



1 Context Plan
Scale: 1:1000

Building Code Summary

Referenced Document:
British Columbia Building Code 2018 - Part 3

Building Description
3 Storey Building - Parking Garage Below 3 Storey Residential

Building Classification
3.2.2.50 Group "C" Up to 6 Storeys, Sprinklered
Building Area is less than 1.800m²
Combustable Construction Permitted
Floor Assemblies Shall be 1 Hour Fire Rated
Loadbearing Walls And Columns Not Less Than 1 hour Fire Rating
Parkade Floor Assemblies And Walls To Be 1.5 Hour Fire Rated

PROJECT STATISTICS

DEVELOPMENT STATISTICS			
Address: 7340 Crabapple Court, Pemberton			
Total Site Area	21043 sqft		
Zone	C3		
Site Info			
	Permitted/Required	Proposed	Notes
Site Coverage	max. 50%	8317 sq ft	40%
Building Height	max. 34'5 1/2"		
Front Setback	min. 14'9 1/4"	14'9 1/4"	VILLAGE OF PEMBERTON BYLAW NO. 832, 2018
Rear Setback	min. 9'10"	14'9 1/4"	
Interior Setback	min. 6'6 3/4"	9'10 3/4"	
Exterior Setback	min. 14'9 1/4"	9'10"	
Areas			
	Permitted/Required	Proposed	Notes
Residential Area		19200 sq ft	
Access Area		2890 sq ft	
Amenity		2336 sq ft	Excluded
FAR Areas			
	Permitted/Required	Proposed	Notes
	31564 sq ft	22090 sq ft	Permitted FAR 1.5 VILLAGE OF PEMBERTON BYLAW NO. 832, 2018
Total FAR Area	31564 sq ft	22090 sq ft	
Total FAR	1.50 FSR	1.05 FSR	
Unit types			
	Permitted/Required	Proposed	Notes
Studio		64 Units	unit area 300 sqft
Total	N/A		
Parking			
	Permitted/Required	Proposed	Notes
Cars			Off-street parking BL, Village of Pemberton
Residential sub total	48 Stalls	21 Stalls	8.3 Residential Vehicular Parking Requirement
Residential	48 Stalls	21 Stalls	- One Bedroom Units: 1/ unit
• Regular		20	- Visitor Parking: 0.25/ unit
• Accessible (Regular Size)		1	
Visitor		4 Stalls	8.7 (a), The parking ratios may be reduced by 0.25 stalls per unit
• Regular		2	for affordable purchased/rental housing
• Small Car		2	- 0.75 stall/unit is used in calculation of required parking (1-0.25=0.75)
Total	48 Stalls	25 Stalls	- No visitor parking is required (0.25-0.25=0)
Bikes			Off-Street Bicycle Parking BL, Village of Pemberton
Class A	9.6 Stalls	34 Stalls	
Class B	0.0	4 Stalls	8.1 (g), 20% of the required vehicle parking
Total	9.6 Stalls	38 Stalls	

Legal Description:

Lot 3, D.L. 203, Lillooet District, Plan KAP72731

Project Team:

Project Manager/Contractor:
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Architect:
CORNERSTONE architecture

Drawing List:

- Project Overview**
- A0.0 Cover Sheet & Statistics
- A0.1 Images & Context Photos
- A1.1 Survey
- A1.2 Site Plan
- Floor Plans**
- A2.0 Parkade
- A2.1 Level 1 (Main Floor)
- A2.2 Level 2
- A2.3 Level 3
- A2.4 Roof Plan
- Elevations**
- A3.1 South & East Elevation
- A3.2 North & West Elevation
- Sections**
- A4.0 Building 3D VIEWS

1	XX-XX-XX	xxx
REV.	YY MM DD	ISSUE

PROJECT:

PEMBERTON GATEWAY

BUILDING CODE: **ZONING:**
C3

DEVELOPMENT PERMIT #

BUILDING PERMIT #

DRAWING:

COVER SHEET & STATISTICS

DRAWN **REVIEWED**

SCALE 3/32"=1'-0" (unless noted otherwise)

