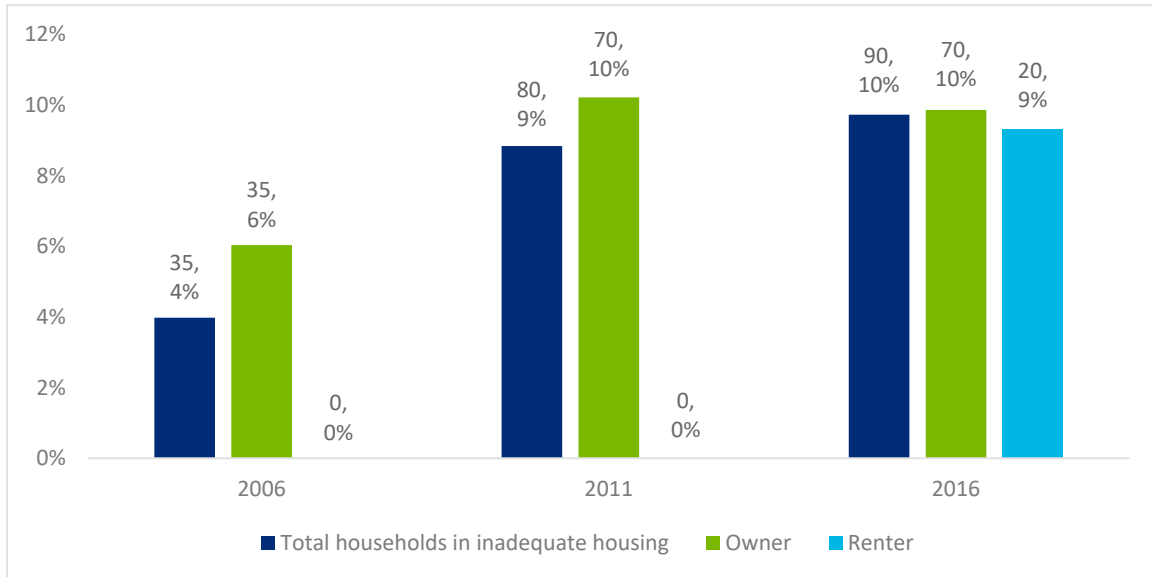
Figure 32. Households spending 30% or more of gross household income on shelter, Pemberton, 2006 to 2016.



Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016

Note that the 2021 Census Profile reports on the percentage of households in core housing need, but not the number of households. The number of households has been estimated based on the percentages provided.

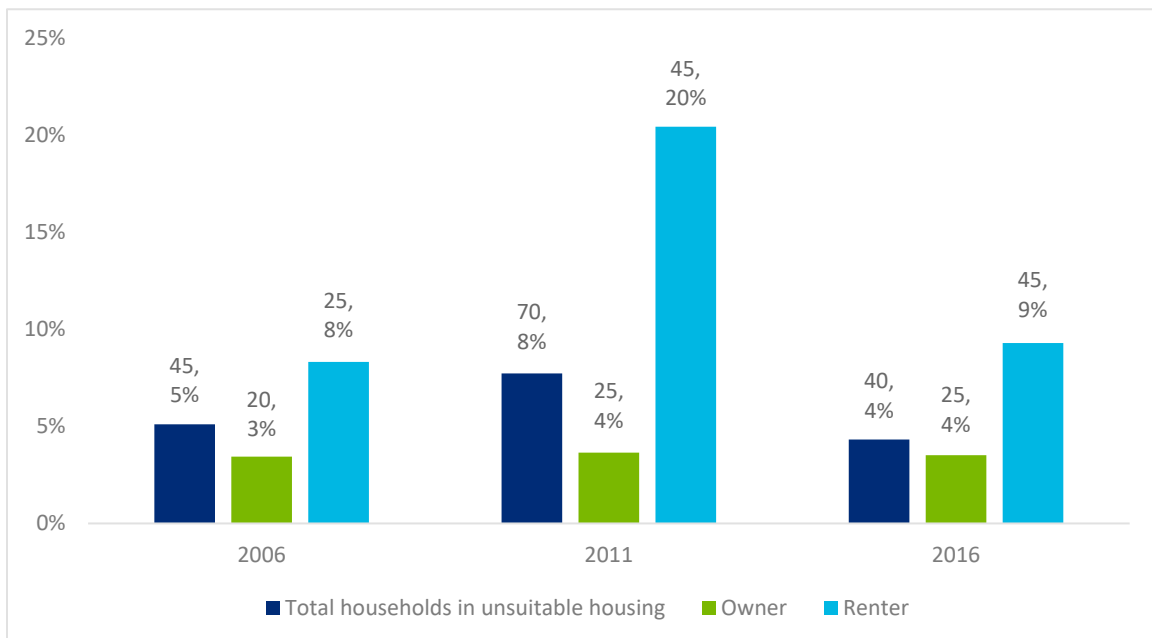
Figure 33. Share of households with inadequate housing by tenure in Pemberton, 2006 to 2016.



Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016

2021 data on housing adequacy by tenure was not available at the time this document was prepared. No renter households were reported to be living in inadequate housing in 2006 and 2011. This is likely due to the small number of renters in the community and the relatively young housing stock.

Figure 34. Households with unsuitable housing by tenure, Pemberton, 2006 – 2016.



Source: Statistics Canada Census Program, Census Profiles 2006, 2011, 2016

2021 data on housing suitability by tenure was not available at the time this document was prepared.

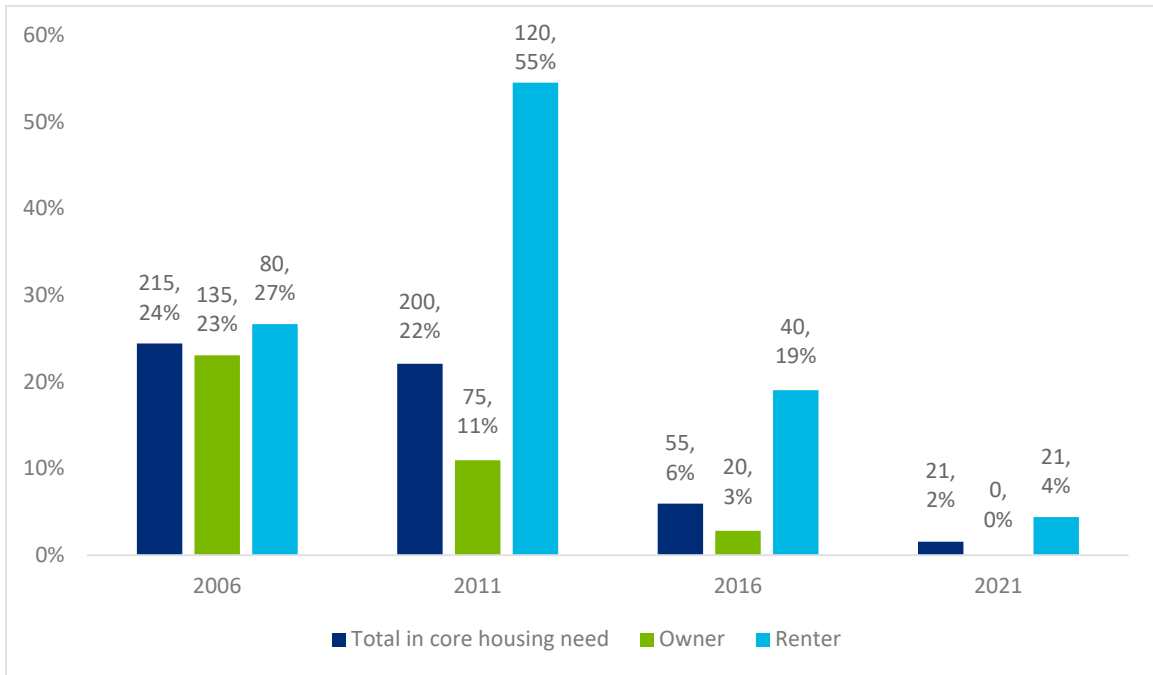
4.2.2 Core Housing Need

CMHC defines core housing need as a household whose housing falls below at least one of the adequacy, affordability, or suitability standards **AND** who would have to spend 30% or more of its before-tax income to afford the median rent for a more appropriate unit in the community. Those in extreme core housing need meet the definition of core housing need and spend 50% or more of their income on housing. Essentially, households in core housing need are facing at least one housing issue and cannot afford to move in the same community.

Core housing need is an important measure of the health of a community's housing system. However, because of the impact of income supplements during the type of the 2021 census, 2021 data on core housing need is not considered an accurate reflection of true core housing need in the community and should not be relied upon alone to determine whether there are unmet housing needs in the community. Because of these data limitations, looking at historic trends and average core housing need over time is recommended until future censuses shed light on longer-term trends.

Figure 35 shows the proportion of households, including by tenure, who were identified as in core housing need over the past four census periods. The 2021 data indicates unusually low core housing need which needs to be treated with caution for the reasons stated above. The trends do indicate that Pemberton experiences major fluctuations in core housing need between census periods and this is likely due to the population and household dynamics of a workforce that moves in and out of the community in high proportions. The spike in the percentage of renters in 2011 in core housing need may be related to the 2020 Winter Olympics, which was hosted partly in Whistler. As a result of this event, many Pemberton rentals may have been temporarily removed from the market and the lack of available rentals may have contributed to an increase in rental prices, creating even more need for rentals.

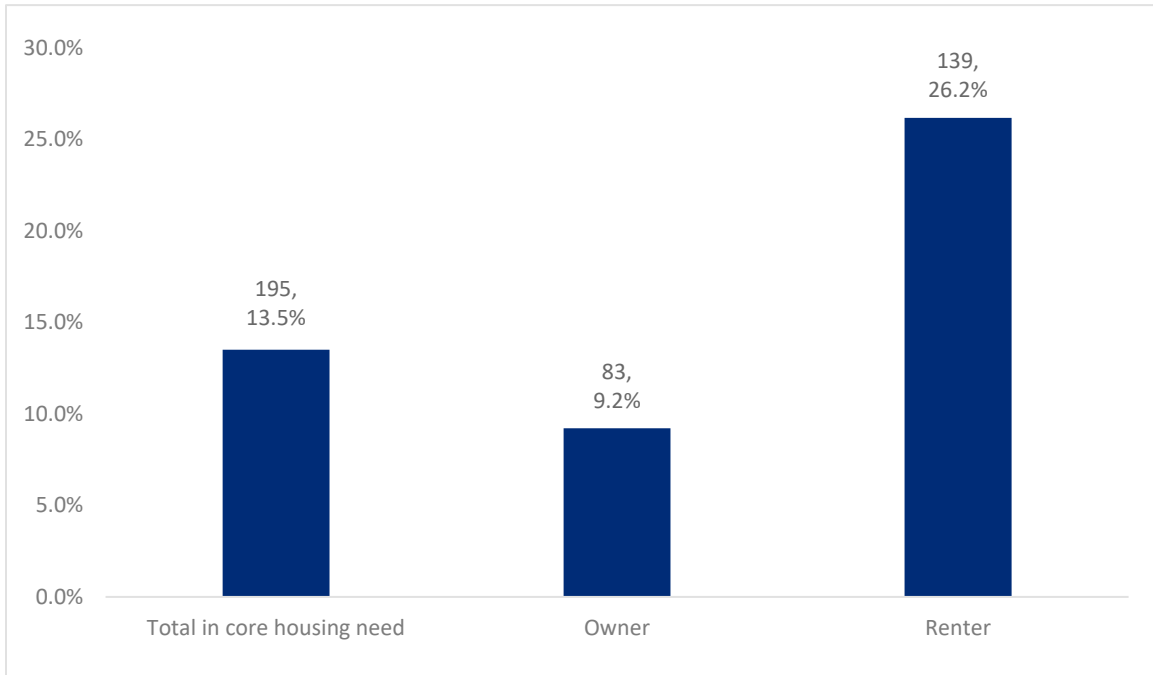
Figure 35. Households in core housing need by tenure, Pemberton, 2006 - 2021



Source: Statistics Canada Census Program, Custom Data Organization for BC Ministry of Municipal Affairs and Housing, Census Profiles 2021

Since the data for 2021 is considered unreliable until future census data can confirm the direction of trends, an average of the past four census periods has been taken to present a more reliable, but still imperfect, picture of current core housing needs (see Figure 36). This more realistic picture of current core housing needs estimates that 13.5% of Pemberton residents are in core housing need (approximately 182 households), including 9.2% of homeowners, and 26.2% of renters.

