

1 Context Plan Scale: 1:1000

## **Building Code Summary**

Referenced Document: British Columbia Building Code 2018 - Part 3

Building Description 3 Storey Building - Parking Garage Below 3 Storey Residential

Building Classification 3.2.2.50 Group "C" Up to 6 Storeys, Sprinklered Building Area is less than 1.800m<sup>2</sup> Combustable Construction Permitted Floor Assemblies Shall be 1 Hour Fire Rated Loadbearing Walls And Columns Not Less Than 1 hour Fire Rating Parkade Floor Assemblies And Walls To Be 1.5 Hour Fire Rated

## **PROJECT STATISTICS**

Adress:	S		
	7340 Crabapple Court, Pemb	erton	
Total Site Area	21043 sqft		
Zone	C3		
Site Info	Permitted/Required	Proposed	Notes
Site Coverage	max. 50%	8317 sq ft	
Building Height	max. 34'5 1/2"		
Front Setback	min. 14'9 1/4"	14'9 1/4"	VILLAGE OF PEMBERTON BYLAW NO. 832, 2018
Rear Setback	min. 9'10"	14'9 1/4"	
interior Setback	min. 6'6 3/4"	9'10 3/4"	
Exteriro Setback	min. 14'9 1/4"	9'10"	
	11111. 14 3 1/4	910	
Areas	Permitted/Required	Proposed	Notes
Residential Area		19200 sq ft	
Access Area			
Access Area Amenity		2890 sq ft 2336 sq ft	Excluded
FAR Areas		Bropood	Notos
I AII AIGA3	Permitted/Required 31564 sq ft	Proposed 22090 sq ft	Permitted FAR 1.5
	01004.04 11	22000 34 1	VILLAGE OF PEMBERTON BYLAW NO. 832, 2018
Total FAR Area	31564 sq ft	22090 sq ft	
	1.50 FSR	1.05 FSR	
Total FAR	1.50 FSR	1.05 F5R	
Unit types	Permitted/Required	Proposed	Notos
Studio			unit area 300 sqft
Total	N/A		
Parking	Permitted/Required	Proposed	Notes
Cars			Off-street parking BL, Village of Pemberton
Residential sub total	48 Stalls		8.3 Residential Vehicular Parking Requirment
Residential	48 Stalls	21 Stalls	
• Regular		20	- Visitor Parking: 0.25/ unit
Accessible (Regular Size)			- VISITOR PARKING. 0.23/ UNIT
Visitor		4 Stalls	8.7 (a), The parking ratios may be reduced by 0.25 stalls per unit
• Regular			
•		2	for affordable purchased/rental housing
			- 0.75 stall/unit is used in calculation of required parking (1-0.25=0.75)
• Small Car	40 Otalia		
• Small Car Total	48 Stalls	25 Stails	- No visitor parking is required (0.25-0.25=0)
Total	48 Stalls	25 Stans	
Total Bikes			
Total	9.6 Stalls 0.0	34 Stalls	

## Legal Description:

Lot 3, D.L. 203, Lillooet District, Plan KAP72731

#### **Project Team:**

#### Project Manager/Contractor:

Architect: CORNERSTONE architecture

#### **Drawing List:**

A0.0 A0.1 A1.1 A1.2	<b>Project Overview</b> Cover Sheet & Statistics Images & Context Photos Survey Site Plan
A2.0 A2.1 A2.2 A2.3 A2.4	<b>Floor Plans</b> Parkade Level 1 (Main Floor) Level 2 Level 3 Roof Plan
A3.1 A3.2	<b>Elevations</b> South & East Elevation North & West Elevation
A4.0	Sections Building 3D VIEWS

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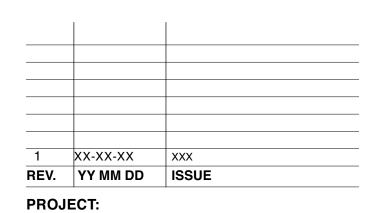
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## PEMBERTON GATEWAY

BUILDING CODE:

DEVELOPMENT PERMIT #

ZONING

C3

## DRAWING: COVER SHEET & STATISTICS

BUILDING PERMIT #

DRAWN

PROJECT NO.

1710

DRAWING NO.