PLOT DATE 2021 Jul 27

PROJECT NO. **DRAWING NO.**

1710 **A1.0**

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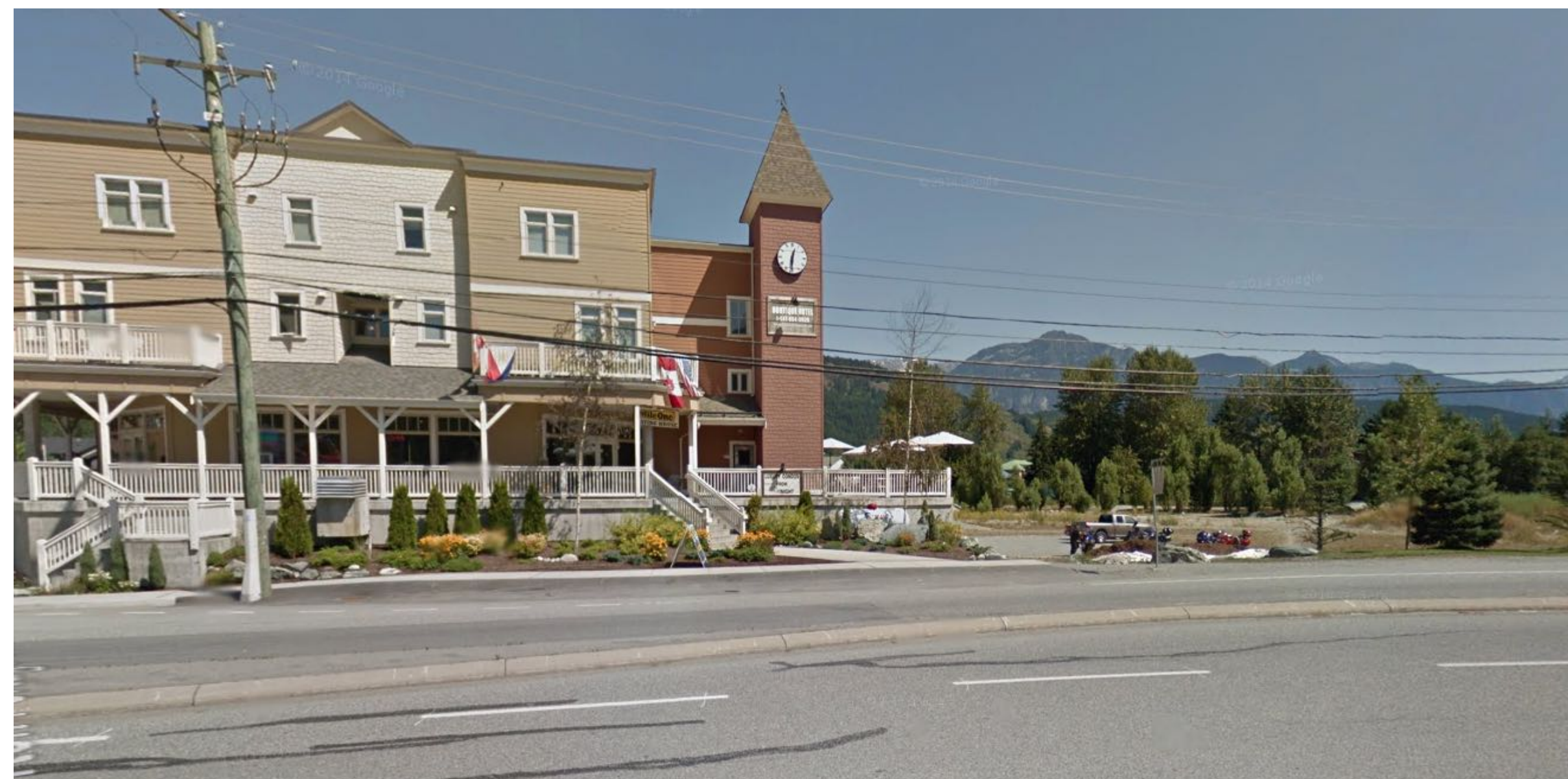
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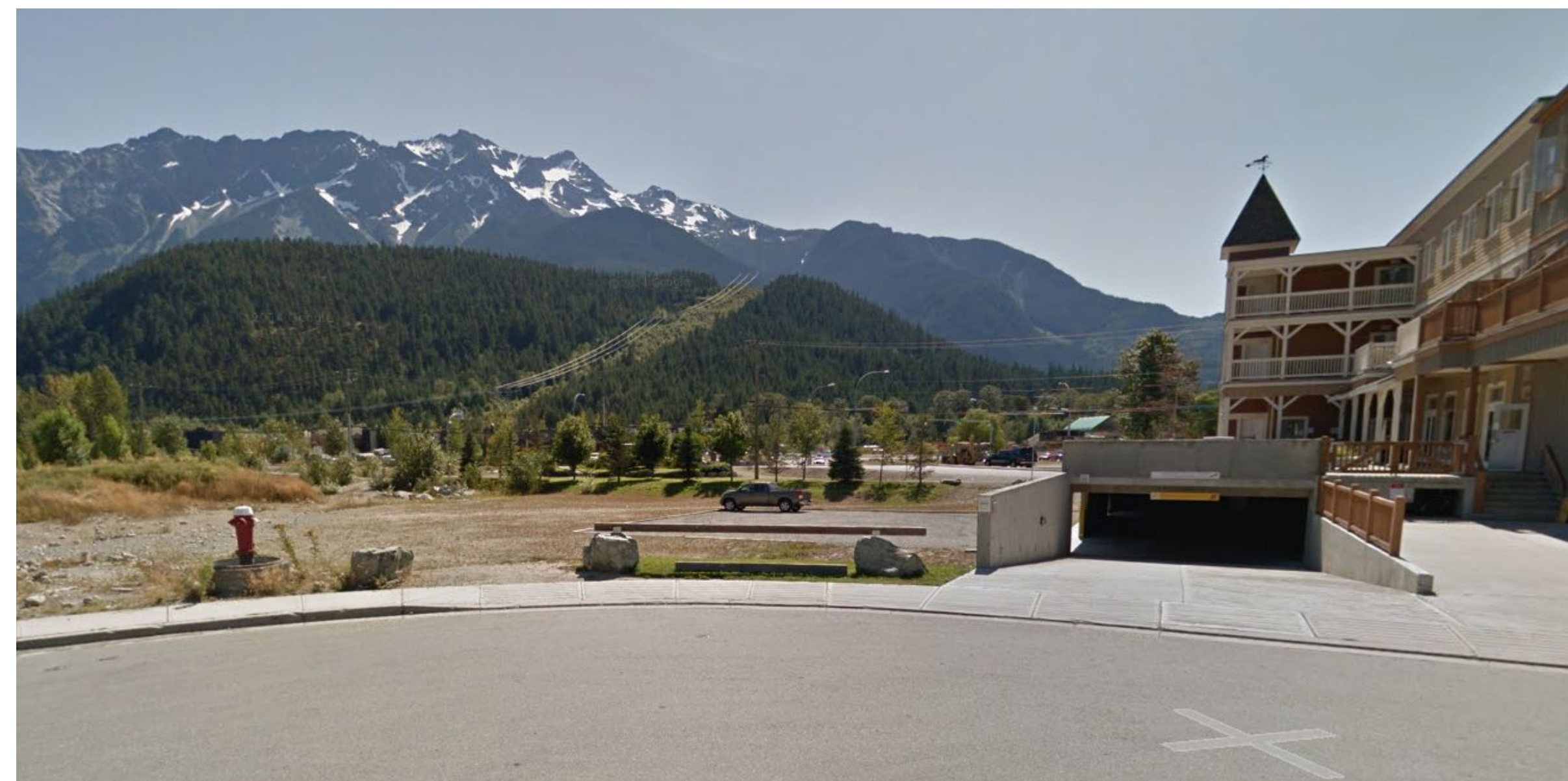
1 VIEW FROM PEMBERTON PORTAGE RD FACING NORTH