Figure 36. 4-Year average estimate of households in core housing need by tenure and estimate of 2023 households in core housing need, Pemberton



Source: Based on data from Statistics Canada Census Program, Custom Data Organization for BC Ministry of Municipal Affairs and Housing, Census Profiles 2016 to 2021.

4.3 Anticipated Housing Need

Housing needs reports are required to outline anticipated housing need over the next five years, 2023 to 2028. This time frame is the focus of this document. For insight into longer term trends, 2021 (last census year) and 2041 population and dwelling projections are also included. The base year used to develop the projections is 2021 as this is the last year for which census data is available. For the purposes of a consistent starting point aligned with the publication of this document, the 2023 population (3,514) was estimated using the baseline scenario.

The population projections presented here are one set of possible scenarios and can change due to a myriad of factors, including demographic, economic, environmental, and other factors. This information is provided to support planning initiatives and should be considered in light of new information as it becomes available. Projections should be updated at least every five years.

An overview of the projections methodology can be found in the appendix.

4.3.1 Projected Population

To develop dwelling projections for the purposes of this Housing Needs Report, three population scenarios were prepared for Pemberton. While 2021 represents the most recent census data, 2023 population and household estimates were prepared to align with the publication of this report and are used as a starting point for estimated anticipated housing need.

The **baseline scenario** based BC Stats estimates for Pemberton that are based on fertility, migration, and death rates in the community. It assumes an average annual growth rate of 1.2% between the period of 2021 and 2041.

As Pemberton has experienced much higher growth in the past several years than in past decades, two higher growth scenarios were also prepared to support the Village in anticipating housing need in future years. These growth scenarios are based on Pemberton's more recent ten-year population growth trends. The **medium growth scenario** assumes an average annual growth rate of 3.1% between the 2021 census year and 2041. The **high growth scenario** assumes an average annual growth rate of 5.8%.

Figure 37 shows historic and projected population growth in Pemberton until 2041. As the three scenarios show, there is significant spread in potential growth in Pemberton. The historical and baseline lines on the graph show slower, flatter growth over time, reaching a total population of approximately 4,305 by 2041. The medium and high growth scenarios show more significant additions to the population, especially through in-migration from other communities. In these scenarios, the population of Pemberton may increase two to three times its current population over the next 20 years.

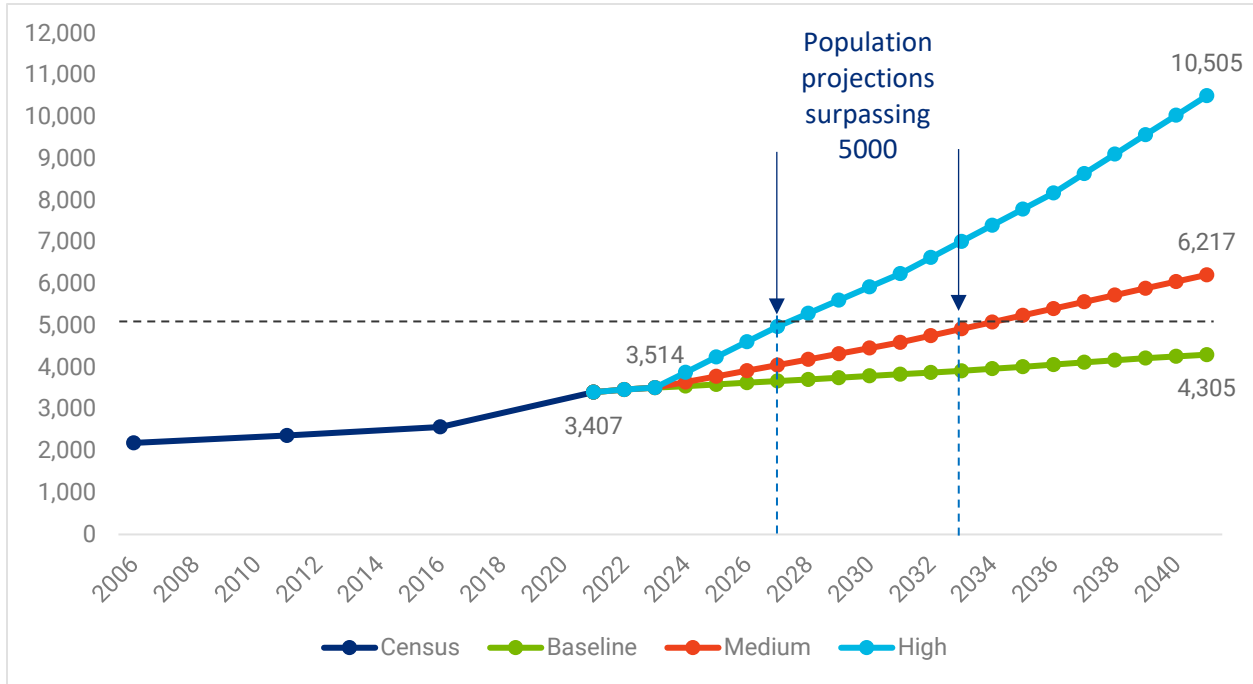
In the short term (five year) projections, the growth scenarios estimate the following population by 2028:

- Baseline: 3,710
- Medium growth scenario: 4,191
- High growth scenario: 5,295

The graph below highlights the point in time, based on the growth scenarios, that Pemberton's population is expected to reach 5,000, which ranges from as early as 2027 in the high growth scenario, 2033 in the medium growth scenario, and beyond 2031 in the low growth scenario. As population and housing trends in Pemberton indicate that the high growth may be most reflective of current dynamics, it is anticipated that the community will reach this population level in the near term unless there is a significant shift in development and growth trends. This population level is significant because once a municipality's population surpasses 5,000, it faces

additional financial cost burdens for policing services. While not a focus of the housing needs report, this information is highlighted to inform future planning.

Figure 37. Historical and Projected Population, Pemberton, 2006 to 2041.



In addition to a growing population Pemberton, is also experiencing some modest shifts in its demographics through age distribution, as shown in Figure 38 and Figure 39. While Pemberton has seen a gentle aging trend in recent years, and projections based on the community’s current demographics indicate that this trend will continue, but that Pemberton’s overall population will stay relatively young. All of the scenarios project that the medium age in Pemberton in 2041 will be between 37.1 and 38.1.

Figure 38. Projected Age Distribution by Percentage, Pemberton, 2021 to 2041.

