



Box 100 | 7400 Prospect Street  
 Pemberton BC V0N 2L0  
 P: 604.894.6135 | F: 604.894.6136  
 Email: admin@pemberton.ca  
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### DEVELOPMENT-GENERAL INFORMATION

- Application:
- OCP Bylaw Amendment &/or Zoning Bylaw Amendment **(Form OR13)**
  - Development Permit **(Form MDP13)**
  - Major or Minor Development Permit **(Form Minor DP)**
  - Development Variance Permit **(Form DVP13)**
  - Temporary Use Permit **(Form MDP13)**
  - Subdivision, Bare Land Strata Approval & Strata Title Conversion **(Form Sub 13)**

**All Applications Please include Application Requirements Form (Checklist)**

#### SITE

Civic Address:	Legal Description:	
7605 Cerulean Dr.	PID: 030-665-469	Lot: 24
Pemberton	District Lot(DL): 211	Plan: EPP88381

#### OWNER(S)

Owner Name(s): DAVID RUSSAL	D: Home: [REDACTED]
STEPHANIE NIKOU-RUSSAL	W: Work: [REDACTED]
Mailing Address: [REDACTED]	D: Cell: [REDACTED]
[REDACTED]	E: Email: [REDACTED]

#### OWNER(S) AGENT IF APPLICABLE

Agent's Name:	Work: _____
	Fax: _____
Mailing Address: _____	Cell: _____
	Email: _____

If applicable Please include Owner's Authorization

**X** [REDACTED] 30/1/21  
 Owner Signature [REDACTED] Date JAN. 30, 2021

**X**  
 Authorized Agent Signature \_\_\_\_\_ Date \_\_\_\_\_

#### COMMENTS:

Application No		Fee:	\$
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**APPLICATION FORM FOR A DEVELOPMENT VARIANCE PERMIT (DVP13)**

I/We hereby make application under the provisions of Part 26 of the *Local Government Act* and the Village's Development Procedure Bylaw No. 725, 2012 for a Development Variance Permit for lands legally described as:

Lot: 29, Plan: PP 00301, District Lot: 211, LLD.

THIS APPLICATION IS MADE WITH MY FULL KNOWLEDGE AND CONSENT



30/1/21

Jan. 30. 2021

Registered owner's signature

Date

Where the applicant is NOT the REGISTERED OWNER, the application must be signed by the REGISTERED OWNERS designated AGENT and proof thereof must be registered in the office of the Village of Pemberton.

**FOR OFFICE USE ONLY:**

Application/File No.: DVP#127

Application Fee received \$ \$950.00

Receipt No.: 31642/31643

Date received: 2/2/2021

J. Rees

Signature of Official

*\*All plans shall be prepared at metric scale and dimensions*

## APPLICATION REQUIREMENTS FOR A DEVELOPMENT VARIANCE PERMIT

### 1. Pre-Application Meeting

It is strongly recommended that prior to submitting an application for a Development Variance Permit, an applicant should meet with Village of Pemberton Development Services Department to review the application requirements. The intent of the pre-application will be to confirm specific submission requirements for each proposal.

It is important to have the Village identify the information required for the application since any applications deemed incomplete by the Development Services Department will not be accepted and subsequently returned to the applicant.

### 2. Submission Checklist

- Complete Application Form (Form DVP13)
- Application Fee (in accordance with Development Procedures Bylaw No. 725, 2012)
- Certificate of State of Title or of Indefeasible Title (dated no more than thirty (30) days prior to submission of the application must accompany the application as a proof of ownership)
- ~~Copy of Charges on Title~~ (i.e. covenants, rights of way, statutory building schemes, etc)
- Owners Agent Authorization (if applicable)

### 3. Property Information

Legal Description:

DISTRICT PLAN 09P08381

LOT 24 DISTRICT LOT 211 WILCOETT

PID#: 030-665-469

Civic Address: 7665 Cerulean Dr. WILKINSON

Bylaw Requesting Variance: #832, 2018

Specific Section of Abovementioned Bylaw Requesting Variance:

retaining wall

### 4. Project Summary Information Checklist (provide in written format)

- Description of Proposed Development and Variance
- Rationale in Support of the Proposed Variance
- Supporting Surveys and Site/Architectural/Service Plans that may assist in describing the proposed variance

Village of Pemberton  
Box 100, Pemberton, BC V0N 2L0

January 30, 2021

Dear Mayor & Council.

Thank you for the opportunity to hear our request for a Variance regarding our retaining wall, 7665 Cerulean Drive.

This letter will provide you with some background of our situation, address the hardship involved to build a retaining wall, the options that were considered and the solutions to address the visual impact of the wall.

### **Background of our situation**

- We purchased our lot in October 2017 prior to road and services being constructed. The construction of the road added a 13 ft/4m change in elevation to our already steep lot.
- In preparation for our build, we designed our home as one story with a walkout basement before the road and sewer services were built.
- Upon receiving a Site Alteration Permit from the Village of Pemberton (VoP) on July 31, 2019, we began preparation by removing trees.
- In June 2020, we began filling our lot with required structural fill.
- Following the purchase of 120 truckloads of structural fill and recognizing that significant fill was still required and that we were losing the size of our building envelope, we requested a survey of the fill and lot from Doug Bush Survey Services Ltd., *Appendix A*.
- The survey confirmed that using only structural fill due to the steepness of our lot, would result in our building envelope decreasing by 30% from the original Site Plan at time of purchase, *Appendix B*.
- It was never our intent to build a retaining wall, which is the reason it was not shown on our building plans at the time of submission for a Building Permit.
- The Developer of Sunstone recommended the design and material for the retaining wall we purchased.