A1.0

REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

PLOT DATE 2021 Jul 27



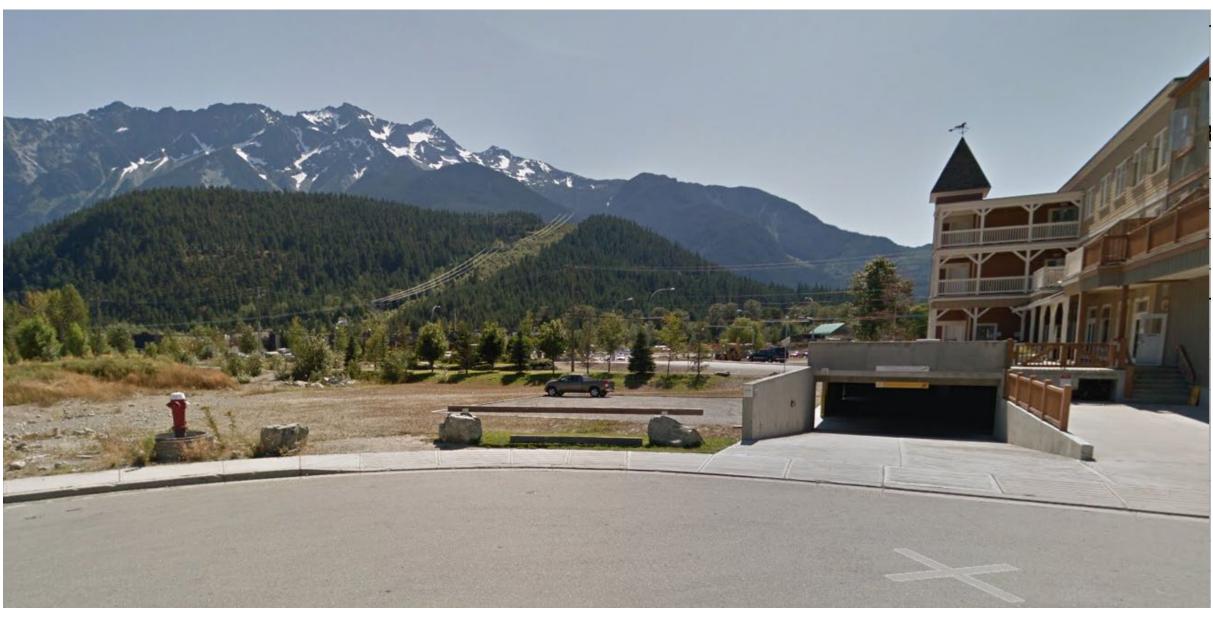
1 VIEW FROM PEMBERTON PORTAGE RD FACING NORTH



3 VIEW FROM PEMBERTON PORTAGE RD FACING EAST



2 VIEW FROM ARBUTUS FACING INTO CRABAPPLE CT.



4 VIEW FROM CRABAPPLE CT. FACING SOUTH

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## PROJECT:

PEMBERTON GATEWAY

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DRAWING NO.

A0.1

IMAGES & CONTEXT PHOTOS

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**BUILDING CODE:** 

BUILDING PERMIT #

DRAWING:

DRAWN

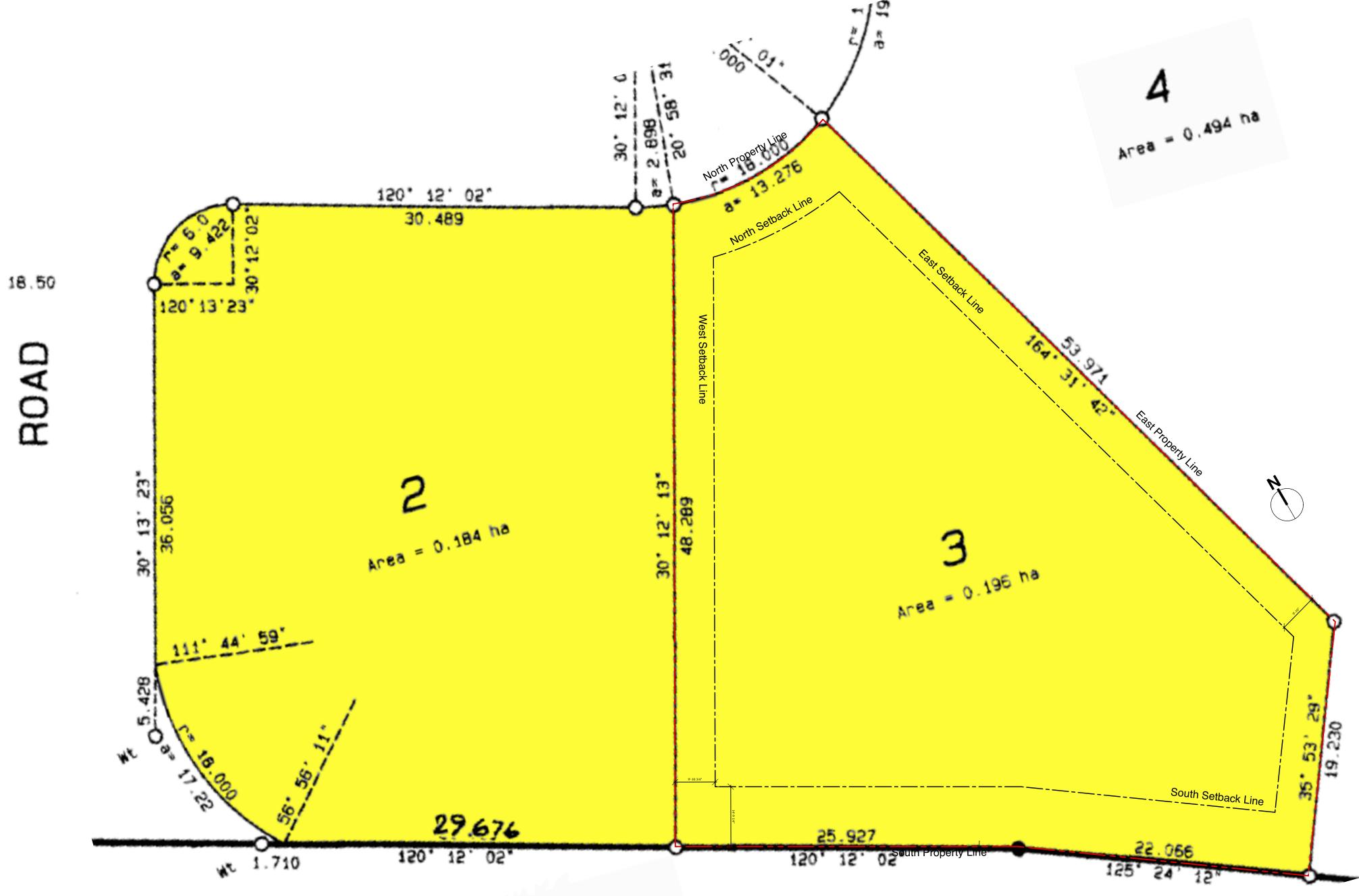
PLOT DATE

PROJECT NO.

1710

DEVELOPMENT PERMIT #

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1	XX-XX-XX	XXX



## PROJECT NO. A1.1 1710

SCALE 3/32"=1'-0" (unless noted otherwise) PLOT DATE 2021 Jul 27 DRAWING NO.

REVIEWED

LEGAL SURVEY

C3 DEVELOPMENT PERMIT # BUILDING PERMIT # DRAWING:

BUILDING CODE:

DRAWN

## PEMBERTON GATEWAY

 
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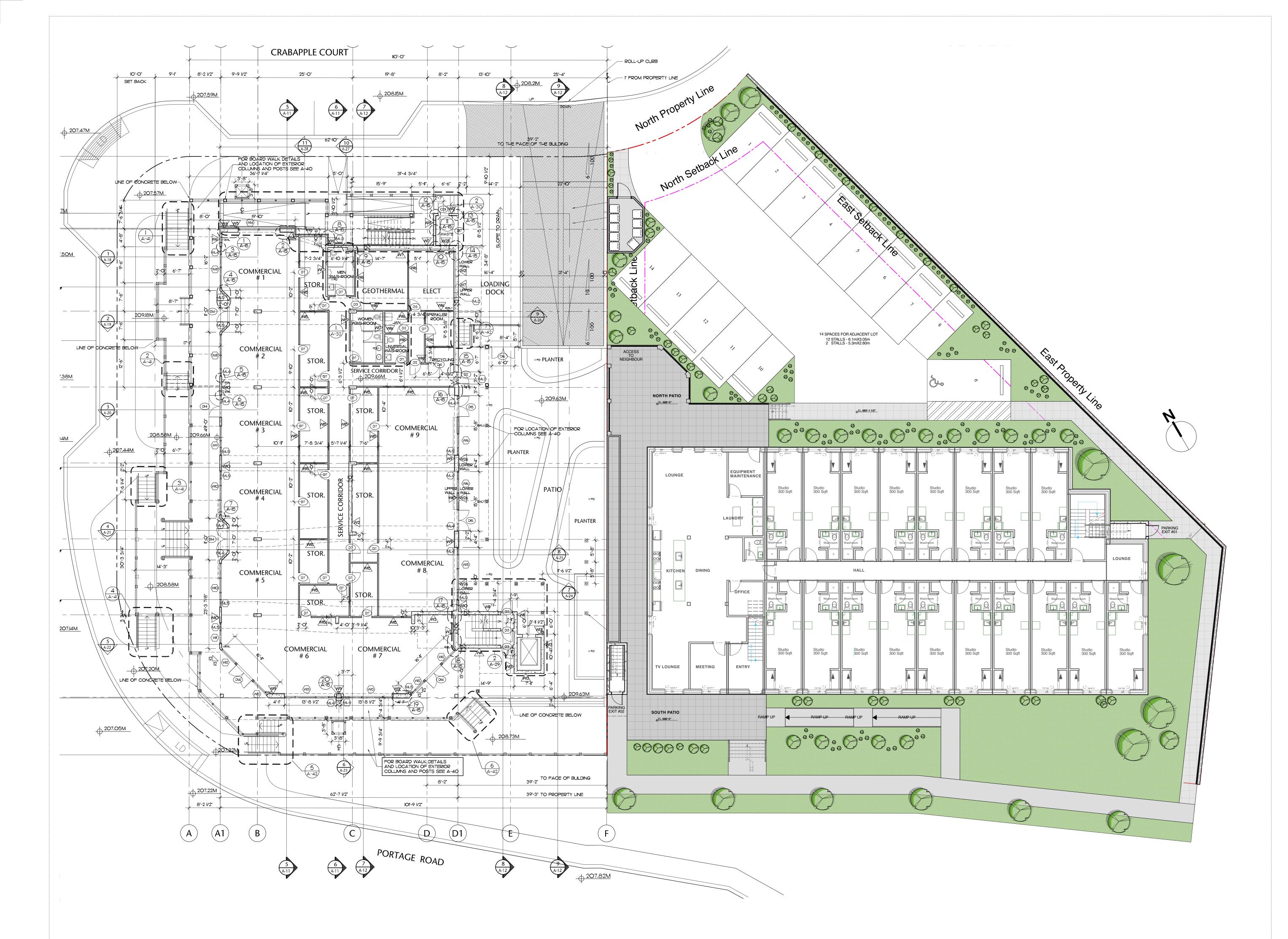
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#### PROJECT NO. A1.2 1710