2 VIEW FROM ARBUTUS FACING INTO CRABAPPLE CT.



3 VIEW FROM PEMBERTON PORTAGE RD FACING EAST



4 VIEW FROM CRABAPPLE CT. FACING SOUTH

1	XX-XX-XX	XXX
REV.	YY MM DD	ISSUE

PROJECT:

PEMBERTON GATEWAY

BUILDING CODE: ZONING:
C3

DEVELOPMENT PERMIT #

BUILDING PERMIT #

DRAWING:

IMAGES & CONTEXT PHOTOS

DRAWN REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

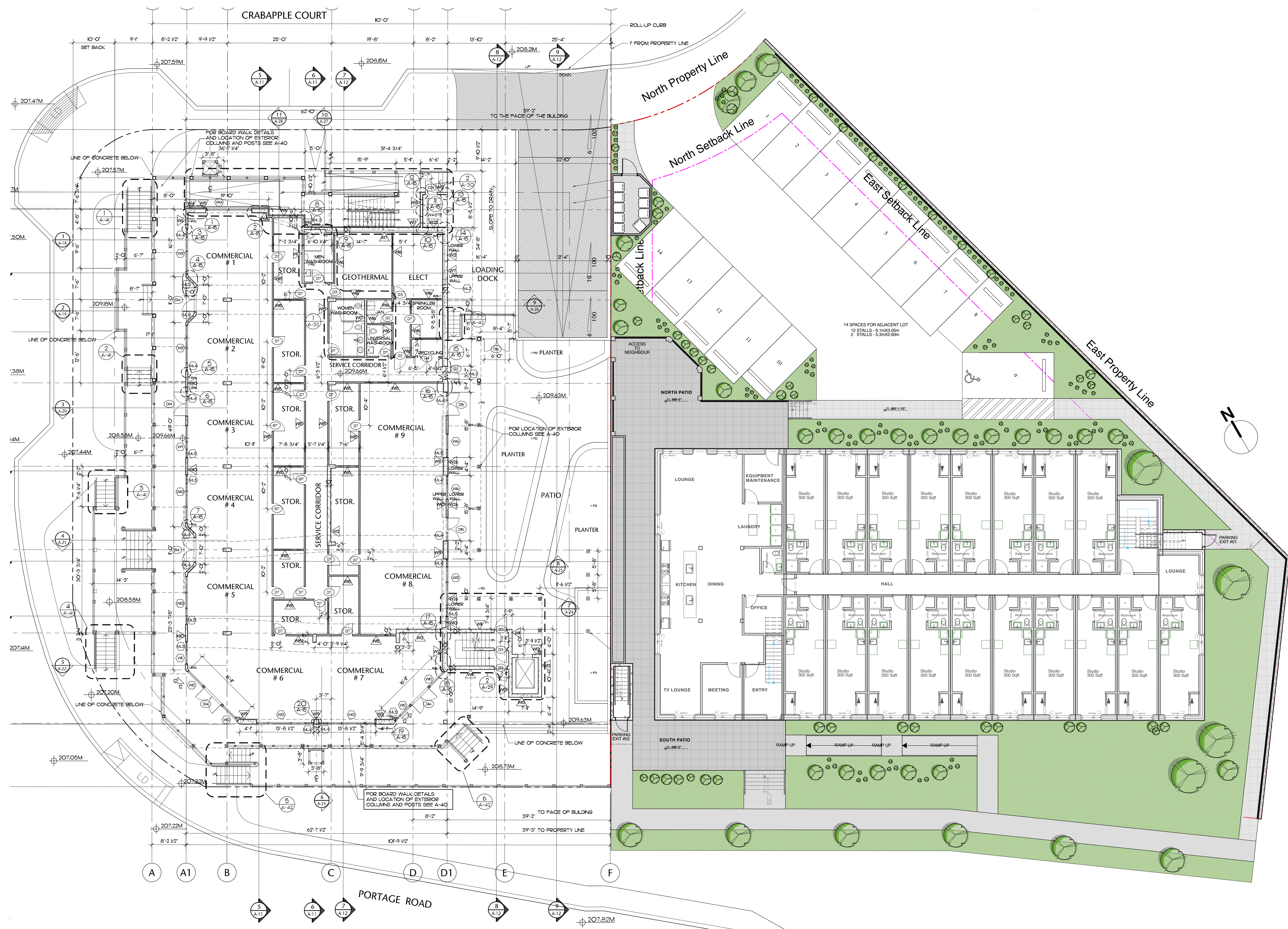
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PROJECT NO. DRAWING NO.

1710 A0.1

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1	XX-XX-XX	XXX
REV.	YY MM DD	ISSUE