Upon much consideration and professional input from Kontur Geotechnical Consultants, we decided to proceed with building of the retaining wall based on the design of our home approved by Sunstone's Design Review committee and submitted with our Building Permit application. We followed Sunstone's Design and Building Guidelines, June 27, 2019 which state, "retaining walls over 1.2m must be designed and approved by a Geotech." Kontur Geotechnical Consultants provided the engineering on September 18, 2020 for the required approval, *Appendix C*.

During the three-week build of our \$50k retaining wall, the Village of Pemberton's (VOP) Building Inspector, Chris Derouin and David Russell met on-site three times. On Chris' final visit it was agreed upon by both parties and confirmed David would submit for a Building Permit upon receiving the

final inspection from Kontur Geotechnical Consultants in the early week of September 14, 2020. On September 15, 2020, we received a Stop Work Order from the VoP's Development Services Department. The required documentation was nonetheless submitted and the building permit was stalled pending approval from the Board of Variance.

#### Reasons a retaining wall was built and plans for build

- When we filled at a grade 2:1, recommended by Kontur Geotechnical Consultants, the fill came up 15 feet and back 30 feet - we lost the ability to have a walkout basement.
- Without the build of the retaining wall, we would not meet the VoP's Zoning Bylaw 832, 2018 8.11 (l), That portion of *any* lot used as a driveway from the lot line to a required parking area does not exceed the grade of 20%.
- Without the build of the retaining wall, the grade of our driveway would be 45%; too steep to drive a vehicle up or down the driveway. With the retaining wall, our driveway will be at a grade of 16% which will be driveable for vehicles, especially important from November – March each year.
- The retaining wall is needed as the majority of our home will sit on the wall.
- The lot is too steep and not deep enough to have multiple retaining walls, a house and include a driveway.

**Imagine A** below indicates the steepness from the top of the street to our building envelope, which is 5.5m/18' from the upper lip to the building site.



**Image B** below indicates the top of our lot from the street, the steepness of our lot confirms you cannot see our building envelope below. With our raised elevation on the retaining wall, we still must start the driveway on the east side of the lot, coming across the lot to access the house as opposed to being able to drive straight down the driveway to our home from the street.



- A site section, *Appendix D*, completed by Ms. Wassberg of MW Design Studio on November 18, 2020 confirms the steepness of our lot and the need for a retaining wall.
- A site section, *Appendix E*, completed by Ajia Canadian Building Systems Inc on November 23, 2020 confirms the steepness of our lot with our home situated on our lot and the need for the retaining wall.
- Emergency vehicles will be able to access the grade of 16%, without the retaining wall, emergency vehicles would not be able to safely access our home.
- Should we have not built a retaining wall, the cement foundation for our home would need to be a total of 25 feet high of which would be visible from Sunstone Way. We believe, based on the Developer's recommendation that the retaining wall is more aesthetically pleasing within the neighbourhood than a cement wall.
- Without a retaining wall, we could put our home on 25-foot stilts (the height of the retaining plus of the basement). This means we would need to build a second story on our home (currently our home is one floor with a walkout basement). By building our home on stilts, a retaining wall would still be required to support the front of the home and to retain the fill from the driveway. The size of the retaining wall would be approximately 12 feet (4m). This retaining wall would still be visible from the Sunstone Way.
- By building our retaining wall, we created a flat building pad to build our home on which now will be accessible by vehicles, particularly important during the winter months.
- The retaining wall retains the 120 loads of structural fill on our lot which supports most of our home.
- There is no harm to the existing ecosystem due to the build of our retaining wall.

- The retaining wall does not block any planned play areas or public walkways. It is constructed between 5 to 10m in front of a public access path.
- The wall is appealing with the ability to include trees and vines (see rendition photo below, Image C).
- There will be less visual impact with completed landscaping opposed to a cement foundation or a large amount of structural fill.
- Depending where the neighbouring properties build, their views to the west will not be blocked by our home having a retaining wall, as each home on our street will require fill and/or a retaining wall.
- We adhered to Sunstone Design Guidelines which states, “no section of exterior wall should be higher than two stories.” We believe the visual impact of a three-story home would overpower the look from Sunstone Way.
- Our lot is one of the two steepest lots on Cerulean Drive. The slopes of the lots on Cerulean Drive increase from the bottom to the top of the street; as you go up the Cerulean Drive, lots become steeper and then begin to plateau at the top of the street.
- To mirror the image of the existing retaining wall, same height, longer in length built by our neighbours on their lot at 7671 Cerulean Drive.

### **Solutions to address the visual impact of wall**

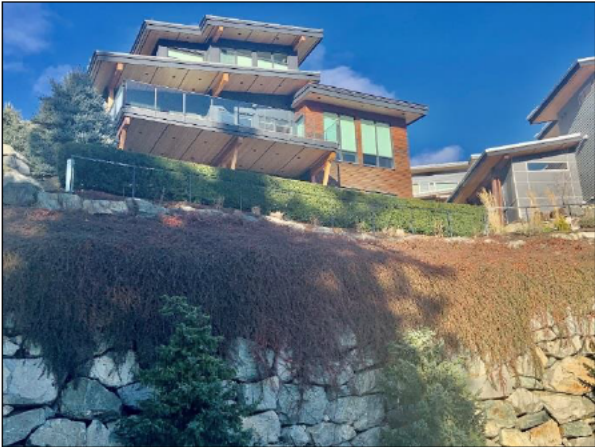
We recognize the visual impact retaining walls have on developments. We also are aware that in hillside developments retaining walls may be required and that landscaping will minimize the look of such walls.