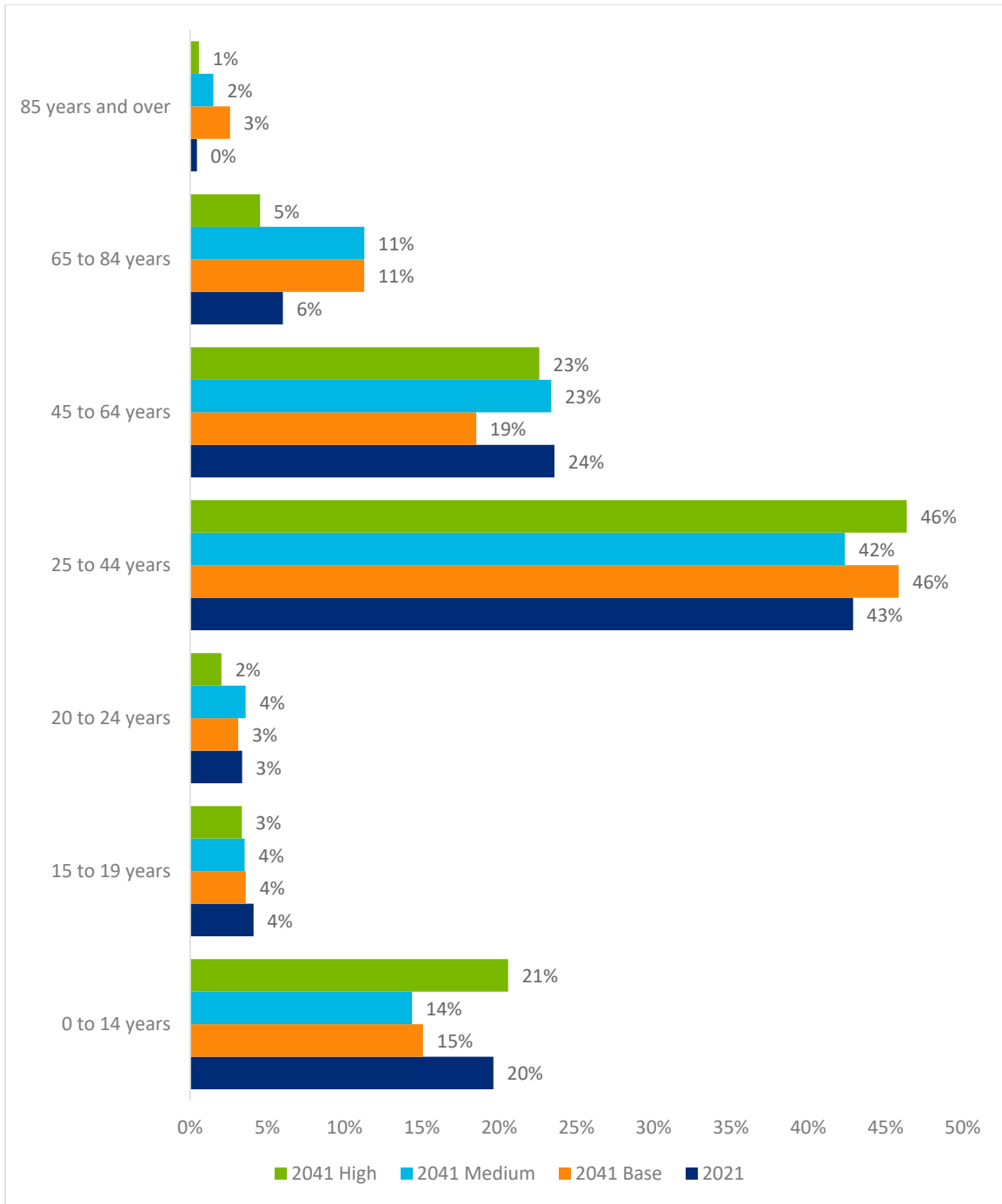
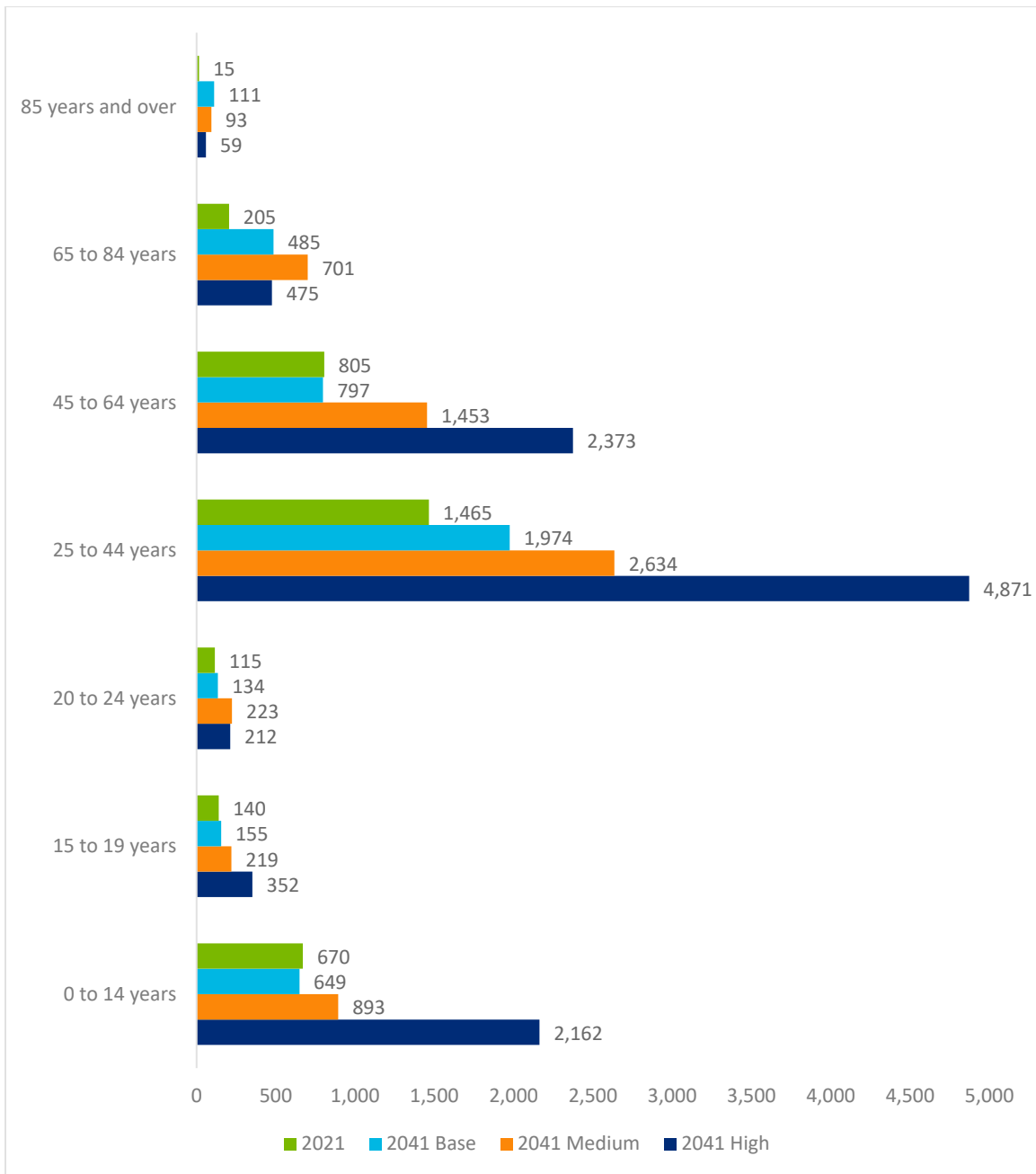


Figure 39. Projected Age Distribution by Count, Pemberton, 2021 to 2041.



4.3.2 Anticipated Units by Tenure

Household projections were developed to estimate the number of dwelling units by tenure that will be needed in Pemberton if trends continued. Figure 40 summarizes the dwelling projections between 2023 and 2028. Figure 41 shows a longer-term trend from 2021 to 2041.

The average household size is projected to remain at approximately 2.5 over this period.

Figure 40. Short Term Projected Units by Tenure, Pemberton, 2023 to 2028.

	Baseline Scenario	Medium Scenario	High Scenario
Owner	45	169	466
Renter	36	91	242
Total	81	260	708

Figure 41. Long Term Projected Units by Tenure, Pemberton, 2021 to 2041.

	Baseline Scenario	Medium Scenario	High Scenario
Owner	217	753	1,858
Renter	151	423	941
Total	368	1,176	2,799

4.3.3 Anticipated Households and Units by Bedroom Count

Figure 42 shows estimated household distribution for growth between 2023 and 2028 based on each of the growth scenarios.

Figure 42. Short Term Projected Household by Household Types, Pemberton, 2023 to 2028.

	Baseline Scenario	Medium Scenario	High Scenario
Couple Family Without Children	27	71	161
Couple Family With Children	11	76	275
Lone Parent Family	4	13	34
Other Census-Family	3	12	42
Non-Census-Family	36	88	196
Total	81	260	708

Based on the distribution of household types and household sizes for the most recent available census year (2016), the distribution of units by bedroom count has been estimated in the table below.

This is meant to serve as a guideline only. These guidelines are applied only to the five-year, high-growth unit projections as the distribution of household types will change over time and is influenced by the supply of housing.

Figure 43. Guidelines for the Bedroom Count of New Units, Rental Housing.

	Proportion	Estimate for High Growth Scenario, 2023 to 2028
Studio / One Bedroom	60%	145
Two Bedroom	11%	27
Three or More Bedrooms	30%	73

Note that, due to rounding, the proportions do not add up to exactly 100%, which slightly affects that total estimate.

Figure 44. Guidelines for the Bedroom Count of New Units, Ownership Housing.

	Proportion	Estimate for High Growth Scenario
Studio / One Bedroom	37%	172
Two Bedroom	23%	107
Three or More Bedrooms	40%	186

4.3.4 Affordability of Rental

Figure 45 outlines guidelines for affordability of new rentals in Pemberton. It is based on the most recently available income distribution for renter households (2016). Anticipating affordability is a complex undertaking and these figures are intended to inform the community and housing sector in Pemberton about what levels of affordability are required to meet the needs of the local population. These can be used to inform housing policies and help set rent levels in new buildings. They may also be used to evaluate different housing forms for how well they meet the affordability needed for local incomes.

This is meant to serve as a guideline only. The data is the best available at the time of this report but is out of date. Once income distribution by tenure is available through provincial data to support housing needs reports, this table should be updated internally to support decision-making about affordability. These guidelines are applied only to the five-year, high-growth unit projections as the distribution of incomes will change over time and is influenced by the supply of housing.

Affordability guidelines are not provided for homeownership because there are fewer mechanisms for local government to impact the sale and resale prices of homeownership. The affordability analysis completed in Section 3 can be used to help inform decisions about what home price may or may not be affordable for local workers.

Figure 45. Guidelines for Affordability in New Rental, 2023 to 2028.

Income	Affordability	Proportion	Estimate for High Growth Scenario
Under \$45,000	Under \$1,125	38%	61
\$45,000 to \$69,999	\$1,125 to \$1,750	21%	58
\$70,000 to \$89,999	\$1,750 to \$2,250	19%	6
\$90,000 to \$124,999	\$2,250 to \$3,125	13%	5
\$125,000 to \$199,999	\$3,125 to \$5,000	4%	8
\$200,000 and over	\$5,000 and over	4%	28

4.4 Current Development Trends and Housing Need

Figure 46 compares current development trends to the three growth scenarios. The orange column reflect the most recent five-year development trends shown through building permit data and census data. Note that census data indicates higher net additional dwellings may represent informal development, such as conversion of a single-family home into a rooming house, that may not reflect permitting trends.

Based on this comparison, Pemberton’s current trajectory is somewhere between the medium and high scenario. Recognizing that housing continues to be extremely constrained and affordability issues are on the rise, the high scenario may be a more accurate reflection of growth pressures in Pemberton than the lower growth scenarios which are more reliant on historical trends. As noted above, housing projections represent possible scenarios, but are not predictions. The relationship between housing development and growth is highly interconnected. However, when housing supply is unable to keep up with housing demand, the resulting pressures on rents and sales prices reduce overall affordability in the community.

Figure 46. Current Development Trends vs. Growth Scenarios, Pemberton.

Annual Average Net Building Permits (2018 to 2022)	Average Net Private Dwellings (2016 to 2021 Census)	Annual Average (2023 to 2028)		
		Baseline Scenario	Medium Scenario	High Scenario
62	78	16	52	142

Lílwat Nation and Housing Development

Lílwat Nation has three projects underway that will support increasing the supply of housing in the Pemberton area. These projects are as follows:

NKWÚKWMA Benchlands:

This project is being driven by a partnership between a Lílwat Nation-owned company and a private developer to establish a new residential neighborhood near the downtown core. Currently, the project is undergoing the rezoning stage and is expected to result in 258 units across Phases 1 and 2. The proposed housing typology includes:

- 102 Single detached homes of all sizes
- 24 Duplexes
- 92 Townhomes
- 40 Apartments

The subdivision's plan focuses on highlighting the cultural and environmental aspects of the site that are significant to the Lílwat Nation. It primarily includes single-family lots, duplexes, and potentially accessory suites. The progress of future phases will depend on environmental cleanup and will require a future rezoning application.

Highways Yard:

This project is currently in its final stages of preparing a rezoning package, which will be submitted to the Village of Pemberton. The proposed development aims to incorporate over 200 units, although the precise quantity and composition of these units are yet to be finalized. The plan entails a combination of townhouses, apartments, and commercial units.

Main Street - Mount Currie:

This upcoming project will provide multi-family affordable housing and will be made up of around 54 units. The Main Street – Mount Currie development will feature a Housing Agreement or covenant attached to the title, ensuring the units remain affordable. Priority will be given to Lílwat Nation members, neighbouring First Nation members, and local employees working within the boundaries of the SLRD, the Village of Pemberton, or the Resort Municipality of Whistler. The project's realization is dependent on a housing request from BC Housing or CMHC.

These three projects are likely to impact the housing supply in the Pemberton area over the coming years, with a mix of market and affordable housing options being proposed.

5 Summary and Next Steps

5.1 A Dynamic Population That Requires a Flexible Housing Stock

Pemberton's population dynamics are unique in that it experiences significant fluctuations between census periods in both the types of households and the types of challenges they face. This is reflective of a highly mobile population, with almost one-fifth of the population moving in any given year. The data indicates that households may move into whatever housing is available, which may be unaffordable, inadequate, or too small. However, other communities typically show a gradual worsening or improving trend over time. In Pemberton's case, the mobility of residents indicates that these trends can change quickly.