PROJECT:
PEMBERTON GATEWAY

BUILDING CODE: ZONING:
C3

DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING:
SITE PLAN

DRAWN REVIEWED

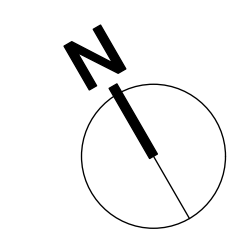
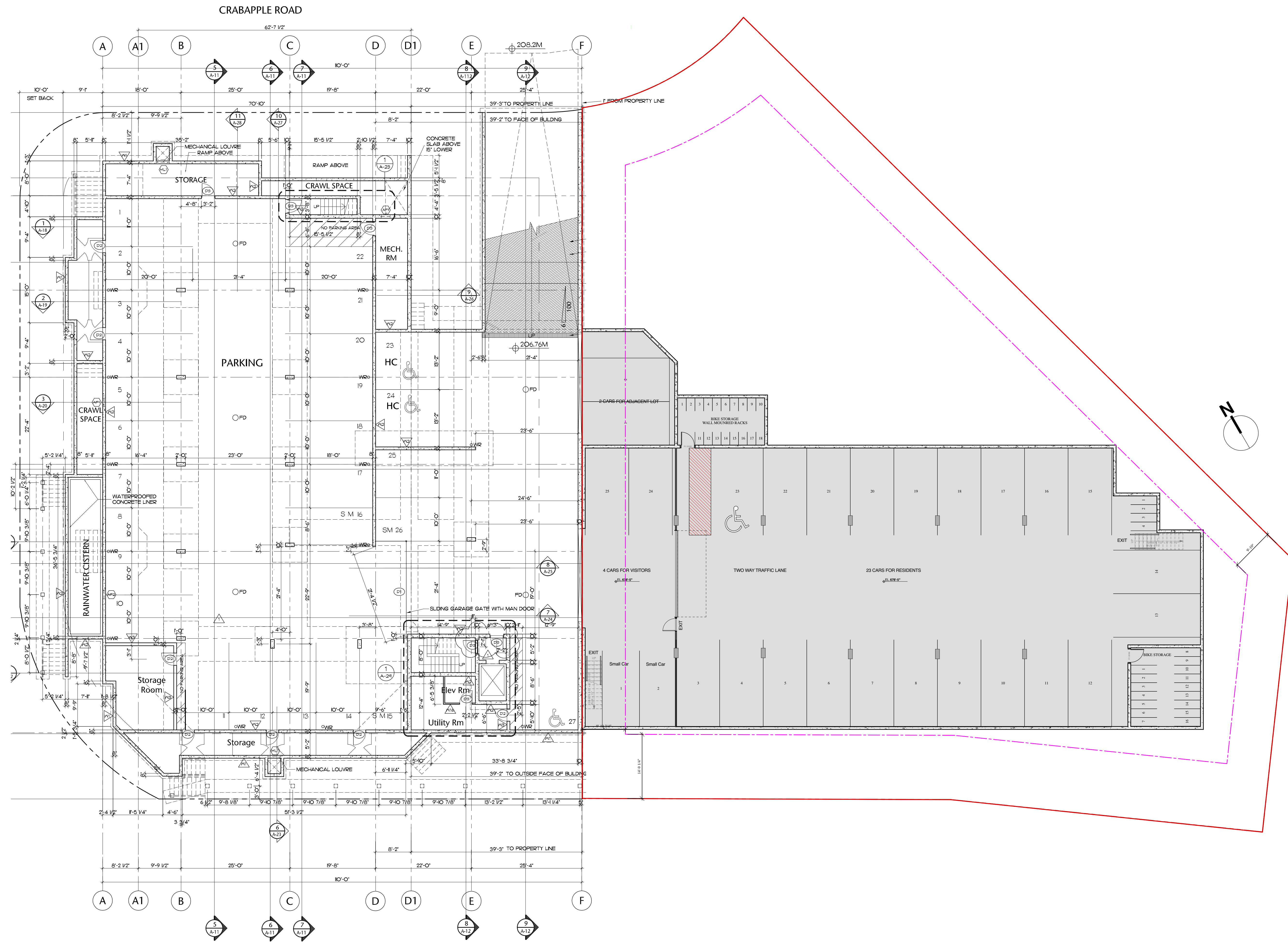
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PROJECT NO. DRAWING NO.