As requested by the VoP’s Building Services Department, we have submitted a comprehensive landscape design completed by Sound Garden Landscape and Design, see attached. You will note that our proposed landscape design is made of natural building materials so the visual impact will be minimized with natural landscaping. The landscaping plan does follow VoP’s Hillside Guidelines, Landscaping. The proposed landscaping will further enhance the completed landscaping in Sunstone. Prior to the landscaping request, we submitted Image C to the VoP; the intent was to hide the look of the retaining wall. We have submitted in writing to the VoP that landscaping will be completed by June 30, 2021. Please note we purchased our lot as the green space below appealed to us, notice that the landscaping adds attraction to the green space.

Image C is a rendition of our home with landscaping in front of the retaining wall.



Image D, taken November 2020 of the newly constructed subdivision Baxter Creek, located in the Rainbow subdivision in Whistler. As per the recommendation of Sound Garden, we have proposed planting the same vine on our submitted landscaping plan.





Addressing the Village of Pemberton VoP's Hillside Design Guidelines, April 2020 we believe our retaining wall and landscaping plan addresses the Vision and Goals:

- Vision: Hillside developments will be environmentally sensitive, functionally appropriate, aesthetically pleasing and economically feasible.
- Goals: Development applications within hillside areas should work to achieve the vision for hillside development by focusing on achieving the following goals: Complement the scenic hillside character of Pemberton; Screen visual impact and minimize unsightly cut and fill; Integrate unique natural features such as landforms, rock outcroppings, viable existing stands of trees and vegetation, ravines, water features, hilltops and ridgelines into new neighbourhoods; Avoid development on unstable or hazardous sites and prevent potential rockfall hazards; Preserve and enhance access to trails and outdoor recreation; Protect wildlife habitat, wildlife corridors and other environmental values; and Manage storm run-off and limit erosion hydrology.

**Specially to the Visual Guidelines section**

~1.1.1 Images of retaining walls below are not recommended – our retaining wall is neither of these two designs below:



Blasted rock wall leaves stark and negative mark on the landscape.



Unattractive visually dominant retaining wall.

~1.1.1: Landscaping is capable of hiding retaining walls – our landscape plans confirm this as well as **Image C** above.

~1.1.1: Consider using natural building materials – our retaining wall complies with this guideline.

~1.3: Streetscape Objective state: Developments are accessible to emergency vehicles – without a retaining wall, driveway would be too steep for emergency vehicle access.

~1.4.1: Grading and Retaining Objectives state: Retaining walls can be used to reduce slope disturbance, rather than modify natural terrain – our retaining wall has reduced slope disturbance.

~1.5.1: Sign-off from the geotechnical engineer(s) must be provided – this has been completed and received by the VoP.

~2 Landscaping: our submitted landscaping plans meets these requests.

### **Neighborhood Impacts**

Currently two homes on Cerulean Drive have occupancy, two homes are currently being built, (not including ours). Of the two occupied homes, one home has two retaining walls over 1.2m. Of the two homes currently being built, one home has built a retaining wall, same height/much longer than ours, the other home does not have a retaining wall but required a significant amount of structural fill to build his home up to accommodate his driveway; the owner has the room to do so within his lot, we did not as our lot size is smaller and steeper than his. Both homeowners recognize the challenge of building on our steep lot and have written letters in support of our retaining wall.

We recognize our neighbour, Ms. Edwards' of 7663 Cerulean Drive concern of our retaining wall. Since the issue of the stop work order, we have not been able to return to our lot to address the overflow of fill on the neighbouring lot, 7663 Cerulean Drive. We informed the owner, Ms. Edwards, when David met her at her lot in November, we would complete upon removal of the stop work order.

In Ms. Edwards' letter to Council on January 26, 2021 she noted her concern is blocking her view to the south, this is completely incorrect. The view to the south, south-west and Mt. Currie is wide open. Her view to the East from her basement might be compromised by our wall if she has windows in her basement and moves her house down the lot by cutting her tree line down. Her main floor will be above our retaining wall. Please note in Ms. Edwards drawing submission in her letter to Council on January 26, 2021 there are three separate retaining walls, each of which are 1.2m. The three retaining walls of 1.2m, plus the height of the foundation and the fact that her lot is already higher than ours results in her main floor being above our retaining wall. Please note due to the steepness of our lot compared to Ms. Edwards' lot, we are unable to build three separate retaining walls.

### **Moving forward**

Council is to be applauded for supporting staff's acknowledgement that the existing Zoning Bylaw for retaining walls does not comply on hillside developments and therefore amending the bylaw is recommended. While we recognize and support the processes involved, upon review from staff at the VoP, it should be noted the VoP has granted four permits specifically for retaining walls over 1.2m since July 2018 when the current bylaw was adopted; under the same bylaw we are requesting the same permit. Of the other permits approved, development permits were not required for retaining walls over 1.2m. It should be noted that of the permits granted, there are retaining walls higher and longer than ours with no landscaping requirements. We thank the previous Variance Committee members and recognize the difficult situation they were faced with approving our request for a variance at the October 28, 2020 Variance Committee meeting for our retaining wall; Mr. A. LeBlanc confirmed that we are the first home builders to be requested by senior staff to obtain a variance from the variance committee for a retaining wall over 1.2m since the bylaw was adopted. Due to the hardship for a build on our lot, we are requesting the same permit, under the same Zoning Bylaw.

Having lived (rented and owned) in several different subdivisions over the past 25 years, we have witnessed new neighbourhoods increase as developments have been approved by council,

including hillside developments that include retaining walls. We too desire the community of Pemberton to maintain its natural beauty in all subdivisions. With approval of our request for a Development Variance Permit for our existing retaining wall with our landscaping plan, we feel we will be maintaining Pemberton's naturally beauty and will enhance the existing landscaping Sunstone has achieved.