Recognizing the dynamic and mobile population that Pemberton attracts, the Village may wish to consider how to increase flexibility in the housing stock. This may include allowing more infill opportunities (secondary dwellings, carriage houses, -plexes), rooming-type houses for workers, and lock-off suites in new condominiums and townhouse. These housing typologies not only create more housing options, but they allow greater flexibility for owners as their families change. For example, a couple may rent part of their home to serve as a mortgage helper, but may later use the space to accommodate a growing family; an older homeowner whose children have moved away may wish to install an accessory dwelling to provide an extra income source in retirement.

Flexibility in housing options may also include looking at creating rental housing stock that is dedicated to workers living in Pemberton for shorter periods of time (e.g., for a season or up to two years). This may alleviate pressure on homes and apartments that may be attractive to long-term residents. An area of caution with more flexible housing typologies is ensuring that it is dedicated to renters and is not used as short-term accommodation.

5.2 Housing Precarity is on the Rise

Engagement participants noted that housing precarity is on the rise, with noticeably more people living in overcrowded conditions, couch surfing, or living in vans and tents because they cannot find appropriate and affordable housing. Participants also noted that homelessness was more visible in the community than even a few years ago. Across BC, communities are reporting growing rates of homelessness, even in small towns and rural areas where it was previously uncommon. This is reflective of the constrained housing supply and lack of support services. While in the past, larger communities may have played most of the role in providing deeply affordable and supportive housing options, urban areas are facing their own constraints and pressures.

Small towns, like Pemberton, can explore local solutions to homelessness and housing precarity through creating more non-market and rental housing options overall, and introducing housing with supports in a manner suitable for a village context, such as converting a large home into five or six bedrooms for people experiencing homelessness with on-site supports. Pemberton serves a sub-regional role in relation to the nearby rural areas when it comes to services, housing, and job opportunities.

5.3 More Rental Options are Needed

Data on the rental market in Pemberton is limited, however, available information points to the conclusion that there is a lack of adequate rental supply to meet the needs of those working in the community and nearby. Engagement participants report that workers face pressures to accept housing that is inappropriate for their households or to move elsewhere because of lack of housing in the community. Rental options are particularly important for serving the local economy because of the high mobility of Pemberton's population.

More rental supply is on the horizon with 61 units of purpose-built rental in development. Some new housing options are also being proposed, including co-housing and houseplex options. However, only a small fraction of renters is served by the primary rental market (9.5% in 2021) and most live in rented houses, rented condominiums, or accessory dwellings. The secondary rental market, an incredibly important source of housing faces its own challenges, with significant incentives for owners to rent their properties as short-term rental accommodation.

The Village can explore the creation of more rental housing options, in both the primary and secondary rental market, with more regulations and incentives to support the long-term rental of accessory dwellings.

5.4 Homeownership Costs are High and Escalating

Homeownership in Pemberton is cost-prohibitive for many households and home sales prices have risen at eye-watering rates. Low density housing forms are out of reach for all but those households with very high incomes or access to significant equity, despite relatively high local incomes compared to other BC communities.

Engagement findings indicated that long-term options are needed for people living and growing up in Pemberton. There is a concern about the generational inequity for younger people looking to set up households in Pemberton. Addressing this need for long-term housing options that provide the stability and security of homeownership is complex. The Village can explore non-market options such as co-operative housing that provide security of tenure and affordability over the long term, and favour residents who wish to put down roots. It can also explore opportunities to increase the supply of smaller, more affordable homeownership options, especially apartment condominiums.

What We Heard: Ideas for Addressing Housing in Pemberton

Through engagement, stakeholders and members of the public shared a number of ideas for the Village's consideration in future work on housing. These are summarized below:

- Increase density to bring down land costs relative to the number of suites per square footage
- Introduce more housing options (e.g., laneway housing, in-law suites)
- Discourage, inhibit, or disallow short-term rentals (e.g., Vrbo, Air BnB)
- Require new developments to include market-restricted homeownership and affordable rental units
- Require community amenity contributions for new developments to ensure infrastructure keeps up with development
- Explore the creation of a Housing Authority using the Whistler Housing Authority as a model
- Explore allowing more housing on Agricultural Land Reserve land
- Advocate to the province to allow housing development on Crown Land
- Introduce municipal incentives for affordable housing development (e.g., land, grants, etc.)
- Introducing a secondary home tax
- Offering subsidies for rental housing
- Allowing more flexibility in land use policies
- Encouraging co-operative housing
- Consider the creation of a housing committee
- Streamline building permit process
- Create more seniors housing options
- Encourage accessory dwellings and infill through tax breaks, tiny home permits, zoning allowance

5.5 Next Steps

The Pemberton Housing Needs Report is an important step in understanding local housing trends and gaps in the supply and affordability of housing. It provides the Village, local housing stakeholders, and residents information that can be used to inform decisions and investments in housing, and to advocate on behalf of the community to other levels of government.

Addressing the community's housing needs involves both Village-led initiatives and the work with numerous partners, including Líl'wat Nation, provincial and federal governments, private developments, non-profit housing providers, service agencies, and others. A housing needs report is one tool in the toolbox for helping address housing needs in the community and can be used to support the development of a Housing Strategy to identify a roadmap of specific actions that the Village, in collaboration with partners, will take to work towards addressing the housing needs identified in the document. This report will also be used to inform the OCP underdevelopment in 2023.

6 Glossary

Adequate Housing Standard: “[Housing] not requiring any major repairs.”

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/households-menage037-eng.cfm>

Affordable Housing Standard: “[Housing with] shelter costs equal to less than 30% of total before-tax household income.”

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/households-menage037-eng.cfm>

Apartment in a building that has fewer than five storeys: A dwelling unit attached to other dwelling units, commercial units, or other non-residential space in a building that has fewer than five storeys.

<https://www12.statcan.gc.ca/census-recensement/2016/ref/guides/001/98-500-x2016001-eng.cfm>

Apartment or flat in a duplex: One of two dwellings located one above the other. If duplexes are attached to triplexes or other duplexes or to other non-residential structure (e.g., a store), assign this definition to each apartment or flat in the duplexes.

<https://www12.statcan.gc.ca/census-recensement/2016/ref/guides/001/98-500-x2016001-eng.cfm>

Census Family: Census families include couples with and without children, and a single parent with children living in the same dwelling. Census families are restricted to these family units and cannot include other members inside or outside the family (including a grandparent, a sibling, etc.). Grandchildren living with grandparents (and without a parent) would also count as a census family.

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/fam004-eng.cfm>

Core Housing Need: “A household is said to be in 'core housing need' if its housing falls below at least one of the adequacy, affordability or suitability standards and it would have to spend 30% or more of its total before-tax income to pay the median rent of alternative local housing that is acceptable (meets all three housing standards).” Some additional restrictions apply.

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/households-menage037-eng.cfm>

Homelessness: “Homelessness is the situation of an individual or family who does not have a permanent address or residence; the living situation of an individual or family who does not have stable, permanent, appropriate housing, or the immediate prospect, means and ability of acquiring it.

It is often the result of what are known as systemic or societal barriers, including a lack of affordable and appropriate housing, the individual/household’s financial, mental, cognitive, behavioural or physical challenges, and/or racism and discrimination.”

<https://www.canada.ca/en/employment-social-development/programs/homelessness/directives.html#h2.2>

Hidden Homelessness: “Refers specifically to people who live“ temporarily with others but without guarantee of continued residency or immediate prospects for accessing permanent housing.” Often known as "couch surfing," this describes people who are staying with relatives, friends, neighbours or strangers because they have no other option. They generally are not paying rent and it is not a sustainable long-term living arrangement, but they do not have the ability to secure their own permanent housing immediately or in the near future. This population is considered to be "hidden" because they usually do not access homeless supports and services even though they are improperly or inadequately housed. Because they do not access services, they do not show up on standard statistics regarding homelessness.”

<https://www.homelesshub.ca/about-homelessness/population-specific/hidden-homelessness>

Household Income: The sum of incomes for all household members.

Household Type: “The differentiation of households on the basis of whether they are census family households or non-census family households.”

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/households-menage012-eng.cfm>

Income: For the purposes of this report, unless otherwise indicated, income refers to “total income” which is before-tax and includes specific income sources. These specific income sources typically include employment income, income from dividends, interest, GICs, and mutual funds, income from pensions, other regular cash income, and government sources (EI, OAS, CPP, etc.). These income sources typically do not include capital gains, gifts, and inter-household transfers, etc.

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/pop123-eng.cfm>

Mobile Home: A single dwelling designed and constructed to be transported on its own chassis and capable of being moved to a new location on short notice. It may be placed temporarily on a foundation such as blocks, posts or a prepared pad and may be covered by a skirt.

A mobile home must meet the following two conditions:

- It is designed and constructed to be transported on its base frame (or chassis) in one piece.
- The dwelling can be moved on short notice. This dwelling can be easily relocated to a new location, because of the nature of its construction, by disconnecting it from services, attaching it to a standard wheel assembly and moving it without resorting to a significant renovations and reconstructions.

<https://www12.statcan.gc.ca/census-recensement/2016/ref/guides/001/98-500-x2016001-eng.cfm>

National Occupancy Standard: The Canadian National Occupancy Standard (CNOS) assesses the bedroom requirements of a household based on the following criteria:

- There should be no more than 2 persons per bedroom;
- Children less than 5 years of age of different sexes may reasonably share a bedroom;
- Children 5 years of age or older of opposite sex should have separate bedrooms;
- Children less than 18 years of age and of the same sex may reasonably share a bedroom; and
- Single household members 18 years or older should have a separate bedroom, as should parents or couples.

Non-Census-Family Households: Households which do not include a census family. “Non-Census-family households are either one person living alone or a group of two or more persons who live together but do not constitute a Census family.”

<https://www23.statcan.gc.ca/imdb/p3Var.pl?Function=DEC&Id=251053>

Non-Market Housing / Non-Profit Housing: “Rental housing that is owned and operated by community-based, non-profit societies or local governments and regional districts. The mandate is to provide safe, secure, affordable accommodation to households with low to moderate incomes. Most non-profit housing societies receive some form of financial assistance from government to enable them to offer affordable **rents.**”

Based on definition of non-profit housing: <https://www2.gov.bc.ca/gov/content/housing-tenancy/affordable-and-social-housing/housing-glossary>

Other Family or Other Census Family: When comparing households one way to distinguish between households is by “household family types.” These types will include couples with children, couples without children, lone-parent families, and non-family households; they will also include “other families” which refer to households which include at least one family and additional persons. For example, “other family” could refer to a family living with one or more persons who are related to one or more of the members of the family, or a family living with one or more additional persons who are unrelated to the family members.

Participation Rate: The participation rate is the proportion of all individuals aged 15 and over who are in the labour force.

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/pop108-eng.cfm>

Primary rental market, also referred to a purpose-built-rental, is generally defined by CMHC as rental units in privately-initiated apartment structures containing at least three rental units.

<https://www03.cmhc-schl.gc.ca/hmip-pimh/en/TableMapChart/RmsMethodology>

Secondary rental market describes rental units that were not originally purpose-built for the rental market, including private homes that are rented (single family, townhouses, and condominiums), as well as secondary suites and carriage homes.

<https://www03.cmhc-schl.gc.ca/hmip-pimh/en/TableMapChart/SrmsMethodology#footnote1>

Seniors: Individuals aged 65 and over.