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REVIEWED

SCALE 3/32"=1'-0" (unless noted otherwise)

SITE PLAN

DEVELOPMENT PERMIT # BUILDING PERMIT # DRAWING:

BUILDING CODE:

DRAWN

PLOT DATE

ZONING

C3

## **PEMBERTON GATEWAY**

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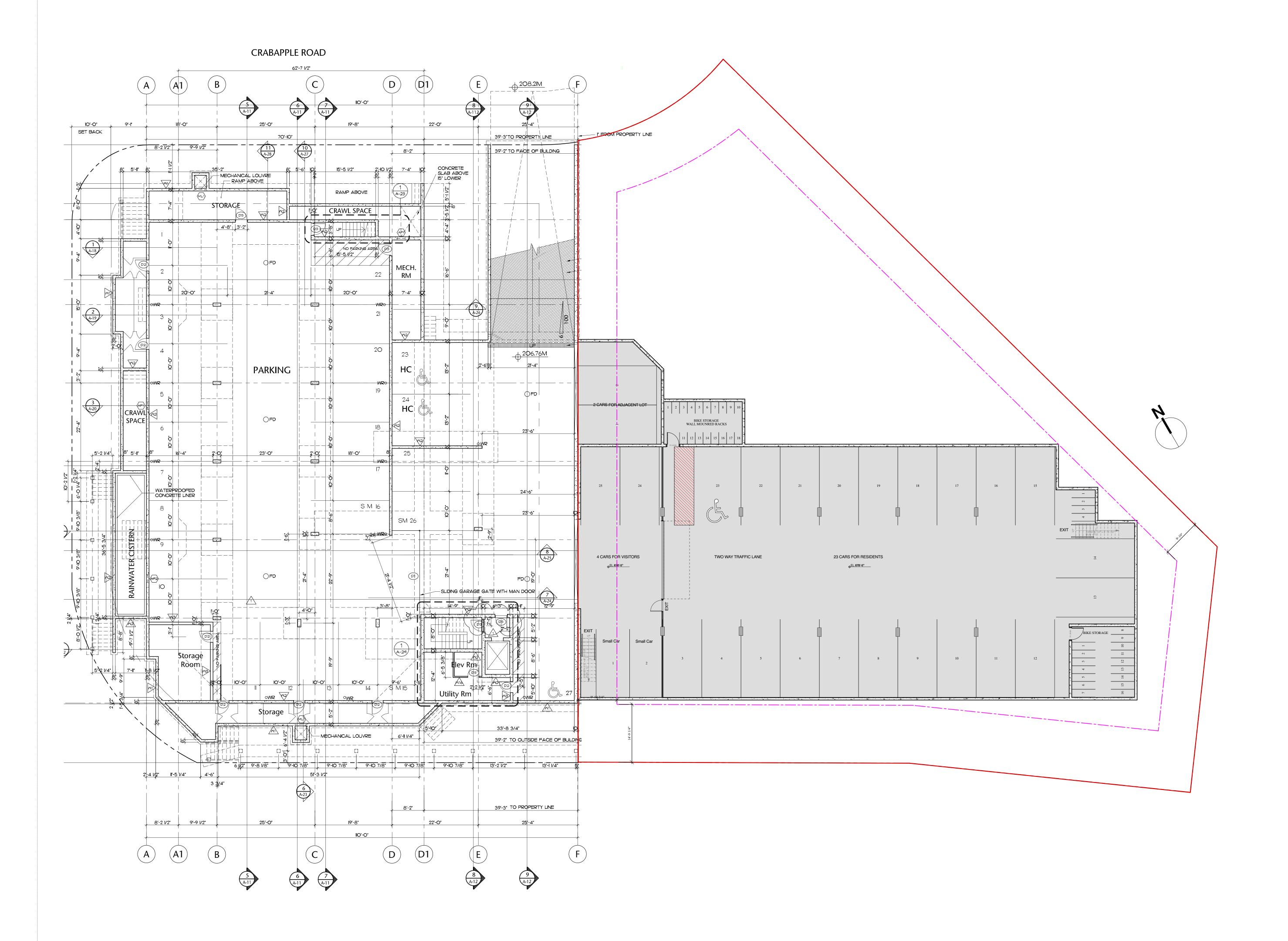
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A2.0

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## PARKADE

DRAWN

PLOT DATE

PROJECT NO.