We are hopeful Council recognizes the due hardship and will support our request for the required Development Variance Permit for our retaining wall while acknowledging:

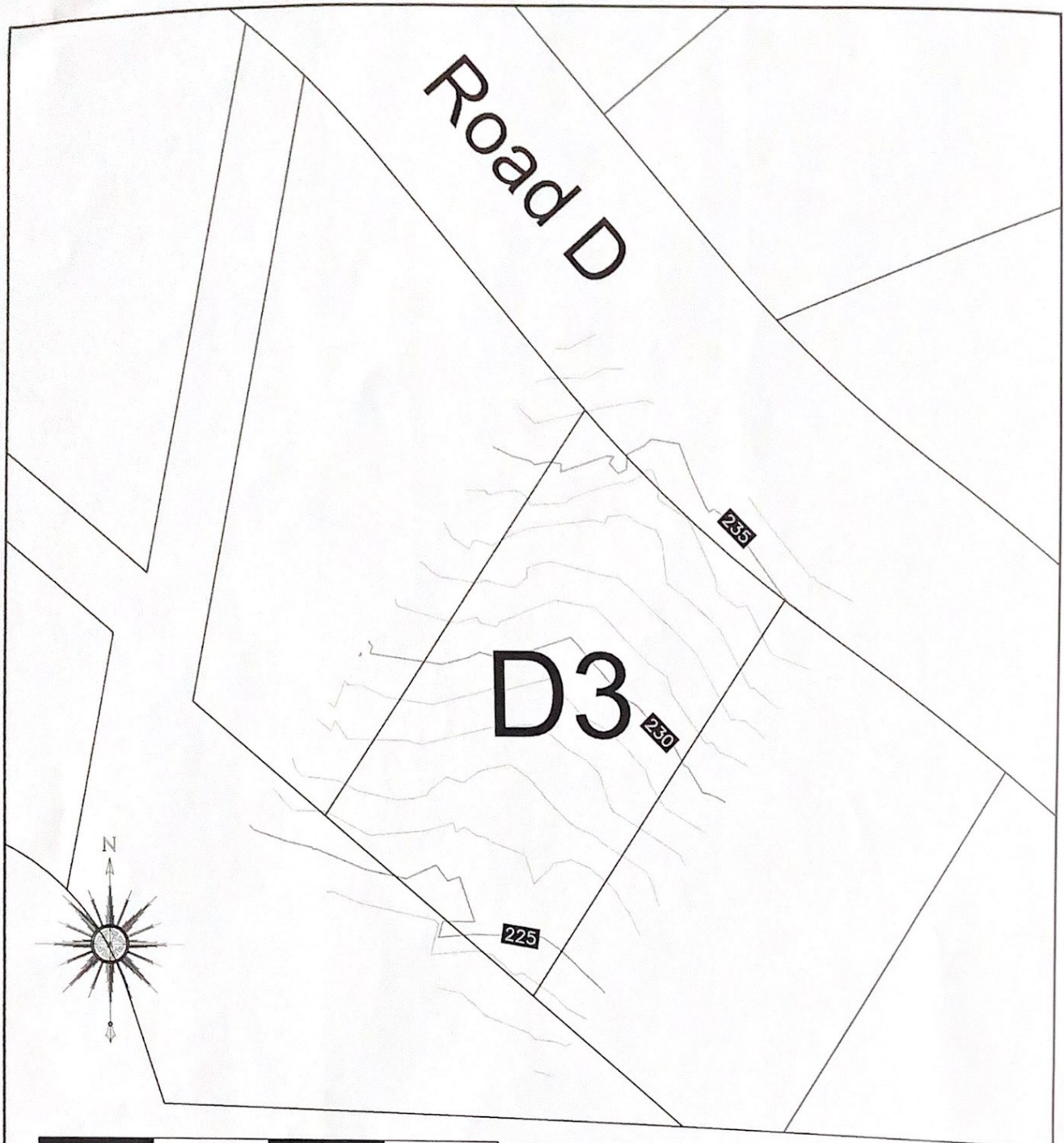
- Evidence confirming the steepness of our lot and the need for a retaining wall we have built
- Challenges without a retaining wall to build our driveway according to Bylaw 832 That portion of *any* lot used as a driveway from the lot line to a required parking area does not exceed the grade of 20%.
- Our landscaping plan shows minimum visual impact of our retaining wall
- We adhered to Sunstone's Design Guidelines
- We adhered to VoP's Hillside Guidelines
- VoP have recognized the Bylaw does not show favour for lots in hillside developments
- Public support for our existing retaining wall

In recognition of the shortened building timeframe in Pemberton, the already five months delay in building our home and the added costs involved to obtain a Development Variance Permit, it is hoped there are no further delays in approving our requested Variance and we can move forward in applying for a Development Variance Permit.

Thanking you in advance for your consideration.

Sincerely,  
David Russell and Stephanie Nicoll-Russell  
7665 Cerulean Drive, Pemberton





Notes

1. Property boundaries are shown approximately and are subject to change in the final subdivision plan.
2. Lidar information is approximate and was generated prior to subdivision servicing construction.
3. Contours are in geodetic meters and are georeferenced.