Shelter Cost: Total monthly shelter expenses paid by households that own or rent their dwelling. “Shelter costs for owner households include, where applicable, mortgage payments, property taxes and condominium fees, along with the costs of electricity, heat, water, and other municipal services. For renter households, shelter costs include, where applicable, the rent and the costs of electricity, heat, water and other municipal services.”

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/households-menage033-eng.cfm>

Subsidized Housing: “‘Subsidized housing’ refers to whether a renter household lives in a dwelling that is subsidized. Subsidized housing includes rent geared to income, social housing, public housing, government-assisted housing, non-profit housing, rent supplements and housing allowances.”

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/dwelling-logements017-eng.cfm>



Suitable Housing Standard: “[Housing that] has enough bedrooms for the size and composition of resident households.”

<https://www12.statcan.gc.ca/census-recensement/2016/ref/dict/households-menage037-eng.cfm>

Supportive housing: A type of housing that provides on-site supports and services to residents who cannot live independently.

<https://www.bchousing.org/glossary>

Transitional Housing: “A type of housing for residents for between 30 days and three years. It aims to transition individuals to long-term, permanent housing.”

<https://www.bchousing.org/glossary>

Appendix—Projections Methodology

The projection of households by tenure type is based on the following:

- (1) **Projection of population in private households:** The household projection is based on the population projection from 2021 to 2041 for School District 48 Trustee Electoral Area 3 from BC Stats, which coincides with the geographical boundary of Village of Pemberton, adjusted by the proportional difference to the Census 2021 population level in the Village of Pemberton to standardize the population estimates to the Census population number in 2021 for consistency in estimating headship and number of households.

Three population growth scenarios are adopted and presented, described as follows:

- a. **Baseline growth:** The baseline growth scenario based on the population projection estimated by the BC Stats which are based on the Component/Cohort-Survival approach, reflecting long-term trends of components of population, including fertility, migration, death. It assumes an average annual growth rate of 1.2% over the next 20 years.

In addition to the baseline growth scenario based on BC Stats population projection, two alternative growth scenarios – medium and high growth scenarios - are derived based on recent historical growth trends, focusing on the past ten years from 2011 to 2021. The medium and high growth scenario are derived from the population trajectory for each age-cohort based on the recent 10-year population trajectory of each age cohort using Hamilton-Perry Method, which is a variant of the Cohort-Component-Survival approach.

Under the Hamilton-Perry Method, future population for each age cohort are determined by Census Survival Ratios, that is, the ratio for the population of an age cohort in the most recent Census period to the corresponding population cohort in the previous Census period¹⁴. To determine future population for a population age cohort, the Census Survival Ratio is then applied to the most recent population cohort to determine the future population of an age cohort.

- b. **Medium growth:** In the medium growth scenario, the Census Survival Ratios for each age cohort are determined at a 10-year interval based on Census 2011 and Census 2021 figures. The child population (aged 0 to 9) is determined by the local historical

¹⁴ Using age cohort 20 to 24 as an example, the survival ratio is determined by the ratio of population aged 20 to 24 in the most recent 2021 Census to the corresponding population cohort in the previous Census period selected (i.e. population aged 15 to 19 in the previous 2016 Census if we are looking at 5-year interval trend, or aged 10 to 14 year in 2011 Census if trend at 10-year interval is selected).

trend of the age cohort. It assumes an average annual growth rate of 3.1% over the next 20 years.

- c. High growth: In the high growth scenario, the survival ratios for each age cohort are determined at 5-year interval based on the ratios from Census Survival Ratios between Census 2016 and Census 2021, as well as Census 2011 and 2016. The average of the survival ratios for each age cohort is taken for projecting future population. The future child population (aged 0 to 9) is determined by the historical Child-Adult Ratio, i.e., the ratio population aged 0 to 4 to population aged 20 to 54 that would potentially nurture children. The Child-Adult Ratio is then applied on projected future adult population to estimate future number of children. It assumes an average annual growth rate of 5.8% in population.

(2) Headship rate: The headship rate is defined as the ratio of the number of household heads (maintainers) to population by age group. Headship rates are used to derive household projections because they indicate the likelihood of a new household being formed.

Headship rates were used in the following way to estimate household formation:

- a. A set of static headship rates of the number of households in each age-tenure-family group modified was taken from household data in the 2021 census. Two major census program sources from Census 2021 are used for the base calculation of number of households in 2021:
 - i. Census Profile (general information, population by age)
 - ii. Census [Table 98-10-0232-01](#) (households by structure type, household family type, age of primary household maintainer, and tenure)
- b. Then the headship rate is calculated by the number of householders by age group-family type-tenure, and then divided the population in 2021. This set of headship rates is then applied to the projection of population in 2021 to 2041 to project the households in the coming years.



From: no-reply@webguidecms.ca
To: [Sheena Fraser](#)
Subject: Website Submission: Write to Mayor & Council - pemberton.ca
Date: Wednesday, April 19, 2023 12:10:25 PM

Village of Pemberton - Website Submission: Write to Mayor & Council - pemberton.ca

Website Submission: Write to Mayor & Council - pemberton.ca

Form Submission Info

First Name: Matt

Last Name: DesBrisay

Street Address: [REDACTED]

PO Box: [REDACTED]

Town/City: Pemberton

Province: BC

Postal Code: V0N 2L0

Phone Number: [REDACTED]

Email: [REDACTED]

Please attach any related documents (if applicable):

Message to Mayor & Council: Hello Mayor & Council,
As a resident of the Benchlands, I'm am highly concerned about the current proposal to develop the area above Eagle Drive know locally as "Shot's Fired". The proposal includes a very large influx of new residences and therefore bring with it a high degree of traffic to the area. Currently the streets access streets are extremely narrow, to the point where there are regular near misses with the current traffic levels, and increasing load to the current roadways will undoubtedly lead to highly unfortunate and avoidable incidents.
Secondly, I'm highly concerned about the environmental impact to this area. As a

daily user of the forest, the current landscape adds great value to my life along with the lives of many more who frequent the area, of which there are many.

I recognize that development of in the town is inevitable, I would highly encourage you to consider all implications beyond the increased revenues through taxes that such a development would cause.

Thank you,
Matt

Freedom of Information:

Village of Pemberton

From: no-reply@webguidecms.ca
To: [Sheena Fraser](#)
Subject: Website Submission: Write to Mayor & Council - pemberton.ca
Date: Wednesday, April 19, 2023 8:06:19 PM

Village of Pemberton - Website Submission: Write to Mayor & Council - pemberton.ca

Website Submission: Write to Mayor & Council - pemberton.ca

Form Submission Info

First Name: Allison

Last Name: Megeney

Street Address: [REDACTED]

PO Box: [REDACTED]

Town/City: Pemberton

Province: BC

Postal Code: V0N2L0

Phone Number: [REDACTED]

Email: [REDACTED]

Please attach any related documents (if applicable):

Message to Mayor & Council: I am writing to express my opposition of the Nkwukwma re- zoning application for the land above the benchlands area. Until an alternate exit road is established and approved I cannot imagine how any kind of high density housing can be considered.

Freedom of Information:

From: [Myson Effa](#)
To: [Mike Richman](#); [Jennie Helmer](#); [Ted Craddock](#); [Sheena Fraser](#); edit@piquenewsmagazine.com
Cc: [Jordan Sturdy, MLA West Vancouver – Sea to Sky](#); info@lilwat.ca; [REDACTED]; [.MLA@leg.bc.ca](mailto:MLA@leg.bc.ca)
Subject: NKWUKWMA, Pemberton BAIT & SWITCH!
Date: Friday, April 21, 2023 12:59:40 AM

To Mayor & Council :

(pls FW to all other Council Members as not all councils' emails are listed on the VoP web page)

(From FB Public Posts as last email was not acknowledged & one previous was acknowledged by staff 6 1/2 days later but not FW'd, & to be FW'd at some indeterminate date (if ever) to Mayor & Council.)

NKWUKWMA BAIT and SWITCH!!! The *affordable housing* component is to come at some indefinite future 15 to 25 years from now! **UNACCEPTABLE!!! bs BS** Pemberton needs small affordable starter units for young couples NOW! Not literally in a 1/4 Century!

I realize the land in question WAS unceded land that belonged to the Lil'wat people for millennia, maybe 10 -13 millennia. Literally marked with their Petroglyphs . Unfortunately they purchased it back from the Province with an outside developer & it's Fee Simple & in the Village of Pemberton now, under the Village's Governance & Jurisdiction, & thus under the Village's Planning Rules. The same Planning Rules that must meet our current desperate needs for affordable housing in the Village now.

The Li'wat Nation & the Developers need to live up to the Promises made under that land transfer. That it would be a mixed development of all housing types INCLUDING AFFORDABLE HOUSING. Never was it communicated that they were ONLY planning ONLY single family units detached homes for phase 1. I am very, very disappointed with the attempts to mislead: when 1 of their consultants, the Villages consultant, & the Developer (?) Cam said I was misreading the map & there would be mixed development in the beginning, then their consultant manning the Housing Table said there is only single family housing in the beginning.

Previously in public, to the whole room, one of the other Developers nonsensically said we "need to measure the market 1st" by selling the single family units. The sale of \$600k+ houses has nothing to do with \$90k micro 450 Sq ft. units, & can in no way measure the demand for starter units.

The VoP needs to strenuously reject the proposed development as presented, if needed have the Crown re-expropriate the land in question, or annul the sale. No Affordable Housing, no permits, full stop! The Affordable Housing must be built 1st or in parallel with the rest of the development. Not some later development that could maybe never come, al la Hudson Yards New York.

TRAILS were on half the maps, but not the other 1/2, & then referred to as " hopeful". The trail network needs be set in stone, not only an artist concept, not only a design proposal. The trails need to be registered easements against the land titles.

Direct trails need to connect to cul-de-sac dead ends, & lead on the most direct route by foot &

bike to the Village Centre.

TRANSPORTATION : Very unfortunately the Village Consultant publicly referred only to roads as "Transportation" (sic) I assume as meaning "Transportation Corridors" not the Foot-Bike paths too.

Mayor Mike privately said, laudably, he wants us to bike, walk & scooter more. This will only happen with a registered legal easements. Not like the screw ups of one of the Glen / Vinyl Village - Arn Canal paths ending up fenced in someone's backyard. Or Radius' failed attempt to illegally remove the Foot Path / Bike Path from Pemberton and District Community Centre to the Arn Canal, & the Village's own future plans to block the foot path from Woodbridge around the back of Radius with the Children's Nature Play Park.

FIRE & EMS 1 road in & 1 out is problematic & violates the Fire Smart & Provincial Guidelines for building in heavily Forested Areas. The Provincial Government only approved Whistler 's Spring Creek development because there was a covenant for a 2nd road in & out for EMS to Creekside (which Whistler broke).

Also No Fire Breaks... There is no fire breaks around the development, despite it being surrounded by forest !?!?!?

Whistler is creating fire breaks around all forested neighbourhoods, we need to do the same here.