1710 A1.2

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REV.	YY MM DD	ISSUE

PROJECT:
PEMBERTON GATEWAY

BUILDING CODE: ZONING:
 C3

DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING:
PARKADE

DRAWN REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

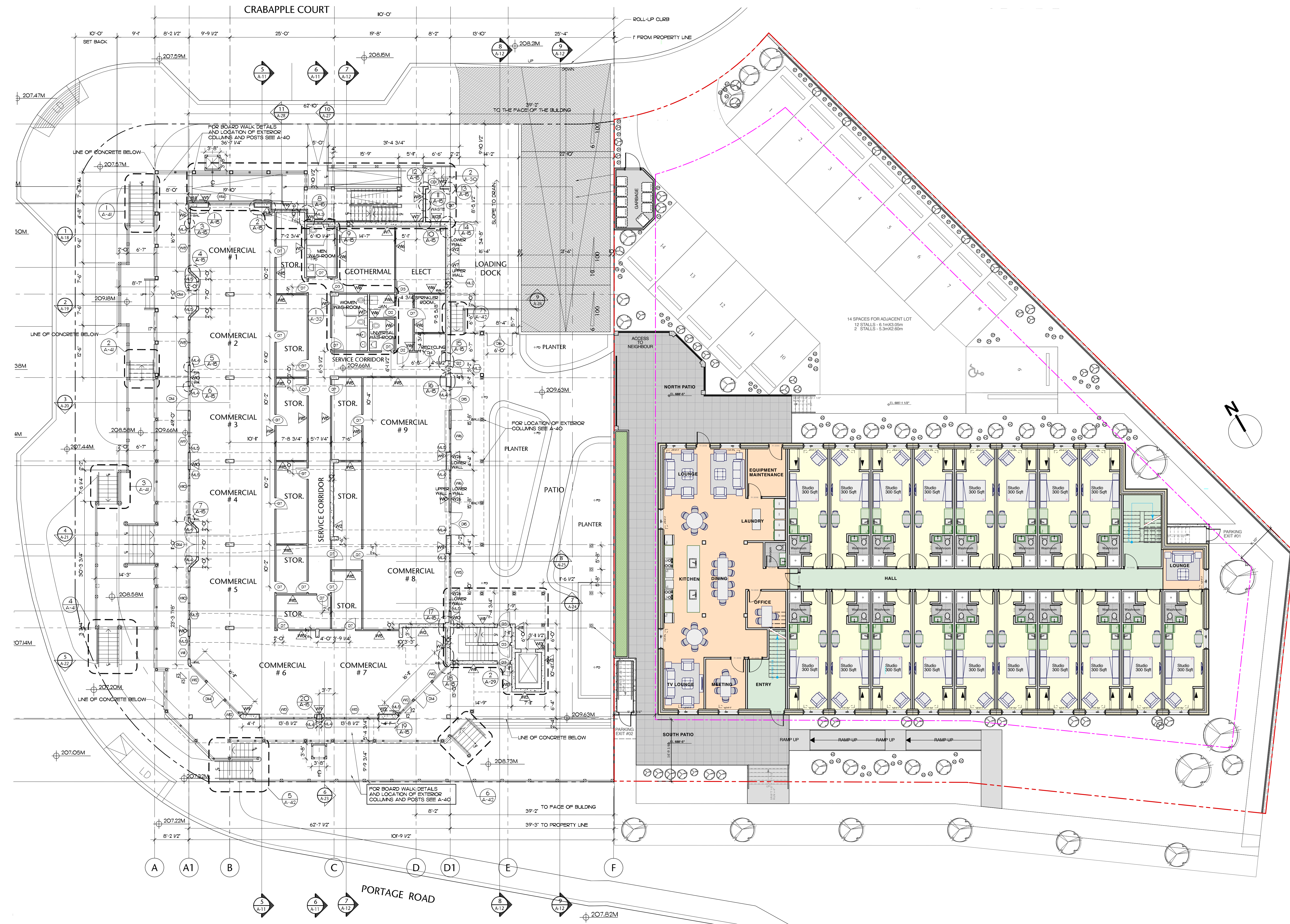
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PROJECT NO. DRAWING NO.

1710 **A2.0**

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1	XX-XX-XX	XXX
REV.	YY MM DD	ISSUE