<b>GILBEY ENGINEERING SERVICES</b> 9674 Pemberton Portage Road P.O. Box 1735, D'Arcy, B.C. V0N 1L0	Client: Sunstone Ridge Developments Ltd
	Project: Sunstone Ridge Development - Phase 1
	Drawing: Lot D3 - Lidar Topography (4Feb18)

telephone: 604-452-3610  
 e-mail: gilbey33@telus.net



## MEMORANDUM

September 18, 2020  
Project No.: K-191219-00

**To:** Dave Russell  
Tree Top Homes

**By Email:** [REDACTED]

**Cc:**

**From:** Evan Sykes, P.Eng.  
Kontur Geotechnical Consultants Inc. [REDACTED]

**Subject** **Field Reviews**  
**Retaining Wall**  
**Lot D3, Sunstone Development, Pemberton, BC**

As requested, Kontur Geotechnical Consultants Inc. (Kontur) completed intermittent field review during construction of a Mechanically Stabilized Earth (MSE) Wall. A proprietary Atlantic Industries Ltd (AIL) wall system was used for construction of the wall. Subgrade preparations for the MSE wall generally consisted of excavation to below design subgrade elevation removing organics and loose soils to expose dense sand with trace to some silt and some gravel. The exposed sand layer was compacted with a heavy vibratory compactor to a very dense state. Design subgrade elevation was achieved with river sand and gravel (25mm minus), compacted with several passes of a heavy vibratory compactor to achieve at least 95% Modified Proctor Maximum Dry Density (Density reports attached). The fill created a slope with an inclination of about 2H: 1V (Horizontal: Vertical) in front of the wall.

The temporary excavation, where required to allow for space for the geogrid was excavated at an inclination of about 3H: 4V (Horizontal: Vertical).

The MSE wall was constructed with Miragrid 10XT Geogrid extending at least 5.5m behind the wall face in the upper two rows and 4.5m for the lower rows. Wall heights at the front of the wall were about 4.5m.

A drainage pipe consisting of 100mm perforated PVC pipe was installed near the back of the geogrid outletting to the side of the wall. The pipe was surrounded by at least 150mm of 19mm clear crushed gravel wrapped in non-woven filter fabric. Backfill for the wall generally consisted of 50mm minus dredged river sand and gravel placed in lifts about 300mm thick compacted to a very dense state with several passes of a heavy vibratory compactor.

The retaining wall was considered to have been constructed in general compliance with Kontur's drawings and recommendations.

Kontur trusts that the information described above meets your current requirements. If you should have any concerns or questions, please do not hesitate to contact the undersigned.



Sincerely,

**Kontur Geotechnical Consultants Inc.**

Per:



Evan Sykes, P.Eng.  
Principal Geotechnical Engineer

Reviewed by:



J.Y. (Yoshi) Tanaka, P.Eng.  
Principal Geotechnical Engineer

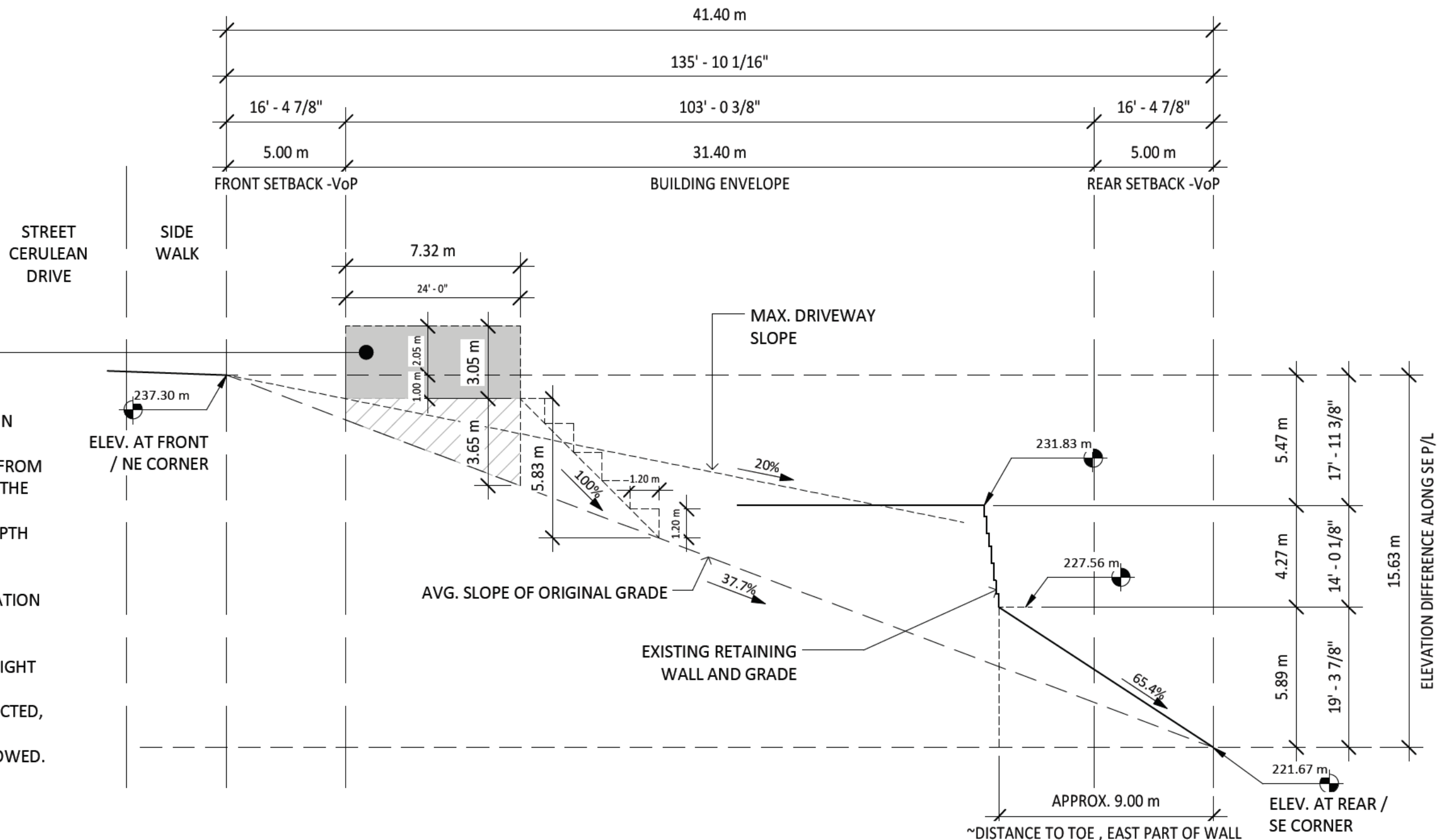
**Attachments:** Photographs  
Sieve Analysis Report  
Field Density Report