1710

DEVELOPMENT PERMIT # BUILDING PERMIT # DRAWING:

## PEMBERTON GATEWAY

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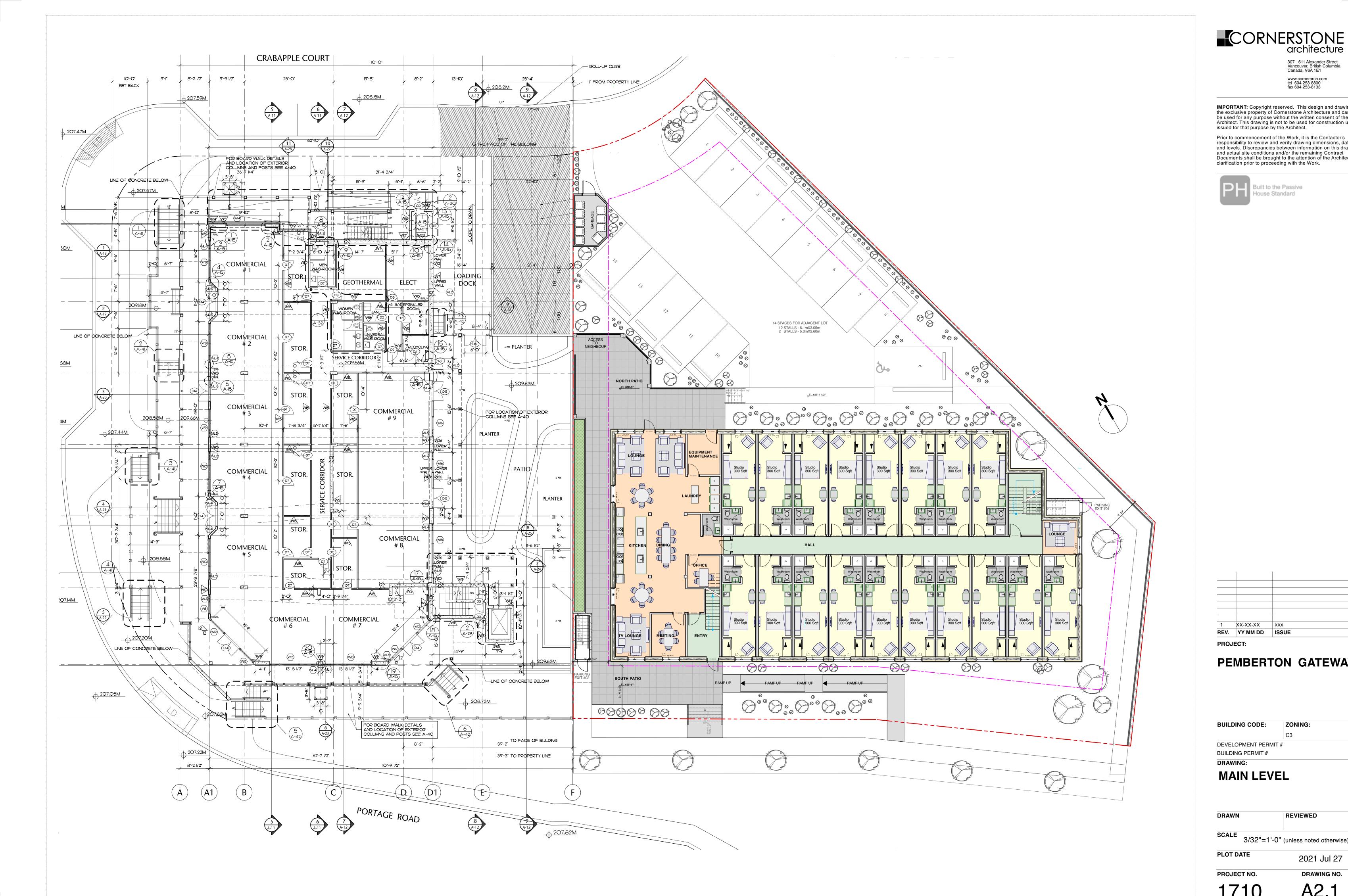
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PROJECT NO. 1710

DRAWING NO. A2.1

PLOT DATE 2021 Jul 27

SCALE 3/32"=1'-0" (unless noted otherwise)

DRAWN REVIEWED

## MAIN LEVEL

C3 DEVELOPMENT PERMIT # BUILDING PERMIT # DRAWING:

BUILDING CODE:

ZONING

### PROJECT: PEMBERTON GATEWAY

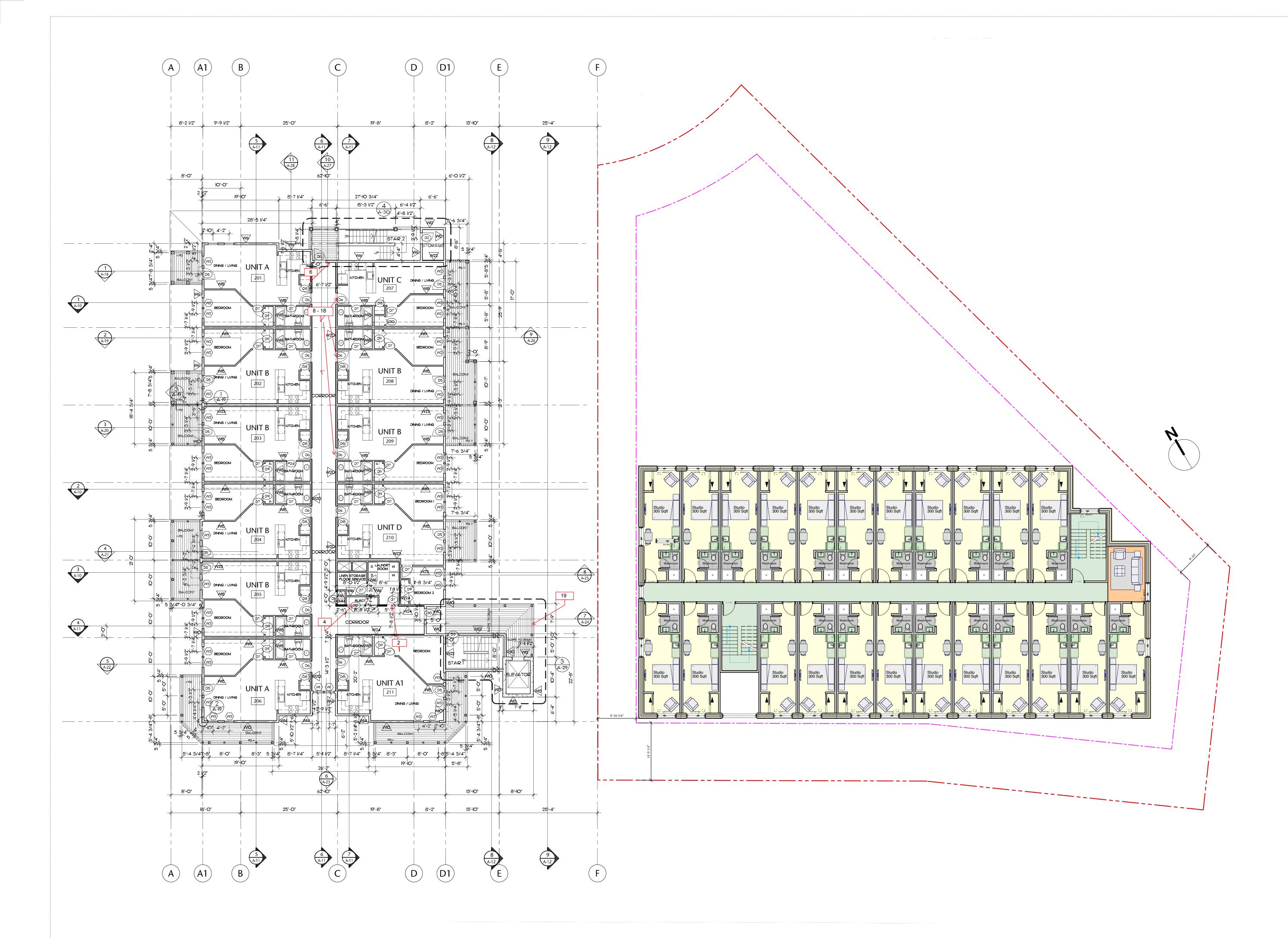
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## PROJECT NO. 1710

DRAWING NO. A2.2

2021 Jul 27

SCALE 3/32"=1'-0" (unless noted otherwise)

REVIEWED

LEVEL 2

DRAWN

PLOT DATE

C3 DEVELOPMENT PERMIT # BUILDING PERMIT # DRAWING:

**BUILDING CODE:** 

## PEMBERTON GATEWAY

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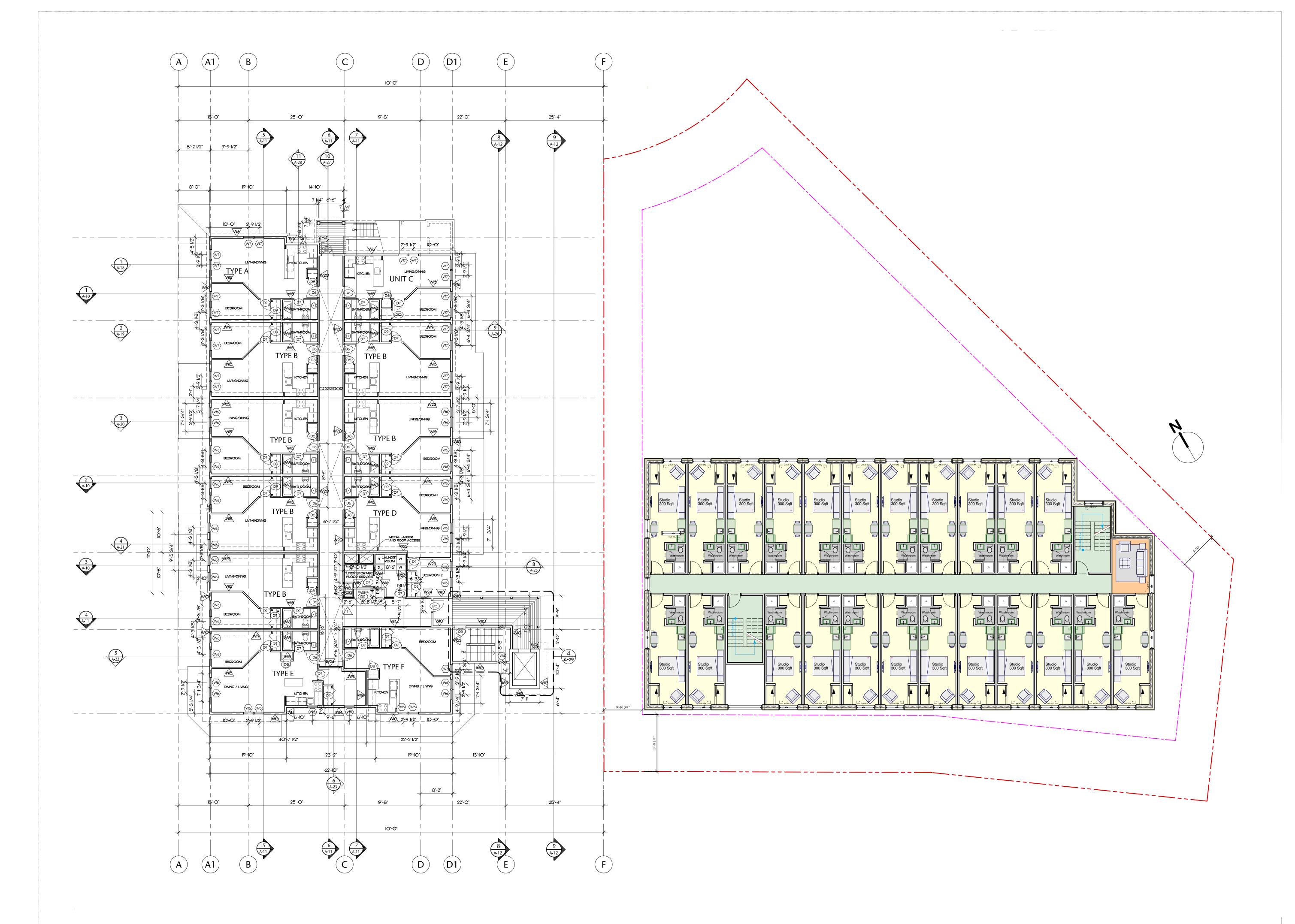
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PROJECT NO.	
1710	

DRAWING NO. A2.3

2021 Jul 27

SCALE 3/32"=1'-0" (unless noted otherwise)

DRAWN REVIEWED

LEVEL 3

PLOT DATE

**BUILDING CODE:** 

DEVELOPMENT PERMIT # BUILDING PERMIT # DRAWING:

ZONING

C3

## PEMBERTON GATEWAY

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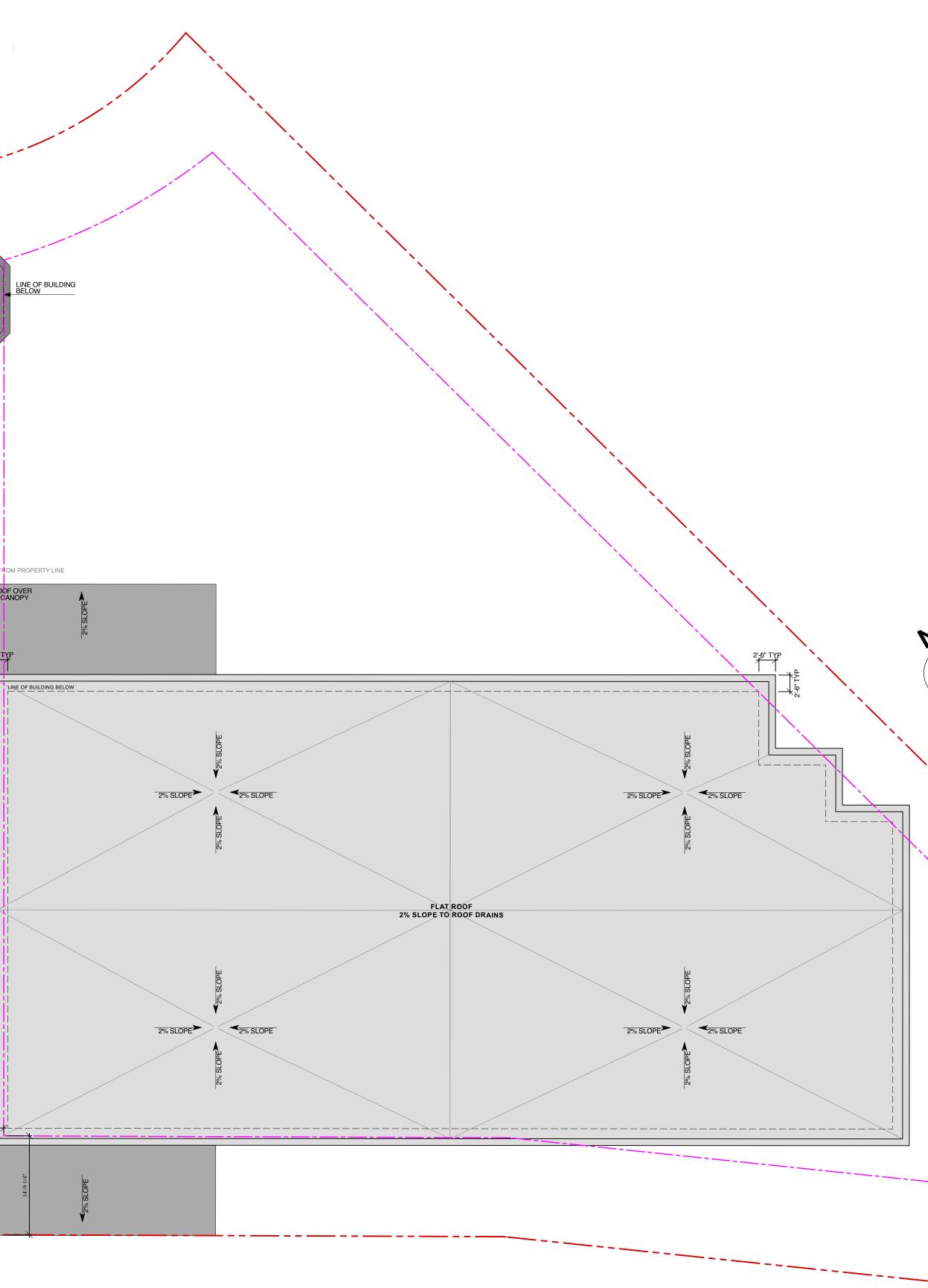