PROJECT:
PEMBERTON GATEWAY

BUILDING CODE: ZONING:
C3

DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING:
MAIN LEVEL

DRAWN REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

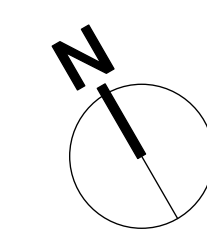
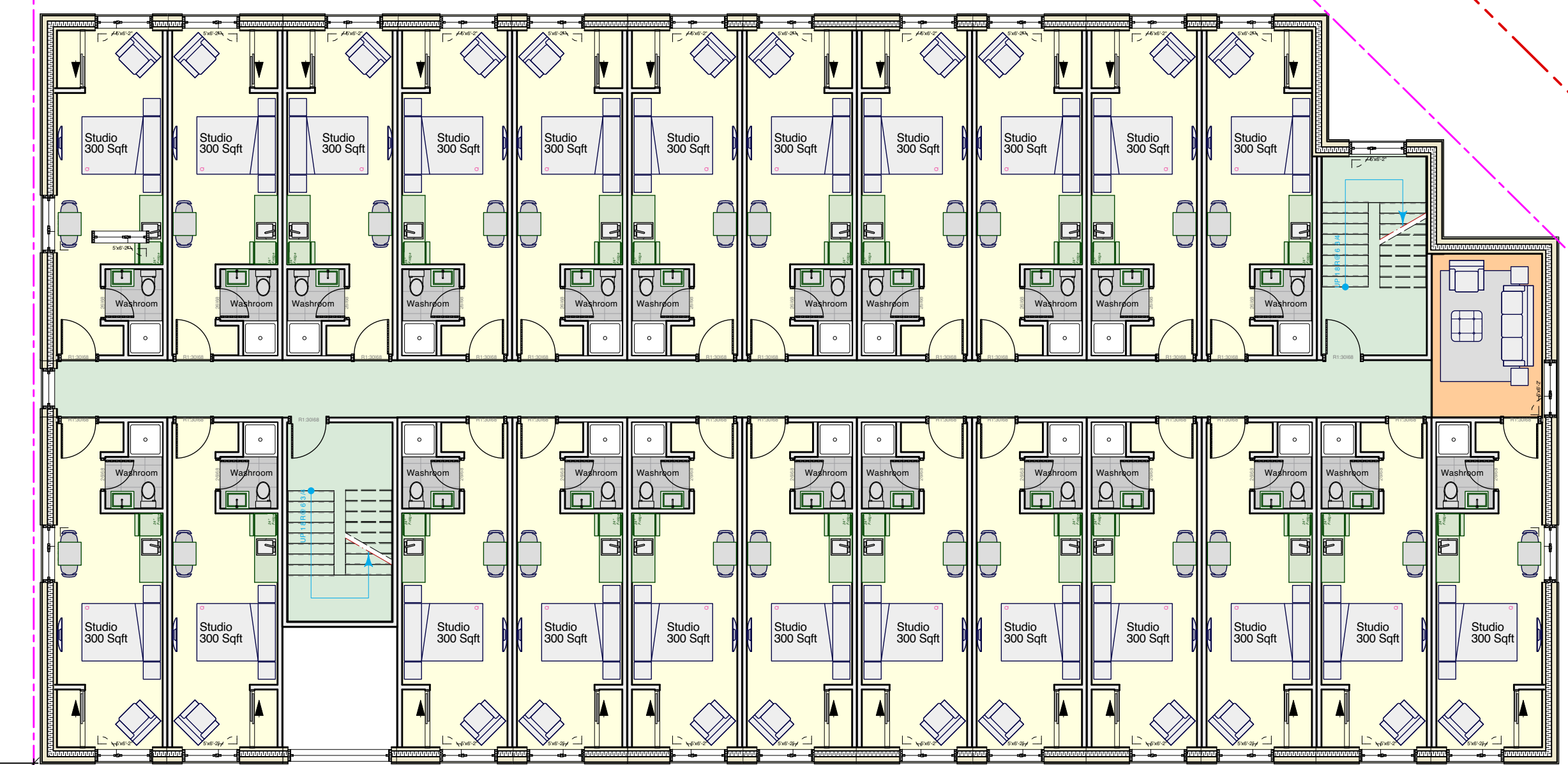
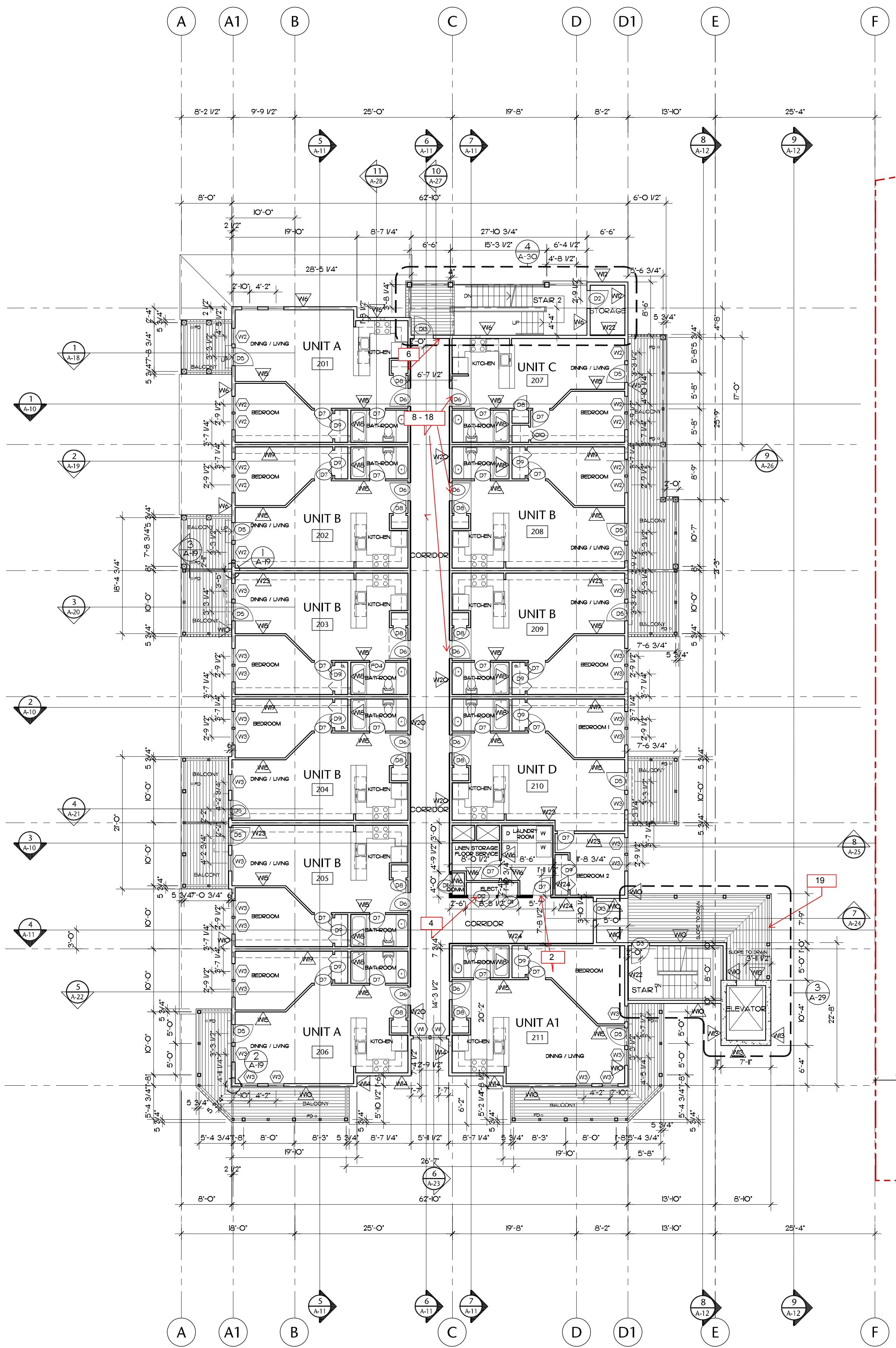
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PROJECT NO. DRAWING NO.