**D3 - SITE SECTION ALONG SE P/L**

**CONCEPTUAL MASSING OF *MINOR* BUILDING ON LOT D3  
OUTLINING THE MINIMAL HEIGHT OF RETAINING\***

- MINIMAL DISTANCE TO ROAD (AS PER VoP ZONING) IN ORDER TO MINIMIZE RETAINING
- MAXIMUM DRIVEWAY SLOPE (NO DRAINAGE AWAY FROM GARAGE TAKEN INTO ACCOUNT -THIS WOULD RAISE THE BUILDING)
- MINIMAL DEPTH OF BUILDING (APPROX. GARAGE DEPTH ONLY INCL. WALLS.)
- MINIMUM OF ~3.65 M (12 FT) RETAINING / FOUNDATION WALL VERTICALLY AT END OF GARAGE WOULD BE REQUIRED.
- A WALL AT 1:1 RATIO WOULD INCREASE OVERALL HEIGHT OF RETAINING TO ~5.85 M (~19FT).
- THE FURTHER BACK (SOUTH) RETAINING IS CONSTRUCTED, THE HIGHER IT WILL BECOME AS THE LOT IS SUBSTANTIALLY STEEPER THAN MAX DRIVEWAY ALLOWED.

\*This is a diagram of the grade through the property -this is not depicting a proposed design.



Maya Wassberg  
Principal Designer  
BSc Arch  
KTH/Royal Institute of Technology  
Stockholm, Sweden