There needs to be provisions made for safety for a 2ndry evacuation corridor & EMS ingress & egress. If the trail network is not useable by a full sized fire truck on a 10' road bed, then the developer's need to buy a used smaller fire truck on 1 1/2 ton chassis that can use a 8' road bed, or purchase 3 firefighting quads with water tanks & foam, 2 quads stretcher bearers that can use a smaller trail.

(The Village doesn't have a very good track record on this: the 90° bend off the Fire Lane at Tiata to the Dyke Road at Pemberton Creek is too tight for our Fire Truck, let alone a Semi with Food or Emergency supplies. The Ambulance might be able to make the turn by backing up then forward over & over. This is the only other road into town & basically cut off alternate access to town by anything larger than a small pickup.)

The Developer's head consultant ridiculously & ingenuously (yet again) said they were "alternatively prepositioning firefighting equipment". I said great, "fire proof boxes with hoses by the hydrants". He said with "no, just hydrants". Like you can build a subdivision anywhere in the western world, without fire hydrants!!! WTF???

There also should be a extra provision for all outside perimeter buildings at the boundary of the subdivision to have heavy, or medium-heavy steel roofs, or concrete tiles - not light steel or aluminum that can burn through, or earth sheltered with heavy wet sod as per the original Spring Creek design for the Fire Hall & Daycare.

#SOLAR : the roofs seem to be mostly orientated wrong, North-South, as opposed to East-West on the long axis, that would ideally create the optimal solar friendly South slope for 1/2 the roof.

I was pleasantly PLEASED that Mayor Mike brought up on his own, the need to address (immediately) the up coming Provincial Legislation mandating 2ndy suites, as legal on all single family lots, & what will be the provisions for duplexes, triplexes & fourplexes. This is a strong contrast to senior Village Staff planning to wait 2 years despite the legal changes coming in November. How is an ostrich sticking it's head in the sand policy?

UTILITIES (see below v) for Water & Sewer.

There be should conduits for whole the subdivision given over to the VoP. The Village can request utilities to pay \$1k/block/yr. each in perpetuity, ie Telus \$1k + Rogers-Shaw \$1k + BC Hydro \$1k as Cloverdale did. This would also facilitate any future Independent internet-telephony provider easy unfettered access to spur competition, like local Base Wireless, not mention Quebec Corp new western expansion with Shaw's former Telephone & Cellular Network. It also provides the possibility of quick access for natural gas lines from rail cars as Whistler had, or H2 as proposed from Meager Geothermal.

RePost: Food for thought at Thur #NKWUKWMA Development meeting 6:30-8:30 pm (I assume at Pemberton and District Community Centre).

RePost: History of #VancouverSpecials that included ground floor unofficial 2ndry suites, pre-approved new #KelownaSpecials 4-plexes (video in link <https://youtu.be/Zr18Su01YHE>).

Village of Pemberton unofficial Official Plan of Action, actual plan of literally INACTION, on November's Provincial Legislation making 2ndry suites legal is to wait 2 years, do nothing. Senior Staff, not to mention Mayor & Council, yet again do not seem to understand that they are subject to Provincial Law (& Federal too of course).

The best way to fix a problem is #aPriori, fix it before it happens. The legislation is going to happen, the new subdivision plans need to be adjusted according now, not in 2 years. Pretending nothing is going to happen is nonsensical, & will lead to law suits the VoP will lose that as a tax payer I do not wish the unnecessary payout expenses of.

1) Vancouver has 6 months to 2 years development backlog for permits but used to give 3day to 6 week approval to the Vancouver Specials.
<https://youtu.be/Zr18Su01YHE>



youtube.com

A 'Special' Solution to the Housing Crisis: Uytae Lee's Stories About Here

2) Toronto has fast track #LanewayHouses (2ndry Suites) approval from a 3 page Short-Form.

3) Kelowna had pre-approved & built 200 new #KelownaSpecials 4-plexes.

4) Chile has great success with the #HalfHouse. Outside envelope, roof & corner posts of a 4 bedroom 2 story house is built, but only kitchen, 1 bath , & 1 or 2 bedrooms are done in beginning. Owners self build rest at their own pace.

<https://www.archdaily.com/797779/half-a-house-builds-a-whole-community-elementals-controversial-social-housing>

Half A House Builds A Whole Community: Elemental's Controversial Social Housing



Part of ArchDaily's Topic: **HOME**



5) The International Building Code has ADU Code for Tiny Houses as 2ndry Suites or starter houses. <https://tinyhousebuild.com/code/>

6) It's as fallacy that more people necessarily means greater utilities costs in toto: services & water. Let's reduce water, & sewer burden by 1/2 in toto, or 75% per new units. 2 new units can with good design use 1/2 what an single existing unit did. San Bernardino doubled it's population but cut it's total city wide water usage in 1/2 . Grey water goes under lawns & gardens passively, so a long with rain barrels, city drinking water is no longer needed for irrigation. Rain water is also used for flushing toilets. Grey water is no longer mixed with black water. Sewer volume is reduced. These things need to be planned in advance though, as greatly reducing the volume of water in black sewage, means a greater slope is needed...

The VoP has already started down this road in using rain & snow melt from the 2 basins in town to irrigate rather than wasting treated drinking water .



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Scott McRae

From: terrence Halliday [REDACTED]
Sent: Wednesday, April 26, 2023 12:06 PM
To: Development Services
Subject: Nkwúkwma Sub-Area Plan- concerns and questions

Hi, I am a resident on eagle drive and have recently seen more activity in relation to the above plan.

While I support develop in Pemberton and am not a 'not in my back garden' advocate, I do have serious concerns with the size of this development and apparent lack of consideration for road traffic capacity / pedestrian safety as well as trail loss, and many more issues which I won't go into yet.

Speaking to my concerns noted above; The road as it currently stands has no pavement for separation of people and traffic (there will be a lot with the increase proposed) - which will only increase the risk of injury or worse to everyone.

The management of heavy construction equipment in an area where kids play, animals interact and everyone else is a worrying oversight.

In relation to trails and the outdoor; We have already seen the loss of an uninterrupted cream puff with sun stone being allowed to create unwanted road access to its other plots, and with the above development appearing to have no regard for this either, I remained worried that we are losing our attraction as a MTB and outdoor focused community.

I would hate to see Pemberton become another Squamish (ie a town created without future foresight into how the community wishes to live, how we can grow while maintaining what puts our small town on the map).

I look forward to your thoughts on the above and the challenges you, and the major, as our representatives will push back on against the developer.

Regards

Terry Halliday [REDACTED]

Sent from my iPhone

From: no-reply@webguidecms.ca
To: [Sheena Fraser](#); [Ethan Fredeen](#)
Subject: Website Submission: Write to Mayor & Council - pemberton.ca
Date: Saturday, May 6, 2023 8:58:10 PM

Village of Pemberton - Website Submission: Write to Mayor & Council - pemberton.ca

Website Submission: Write to Mayor & Council - pemberton.ca

Form Submission Info

First Name: Tim

Last Name: Hailwood

Street Address: [REDACTED]

PO Box:

Town/City: Pemberton

Province: Bc

Postal Code: V0N 2L0

Phone Number: [REDACTED]

Email: [REDACTED]

Please attach any related documents (if applicable):

Message to Mayor & Council: Hello,

I'm am writing to express my concern with the development of the benchlands/Nkwukwma neighbourhood.

It's no secret I live close by the proposed development and some of my reasoning may come across as being selfish but besides the developing and densifying of an area I currently spend a lot of time recreating in I'm also concerned for the further strain on the village and it's existing infrastructure.

Managing the huge growth is the hot topic right now I know but it seems like the pace of building housing is far surpassing the building of anything else.

Our son, to this day has still not got a place in a pemberton daycare, he's three and a half and has been on all of the wait lists since a week old. With more and more people moving to town and starting families how is this issue supposed to be addressed? What happens when he's ready for school? It sounds like after school care is impossible to get in to.

I'm aware of the letter from SD 48 in the nkwukmwa proposal that states the proposed school is not needed but surely since that statement the villages population has grown? I find it hard to believe that with the daycares so full the schools are coping..

How about the roads coming into town from the highway? The one roundabout and railway crossing? There are two new apartment buildings also proposed for the downtown core, close to 80 units between them (if I'm not mistaken..) plus the 400 units up the hill? That's a lot more traffic coming into town, a lot more people straining the already strained services in town.

I know growth and development is inevitable but I just hope it's all done in a manageable way with all the concerns I have, that I know many others share, being addressed along the way.

Thanks,

Tim

Freedom of Information:

Village of Pemberton

Website Submission: Write to Mayor & Council - pemberton.ca

Form Submission Info

First Name: Cathy

Last Name: Bennis

Street Address: [REDACTED]

PO Box:

Town/City: Pemberton

Province: BC

Postal Code: V0N 2L0

Phone Number: [REDACTED]

Email: [REDACTED]

Please attach any related documents (if applicable):

Message to Mayor & Council: Dear Council,

I want to thank you for your continued dedication to our village and it's growth. I have been a resident for 20 years and have seen wonderful projects come to fruition. I do have significant concerns about the Benchlands development. I am already seeing challenges with traffic, and if this project goes ahead it will only further overwhelm our current road system. I also have concerns with the demands on the school and health care system with such an increase in housing that this development will bring.

Thank you for your time and hearing my concerns.

Freedom of Information: Village of Pemberton

Andrew Eells

[REDACTED]
Pemberton
BC V0N 2L0

20th May 2023

Re: Nkwúkwma Sub-Area Plan

Dear Sir / Madam,

I am a resident of Eagle Drive, Pemberton and in general welcome plans to grow the Village of Pemberton and its community.

I am writing to express my grave concerns and deep dissatisfaction regarding the Nkwúkwma sub-area development plan that will significantly expand the Benchlands neighborhood area.

I feel compelled to bring to your attention the serious shortcomings the Nkwúkwma development plan poses, particularly in relation to the narrow access road and the potential safety risks that this will expose the existing Eagle Drive community to.

I note the planned “connector” road seems to have a very well-designed width of 18 meters, that has presumably been deemed appropriate to support the desired amount of traffic, parking and sidewalks the Nkwúkwma development will generate.

I also note the number of trips generated by the development is forecast at ~10% of the total traffic volume at the intersection of Highway 99 and Portage Road within a few short years.

I would like to emphasize that Eagle Drive, barely 7 meters wide, was evidently not designed to support this development or volume of traffic in the original Benchlands Neighbourhood Plan of 2007.

There would also appear to be no scope for expanding Eagle Drive to support any increased through traffic.

I believe a traffic review has been conducted, but even in the past year alone, Eagle Drive has had several new houses built and new families moved in or young children born.

Eagle Drive already struggles to support the existing residents' parking and traffic flow adequately. The addition of several hundred houses and the huge number of industrial vehicles required to support it, will undoubtedly exacerbate the situation to an alarming extent. The limited space, coupled with the increased volume of both industrial and resident vehicles, will create an unsafe and untenable environment for all Eagle Drive residents, especially the numerous young children who frequently play either on the road or adjacent driveways.

The potential consequences of such congestion are distressing, and the volume of industrial traffic being brought to Eagle Drive for a period of years will clearly increase the risk of serious accidents. Our safety, quality of life, and the wellbeing of our children are at stake.

In light of these concerns, I respectfully request that you reconsider the current plans for the development project and take the necessary steps to address the issues at hand.