1710 A2.1

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1	XX-XX-XX	XXX
REV.	YY MM DD	ISSUE

PROJECT:
PEMBERTON GATEWAY

BUILDING CODE: ZONING:
C3

DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING:
LEVEL 2

DRAWN | **REVIEWED**

SCALE 3/32"=1'-0" (unless noted otherwise)

PLOT DATE 2021 Jul 27

PROJECT NO. | **DRAWING NO.**

1710 | **A2.2**

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1 NORTH ELEVATION
SC: 1/4" = 1'-0"



2 EAST ELEVATION
SC: 1/4" = 1'-0"

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PROJECT:

PEMBERTON GATEWAY

BUILDING CODE: ZONING:
C3

DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING:

NORTH & EAST BUILDING ELEVATIONS

DRAWN REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

PLOT DATE 2021 Jul 27

PROJECT NO. DRAWING NO.

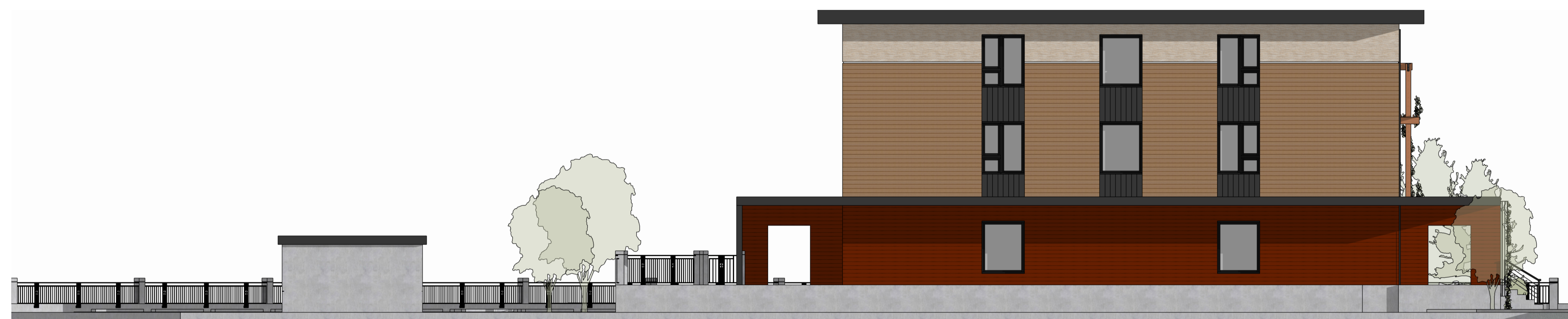
1710 A3.2

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1 SOUTH ELEVATION
SC: 1/4" = 1'-0"



2 WEST ELEVATION
SC: 1/4" = 1'-0"

1	XX-XX-XX	xxx
REV.	YY MM DD	ISSUE

PROJECT:
PEMBERTON GATEWAY

BUILDING CODE: ZONING:
C3

DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING:
SOUTH & WEST BUILDING ELEVATIONS

DRAWN REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

PLOT DATE 2021 Jul 27

PROJECT NO. DRAWING NO.
1710 A3.1

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1 SOUTH EAST CORNER



2 SOUTH WEST CORNER

REV.	YY MM DD	ISSUE
1	XX-XX-XX	xxx

PROJECT:

PEMBERTON GATEWAY

BUILDING CODE: ZONING:
C3

DEVELOPMENT PERMIT #

BUILDING PERMIT #

DRAWING:

BUILDING SECTIONS

DRAWN REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

PLOT DATE 2021 Jul 27

PROJECT NO. DRAWING NO.

1710 A4.0