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ROOF OVER GARBAGE ROOM 2% SLOPE 4' SETBACK FROM PROPERTY LINE FLAT ROOF OVER LEVEL 1 CANOPY 2'<u>-</u>6" ТҮР



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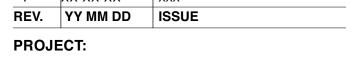
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A2.4

SCALE 3/32"=1'-0" (unless noted otherwise)

C3

BUILDING CODE:

BUILDING PERMIT #

DRAWING:

DRAWN

PLOT DATE

PROJECT NO.

1710

DEVELOPMENT PERMIT #

**ROOF PLAN** 

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 $1 \frac{\text{NORTH ELEVATION}}{\text{SC: } 1/4" = 1' - 0"}$ 



2 EAST ELEVATION SC: 1/4" = 1' -0"

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### PROJECT: PEMBERTON GATEWAY

ZONING

C3

NORTH & EAST BUILDING ELEVATIONS

SCALE 3/32"=1'-0" (unless noted otherwise)

REVIEWED

2021 Jul 27

DRAWING NO.

A3.2

**BUILDING CODE:** 

BUILDING PERMIT #

DRAWING:

DRAWN

PLOT DATE

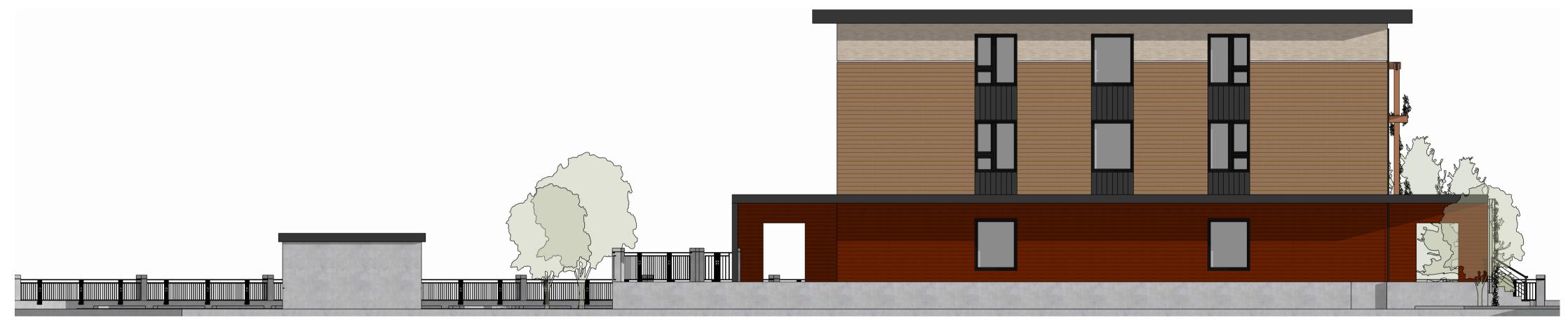
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DEVELOPMENT PERMIT #

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## 2 WEST ELEVATION SC: 1/4" = 1' -0"



1 SOUTH ELEVATION SC: 1/4" = 1' -0"





A3.1

PLOT DATE 2021 Jul 27 DRAWING NO.

SCALE 3/32"=1'-0" (unless noted otherwise)

DRAWN

REVIEWED

## DRAWING: SOUTH & WEST BUILDING ELEVATIONS

C3 DEVELOPMENT PERMIT # BUILDING PERMIT #

**BUILDING CODE:** 

ZONING

### PEMBERTON GATEWAY

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Prior to commencement of the Work, it is the Contactor's

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## 2 SOUTH WES T CORNER



## 1 SOUTH EAST CORNER





PLOT DATE

DRAWN

DRAWING NO. A4.0

2021 Jul 27

**BUILDING SECTIONS** 

SCALE 3/32"=1'-0" (unless noted otherwise)

C3 DEVELOPMENT PERMIT # BUILDING PERMIT # DRAWING:

BUILDING CODE: ZONING

REVIEWED

## PEMBERTON GATEWAY

 
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