Furthermore, I implore you to prioritize the welfare of the residents, especially the young children who play along our street.

It is crucial to prioritize the safety and happiness of the community as a whole, rather than prioritizing the sheer scale of the development project if Pemberton wishes to attract and retain families and a thriving community.

I kindly request a prompt response addressing my concerns and detailing the actions you intend to take to address this matter effectively. As a concerned resident, I am willing to participate constructively in any dialogue or consultation process aimed at resolving these issues and preserving the safety and harmony of our neighborhood.

Thank you for your attention to this pressing matter. I eagerly await your response.

Yours sincerely,

A solid black rectangular box used to redact the signature of the sender.

Andrew Eells

From: no-reply@webguidecms.ca
To: [Sheena Fraser](#); [Ethan Fredeen](#)
Subject: Website Submission: Write to Mayor & Council - pemberton.ca
Date: Sunday, May 21, 2023 9:48:26 PM

Village of Pemberton - Website Submission: Write to Mayor & Council - pemberton.ca

Website Submission: Write to Mayor & Council - pemberton.ca

Form Submission Info

First Name: Lee Anne

Last Name: Patterson

Street Address: [REDACTED]

PO Box: [REDACTED]

Town/City: Pemberton

Province: British Columbia

Postal Code: V0N 2L0

Phone Number: [REDACTED]

Email: [REDACTED]

Please attach any related documents (if applicable):

Message to Mayor & Council: The recent Pique article highlighted a number of concerns that I have with the proposed sub area plan for the Benchlands.

While I am not opposed to development in Pemberton, I feel strongly that this location is not the right place to offer the solutions we are looking for.

I urge Council to delay adopting the proposed sub area plan until it has been considered in the context of the full OCP review. It feels insincere to adopt that plan, and enshrine that policy (housing density, type of units, land use, etc.) then to come

to the community and ask us those very same questions, as though the Benchlands area is not really part of the mix.

I agree with Mayor Richman that to begin to take a bite out of the apple of affordable housing needs we need a diversity of housing, but I would challenge Council to consider that large lot, or even small lot single family dwellings are part of the affordability solution. We have numerous examples of small lot single family development recently in Pemberton, that in my opinion haven't hit the affordability mark. I suggest that we don't really need more of that, and that we shouldn't really call that affordable. Thoughtfully designed apartments and townhouses are what is needed, and what can be developed much more efficiently.

I also agree with Mayor Richman and others who are calling for higher density, and fully agree that if the village is to grow we need to do so more efficiently, which means higher density. But this only works if the density is in the right places. Specifically, in our downtown and in the established footprint of town, we should be encouraging increased density in the form of townhouses, duplexes and apartments. Outside of the downtown core allowing additional suites in existing homes, and or carriage homes on lots in neighbourhoods other than Sunstone and the Ridge with the caveat that any of these additional suites are not for short term rental.

Density within the existing footprint of the Village is smart, density beyond the existing footprint is expensive, inefficient and has outsize impacts on the natural environment, trails, wildlife, infrastructure costs and transportation and access issues.

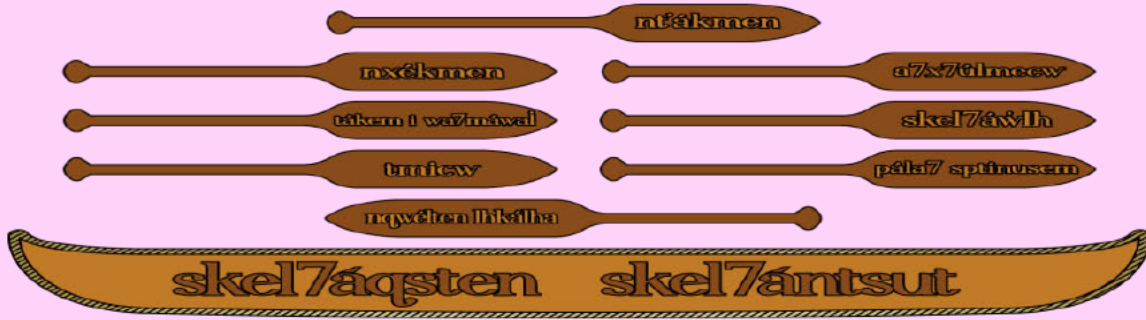
Also, with respect to the population projections and the housing needs, I ask Council to consider how many houses/apartments/townhouses can be built on existing zoned lands other than the Benchlands? If we count the already zoned lands that are not yet built out both in town and at Sunstone and the Ridge, how close is that to meeting the amount of growth that the community wants to see in the next 5 years, 10 years?

I ask Council to ask themselves, and ask the community, how much we want to grow. What is the vision for Pemberton? This is at the heart of the OCP review, and is why it is critical that no sub-area plans be adopted until this key question has been asked and talked about with the broader community and stakeholders.

The largest development in Pemberton's history that will forever change the landscape of our town should be considered very carefully. It seems backwards to adopt the sub area plan while amidst a OCP review.

Thank you,

Lee Anne Patterson



Email – [REDACTED]

CAVEAT: BUYER BEWARE

May 28, 2023

The Lillooet Declaration of 1911 claims the entire Lil'wat territory as ours, as we have been here since time immemorial.

Not at any time, nor to anyone has the Lil'wat Nation surrendered our rights to our traditional territory.

The colonist governments allow our lands to be "SOLD" however no one including the Crown can "own" or "acquire" our lands without our consent.

"Buying" our land results in you being a party to theft.

Only the Lil'wat Nation has title, authority, and jurisdiction over our unceded lands.

Skel7aqsten Skel7antsut – Lil'wat Taking the Helm

Lil'wat Nation Indigenous Title Holders

From: sharongregson [REDACTED]
Sent: Sunday, June 4, 2023 7:54 PM
To: VoP Admin <admin@pemberton.ca>; Mike Richman <mrichman@pemberton.ca>
Subject: Urgent - UBCM Child Care Resolution

Sharon Gregson
Coalition of Child Care Advocates of BC
2772 East Broadway
Vancouver, BC V5M 1Y8

Mayor Mike Richman
The Village of Pemberton
7400 Prospect Street
Pemberton, BC V0N 2L0

Subject: Urgent - UBCM Child Care Resolution

To Honourable Mayor Mike Richman and Council,

The Coalition of Child Care Advocates of BC is a longstanding, non-profit organization dedicated to the creation of a high-quality, affordable, accessible child care system in BC. We appreciate that your Council shares this vision to support families with young children, and the local economy in your community.

In recent years there has been measurable progress toward a quality child care system in BC with historic provincial and federal investments. New publicly-funded affordability measures for families including \$10aDay sites, wage enhancements for educators, and more licensed programs are making a positive difference.

However, local and Indigenous governments and nonprofit organizations across BC are still facing significant child care challenges, with demand for licensed child care outstripping supply, and a severe shortage of early childhood educators.

One of the major obstacles facing local governments when they want to expand child care in their communities is the grant-based application process required to access provincial capital funding. The current process places a major burden on applicants, usually local government staff working with non-profit agencies, requiring them to coordinate all aspects of design, development, and implementation. Significant technical expertise and organizational capacity are also necessary to complete the online applications, which often does not exist at the local level or pulls resources away from other municipal duties.

To address this urgent issue, we request that your Council adopt the resolution shared below, as originally supported by the Regional District of Nanaimo, or a similar resolution. Once adopted we hope the resolution will be forwarded to your local area association and on to the 2023 UBCM Convention.

This resolution urges the Ministry of Education and Child Care to provide multi-year funding to local and Indigenous governments and non-profit organizations to enhance their organizational capacity to coordinate the current grant applications process.

The resolution further requests the Ministry of Education and Child Care to replace the current grant-based application process with a systematic expansion of universal child care that upholds UNDRIP obligations and supports the involvement of, but does not rely on, local and Indigenous governments and nonprofit organizations to coordinate design and implementation.

Evidence-based research makes clear that such a systemic approach will lead to a more equitable and accessible child care system across British Columbia.

Thank you for your attention to this matter, and for recognizing that child care is a priority for healthy communities. Please reach out should any clarification be required.

Yours sincerely,



Sharon Gregson

Spokesperson \$10aDay

Coalition of Child Care Advocates of BC

Sample Resolution

WHEREAS the Ministry of Education and Child Care is responsible for B.C.'s \$10/day child care program, and ChildCareBC's growing system of universal child care has been life-changing for families, with demand far outstripping supply;

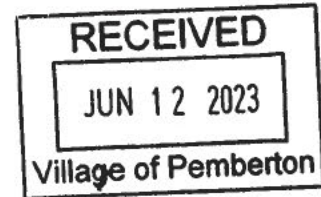
AND WHEREAS the current grant-based process to expand universal child care relies on grant applicants to coordinate all aspects of design and implementation, and local and Indigenous governments and nonprofit organizations often lack the resources to successfully manage this process in accordance with UBCM-funded child care needs assessments and action plans:

THEREFORE BE IT RESOLVED that while the Province continues to rely on individual grant applicants to plan and develop child care expansion, that instead, the Province provide multi-year funding to local and Indigenous governments and nonprofit organizations to support resources to coordinate this process:

AND BE IT FURTHER RESOLVED that UBCM urge the Ministry of Education and Child Care to replace the current grant-based application process with a systematic expansion of universal child care that upholds UNDRIP obligations and supports the involvement of, but does not rely on, local and Indigenous governments and nonprofit organizations to coordinate design and implementation.

June 6, 2023

Mayor Mike Richman
Village of Pemberton
Box 100
Pemberton, BC V0N 2L0



Dear Mayor Richman:

Re: 2023 Resolution(s)

UBCM confirms receipt of the attached resolution(s) endorsed by your Council and submitted directly to UBCM by the June 30 deadline.

The resolution(s) will be included in UBCM Resolutions Book for the 2023 UBCM Convention in September.

If you have any questions, please contact Jamee Justason, Resolutions and Policy Analyst at [REDACTED] or [REDACTED]@ubcm.ca.

Sincerely,

[REDACTED]

Jen Ford
UBCM President

Enclosure

Municipal Farmland Tax Exemption

Pemberton

Whereas farmland plays a vital role in supporting local food production, promoting agricultural sustainability, and preserving green spaces within municipalities;

And whereas farmland located within municipal boundaries faces unique challenges and pressures, such as increased property values, limited space, and proximity to urban development, which can hinder its viability and continuity as productive agricultural land;

And whereas equitable tax treatment of farmland, regardless of its location within a municipality, would promote fairness among farmers and reduce barriers to agricultural activity within urbanized areas:

Therefore be it resolved that UBCM requests the Province extend the Statutory Farm Tax Exemption provided to rural area farms to farms located within municipal boundaries.

Convention Decision:



HOUSE OF COMMONS
CHAMBRE DES COMMUNES
CANADA

Patrick Weiler

Member of Parliament
West Vancouver-Sunshine Coast-Sea to Sky Country

June 13, 2023

Dear Friends & Neighbours,

Young people are leading the way in breaking down barriers to accessibility and enabling the participation of all Canadians in every aspect of society. That is why the Government of Canada is providing opportunities for Canadian youth to develop important skills, while investing in an inclusive and accessible Canada.

On June 5, the Minister of Employment, Workforce Development and Disability Inclusion, Carla Qualtrough, launched a new call for proposals under the Enabling Accessibility Fund (EAF) youth innovation component. Canadian youth between the ages of 15 and 30 are encouraged to demonstrate their leadership and allyship by applying to become youth accessibility leaders through the EAF's youth innovation component. Youth accessibility leaders help to identify barriers within their communities and then partner with local organizations to help secure up to \$10,000 in accessibility project funding.

Youth are invited to [submit their expressions of interest in being named a Youth Accessibility Leader \(YAL\) online by October 10, 2023 at 2:00 PM PDT](#). Canadian organizations partnering with a confirmed YAL, must submit their application for project funding by 2:00 p.m. PDT online on October 31, 2023.

This initiative supports the development of accessible and inclusive communities, which is the focus of pillar three under the [Government's Disability Inclusion Action Plan](#). It also contributes to the Government's on-going commitment to create a fully inclusive Canada, free of physical, societal, and attitudinal barriers.

If you have any questions, please do not hesitate to reach out to our office. We would be happy to support your application in any way that we can.

Sincerely,



Patrick Weiler, MP
West Vancouver-Sunshine Coast-Sea to Sky Country

Constituency Ottawa

6367 Bruce Street Suite 282, Confederation Building
West Vancouver 229 Wellington Street, Ottawa
British Columbia V7W 2G5 Ontario K1A 0A6
Tel.: 604-913-2660 | Fax.: 604-913-2664 Tel.: 613-947-4617 | Fax.: 613-847-4620



HOUSE OF COMMONS
CHAMBRE DES COMMUNES
CANADA

Patrick Weiler

Member of Parliament
West Vancouver-Sunshine Coast-Sea to Sky Country

June 7, 2023

Dear Friends & Neighbours,

Canada is a destination of choice for people looking to visit, do business or reunite with family and friends. That's why we are committed to improving our immigration programs and services by making them more efficient and equitable for people around the world.

This week, the Honourable Sean Fraser, Minister of Immigration, Refugees and Citizenship, announced the addition of 13 countries to the electronic travel authorization (eTA) program. Travellers from these countries who have either held a Canadian visa in the last 10 years or who currently hold a valid United States non-immigrant visa can now apply for an eTA instead of a visa when travelling to Canada by air. Effective today, eligible travellers from these countries can benefit from the program:

- Antigua and Barbuda
- Argentina
- Costa Rica
- Morocco
- Panama
- Philippines
- St. Kitts and Nevis
- St. Lucia
- St. Vincent and the Grenadines
- Seychelles
- Thailand
- Trinidad and Tobago
- Uruguay

Introducing visa-free air travel will make it faster, easier, and more affordable for thousands of travellers to visit Canada for up to six months for either business or leisure. It will also help grow Canada's economy by facilitating more travel, tourism and international business, and by strengthening Canada's relationships with these countries while keeping Canadians safe.

This decision will also divert thousands of applications from Canada's visa caseload, allowing us to process visa applications more efficiently, which will benefit all visa applicants.

Individuals who already have a valid visa can continue to use it to travel to Canada. Those who are not eligible for an eTA, or who are travelling to Canada by means other than air (for example, by car, bus, train

Constituency Ottawa

6367 Bruce Street Suite 282, Confederation Building
West Vancouver 229 Wellington Street, Ottawa

British Columbia V7W 2G5 Ontario K1A 0A6

Tel.: 604-913-2660 | Fax.: 604-913-2664 Tel.: 613-947-4617 | Fax.: 613-847-4620

and boat—including by cruise ship), will still need a visitor visa. Travellers can visit Canada.ca/eTA to find out whether they're eligible for an eTA and how to apply for one.

If you have any questions, please do not hesitate to reach out to our office and our Caseworker would be more than happy to assist you.

Sincerely,

A black rectangular redaction box covering the signature of Patrick Weiler.

Patrick Weiler, MP
West Vancouver-Sunshine Coast-Sea to Sky Country

Mosquito Lake and Sunstone Development

Sarah Valentine <sarafinavalentine@hotmail.com>

Tue 2023-06-13 12:54 PM

To: Colin Brown <cbrown@pemberton.ca>; Sheena Fraser <sfraser@pemberton.ca>; Katrina Nightingale <knightingale@pemberton.ca>; Laura Ramsden <lramsdn@pemberton.ca>; Jennie Helmer <jhelmer@pemberton.ca>

Cc: Lisa Richardson [REDACTED]; Veronica Woodruff [REDACTED]

Admin <admin@pemberton.ca>; Alyssa Noel, Pique Newsmagazine [REDACTED]; VoP [REDACTED]

📎 1 attachments (6 MB)

No Development Zone.png;

Hi Colin,

I am a resident of Pemberton and deeply concerned with how quickly developments are being approved without the proper infrastructure to support all these new residents but most especially the lack of adequate protection of wild areas

If you look at the attachment, I'd like to suggest that we take out from the Sunstone Estate plans this very valuable wildlife habitat and lake frontage (highlighted in green) - this should not be sold off to the highest bidder, but rather preserved and conserved for the rest of the population. Mosquito Lake is such a treasured special spot and to have it owned by the part-timers 1% that won't love it/appreciate/use as much as the locals, is just devastating. Please do not allow the development to go all the way to Mosquito Road, please stop it at Rodgers Road and cut straight across that area (see highlighted area on map in green)

If you haven't been to Mosquito Lake yet, I highly recommend doing so, to destroy this special spot with development to the water's edge would ruin one of the few lakes Pemberton has.

Thank you kindly,

Sarah Valentine

Re: Mosquito Lake and Sunstone Development

Lisa Richardson <pembygrl@gmail.com>

Tue 2023-06-13 3:22 PM

To: Colin Brown <cbrown@pemberton.ca>

Cc: Katrina Nightingale <knightingale@pemberton.ca>; Laura Ramsden <lramsdn@pemberton.ca>; Jennie Helmer <jhelmer@pemberton.ca>

<[REDACTED]> <[REDACTED]> <[REDACTED]>; VoP

Admin <admin@pemberton.ca>, Pique Newsmagazine

<arts@piqueNewsmagazine.com>; editor@piqueNewsmagazine.com

<editor@piqueNewsmagazine.com>

<[REDACTED]>; Allison Macdonald <amacdonald@slrd.bc.ca>

Thanks for cc'ing me, Sarah. Hi Colin!

I am also cc'ing Area C Director Russell Mack here as this zone is really one of those interfaces where many jurisdictions come together - and could do great things with a shared vision, or become a kind of jurisdictional/oversight gap through which regrettable developments can be driven.

The area Sarah has marked is a really special piece of this world, with extremely high habitat values for all the other creatures that share this Valley, in addition to the humans. I walk parts of this zone regularly and attribute a huge amount of my mental well-being to its current state - as treed, undeveloped, peaceful, unenclosed. I have encountered woodpeckers, deer, a thousand different kinds of winged creatures that my brain insists on just filing under "birds", several different species of snakes, (not the Australian kind, so incredibly lovely!) and just yesterday, THREE OWLS! And I am a bumbling, blundering human without any tiptoeing skills. (Possibly the absence of a gas engine or a dog helps me have these encounters.)

It seems quite apparent from the new amenity trail that is being built by Howler Contracting, for Sunstone, that Mosquito Lake is being viewed as an amenity for the Sunstone and Hillside developments. The trail is gravel-based and wide enough to accommodate motorized vehicles and doesn't appear to have been constructed with any inspections or on-sight environmental oversight. Its development seems to have impacted a host of existing mountain bike trails, so rather than being a contribution or asset, there's arguable net benefit/gain to the community trails overall...

I find this push up the hillside through forested land from the identified "urban growth area" of Sunstone, to be deeply concerning, because the lake area has seen increasing use and pressure over the years, growing each time access was made easier - a road, instead of a walking path, the Pemberton Music Festival exposure, a widened road with extra parking, and I suspect that with Rainbow Park in Whistler being closed this summer, will see even more user-pressure.

The lake falls into a bit of a jurisdictional orphan status, with no management plan, oversight or budget, as Rec Sites and Trails really has no meaningful capacity to manage or respond to the surging interest in this region's green/wild/non-commercial spaces.

The zone needs protection, management and protection from encroaching urban development. The population of Pemberton is now 6 times what it was when I first moved here. We need to be more proactive in our protection of lands, lakes and wild-feeling spaces, to ensure that we maintain the vibe that people are flocking here for.

I would suggest that:

- the trail be enforced as for non-motorized use, with barricades/boomgates installed at the base and higher access points, that prevent it becoming a golf cart, ATV, side by side, or Razr trail (except for emergency services use) - is this within the Village of Pemberton's jurisdiction to enforce as a local path/trail/motorway?
- that funding be set aside for a lake monitoring and management plan and/or ecological study (so we can manage, monitor and protect the water quality from contaminants, invasive species and be aware of what healthy benchmarks and concerning impacts are as quickly as possible)
- that environmental protection/preservation/nature reserve be the highest priority use given to the area.

The imbalance between the amount of money being put into creating a trail directly from the base of Sunstone, to the dock of Mosquito Lake, and the money available to oversee/protect/manage/care for the lake area (\$0) is gaping.

For several of the past hot and dry summers, residents of the Reid Road, Ivey Lake and Walkerville zones have been extremely anxious about rogue campfires, cigarette butts and fire-wielding nature seekers in and around Mosquito Lake, as the impact of a fire would be sudden and catastrophic for these neighbourhoods. Increased access and use, without any kind of management plan or budget to support the use or protect the area, is really reckless.

I realize that there are many conflicting pressures on this zone, including forestry and those of the Lil'wat. Hello 2023. Conflicting pressures is the tagline.

I'm really grateful that you are on board at the VoP, and that the OCP is underway.

Development or encroachment through the upper hillside area and alongside the lake deserves a hard pause and some thoughtful planning and protection, while that process is in play. We can't claw back habitat or nature reserves once they're gone...

Please keep me in the loop of discussions around this particular development and zone, as well as ongoing opportunities to engage on the OCP.

Sincerely,

Lisa

Lisa Richardson | Strategic Communications | Independent Journalism |
Writer | lisarichardsonbylines.com
Editor | thewellne_almanac.com
Columnist | piquenewsmagazine.com

OPEN QUESTION PERIOD POLICY

THAT the following guidelines for the Open Question Period held at the conclusion of the Regular Council Meetings:

- 1) The Open Question Period will commence after the adjournment of the Regular Council Meeting;
- 2) A maximum of 15 minutes for the questions from the Press and Public will be permitted, subject to curtailment at the discretion of the Chair if other business necessitates;
- 3) Only questions directly related to business discussed during the Council Meeting are allowed;
- 4) Questions may be asked of any Council Member;
- 5) Questions must be truly questions and not statements of opinions or policy by the questioner;
- 6) Not more than two (2) separate subjects per questioner will be allowed;
- 7) Questions from each member of the attending Press will be allowed preference prior to proceeding to the public;
- 8) The Chair will recognize the questioner and will direct questions to the Councillor whom he/she feels is best able to reply;
- 9) More than one Councillor may reply if he/she feels there is something to contribute.

*Approved by Council at Meeting No. 920
Held November 2, 1999*

*Amended by Council at Meeting No. 1405
Held September 15, 2015*