604 967 2940  
maya@mwdesignstudio.ca  
www.mwdesignstudio.ca



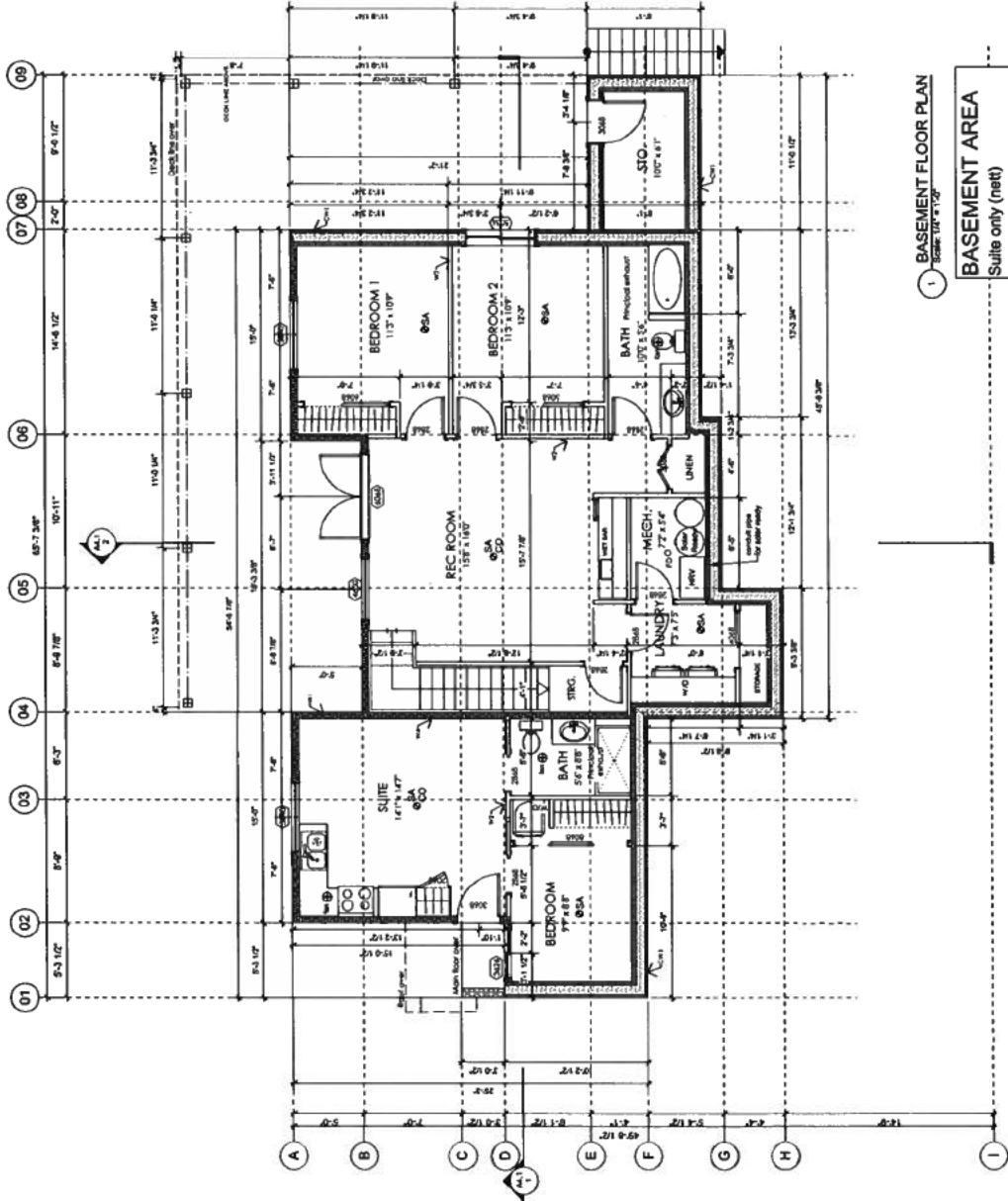






# RUSSELL RESIDENCE

7665 CERULEAN DRIVE, PEMBERTON BC.



**1 BASEMENT FLOOR PLAN**  
 Scale: 1/8" = 1'-0"

**BASEMENT AREA**  
 Suite only (nett)  
 376.6 sq ft  
 Total basement  
 1499.8 sq ft

NOTE: ALL FRAMED WALL DIMENSIONS ARE SHOWN TO FACE OF STUD

NOTE: ALL FRAMED WALL DIMENSIONS ARE SHOWN TO FACE OF STUD

# RUSSELL RESIDENCE

7665 CERULEAN DRIVE, PEMBERTON BC.

**AJIA**  
CANADIAN  
ARCHITECTURAL  
INTEGRATION  
SYSTEMS INC.

1-888-990-AJIA (2542)  
www.ajia.ca  
AJIA CUSTOM PREFAB HOMES

MARK CAMPBELL  
ARCHITECT  
1000 WESTERN AVENUE  
SUITE 100  
V1T 1G4

PROJECT:  
SALVADORE MOUNTAIN RESIDENCE  
1300 GLENVIEW RD  
SALVADORE BC V1T 1G4  
1000 WESTERN AVENUE  
SUITE 100  
V1T 1G4

Upper Floor

DATE: 08/20/20

LOCAL AUTHORITY:

LOCAL DESCRIPTION:

LOCAL ADDRESS:

NO. OF STORES:

NO. OF UNITS:

DESIGNER:

DATE:

PROJECT NO.:

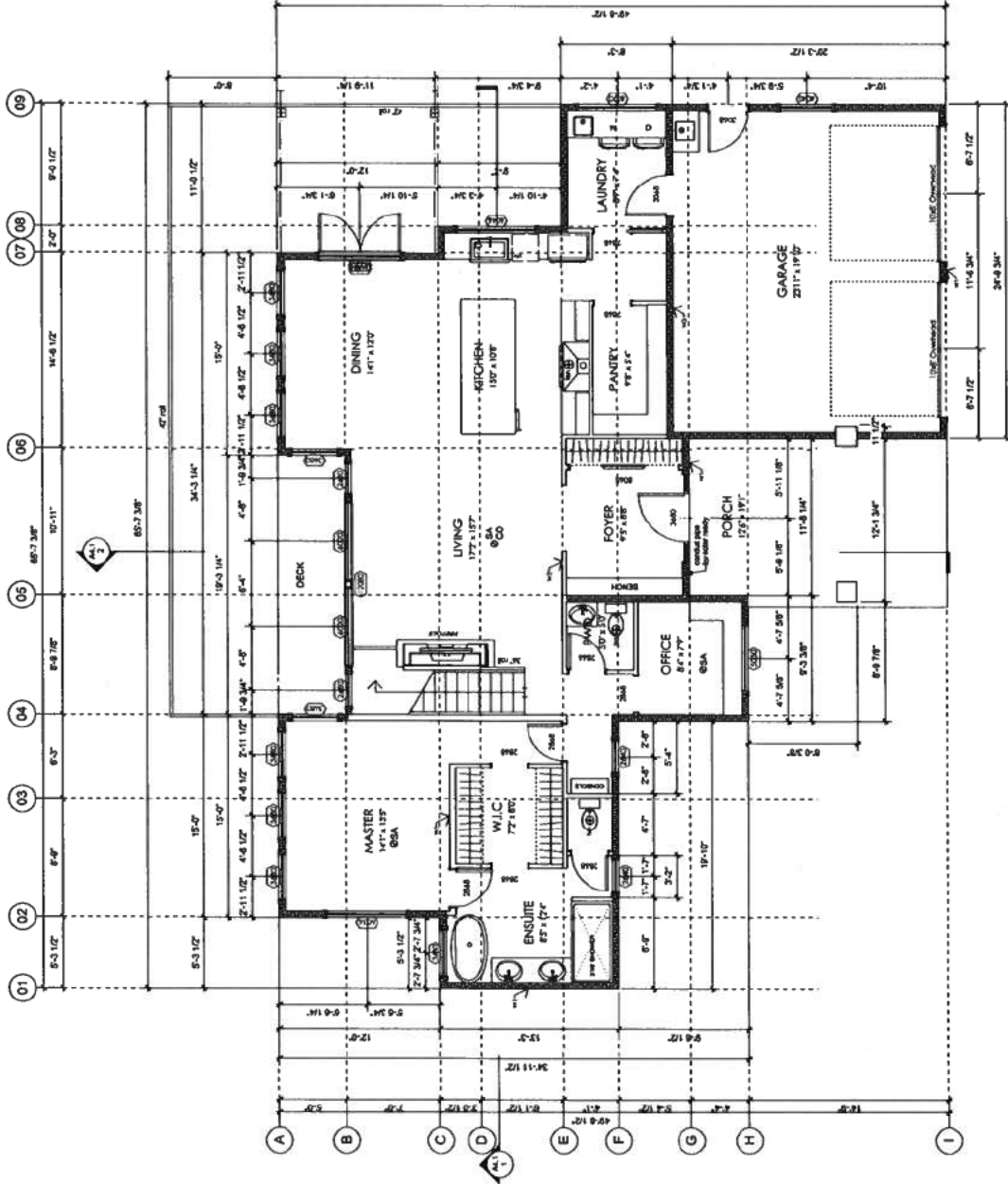
SHEET:

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20-03

DATE: 08/20/20

PROJECT NO.:



1 MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**MAIN FLOOR**  
Includes Stairs & Foyer  
1538.3 sq ft  
GARAGE AREA  
503.5 sq ft  
Total Main Floor  
2041.7 sq ft



NOTE: ALL FRAMED WALL DIMENSIONS ARE SHOWN TO FACE OF STUD

NOTE: ALL FRAMED WALL DIMENSIONS ARE SHOWN TO FACE OF STUD

ALL DIMENSIONS  
UNLESS OTHERWISE  
NOTED ARE TO FACE  
OF STUD

PROJECT:  
ADDRESS:  
CITY:  
PROVINCE:  
DATE:

PROJECT NO.:  
DATE:

LOCAL AUTHORITY:  
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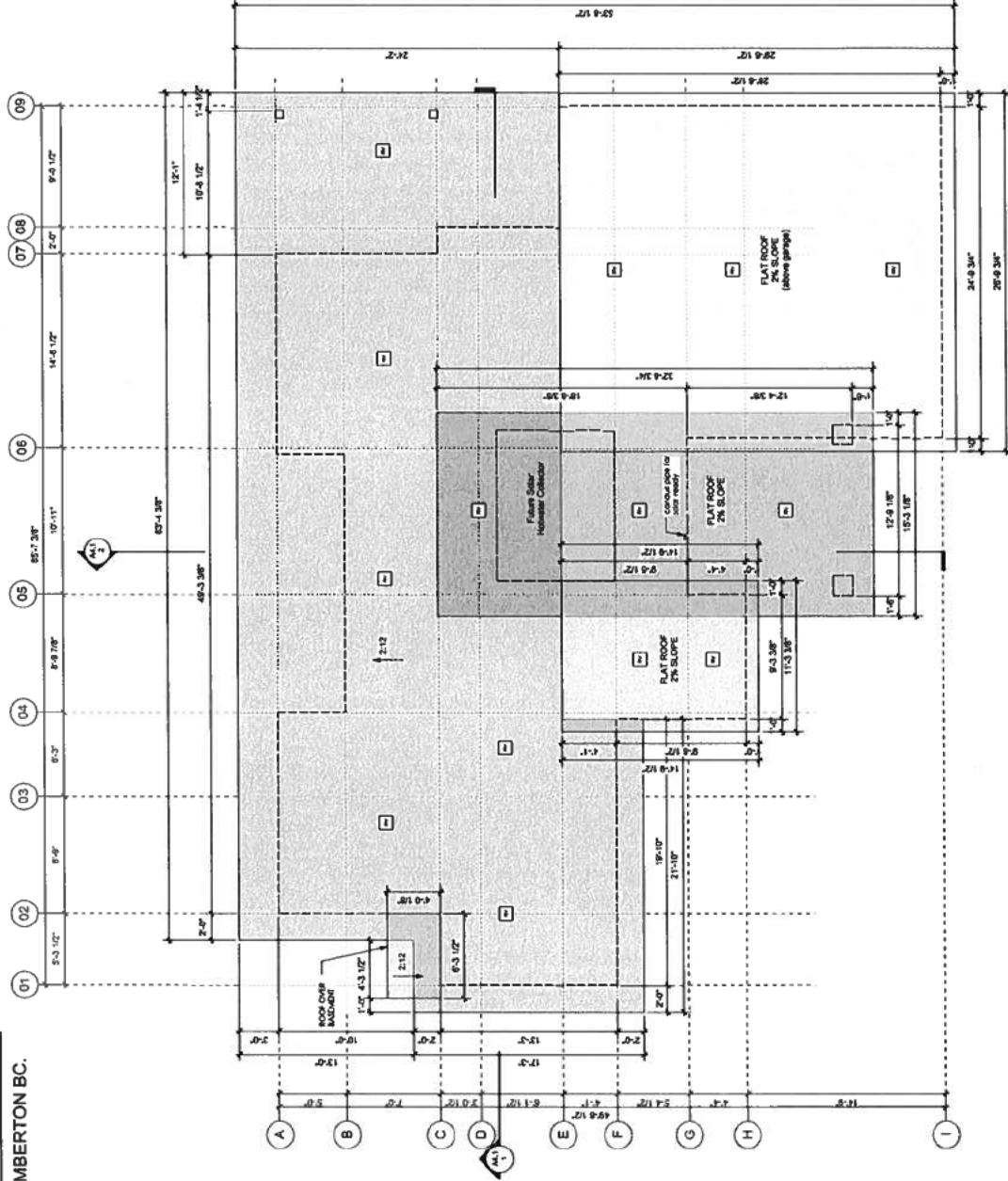
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**RUSSELL RESIDENCE**  
7665 CERULEAN DRIVE, PEMBERTON BC.



1 ROOF PLAN  
Scale: 3/4" = 1'-0"



NOTE: ALL FRAMED WALL DIMENSIONS ARE SHOWN TO FACE OF STUD

NOTE: ALL FRAMED WALL DIMENSIONS ARE SHOWN TO FACE OF STUD

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20-03

Date: 11/25/2019  
Time: 11:02:29 AM

# RUSSELL RESIDENCE

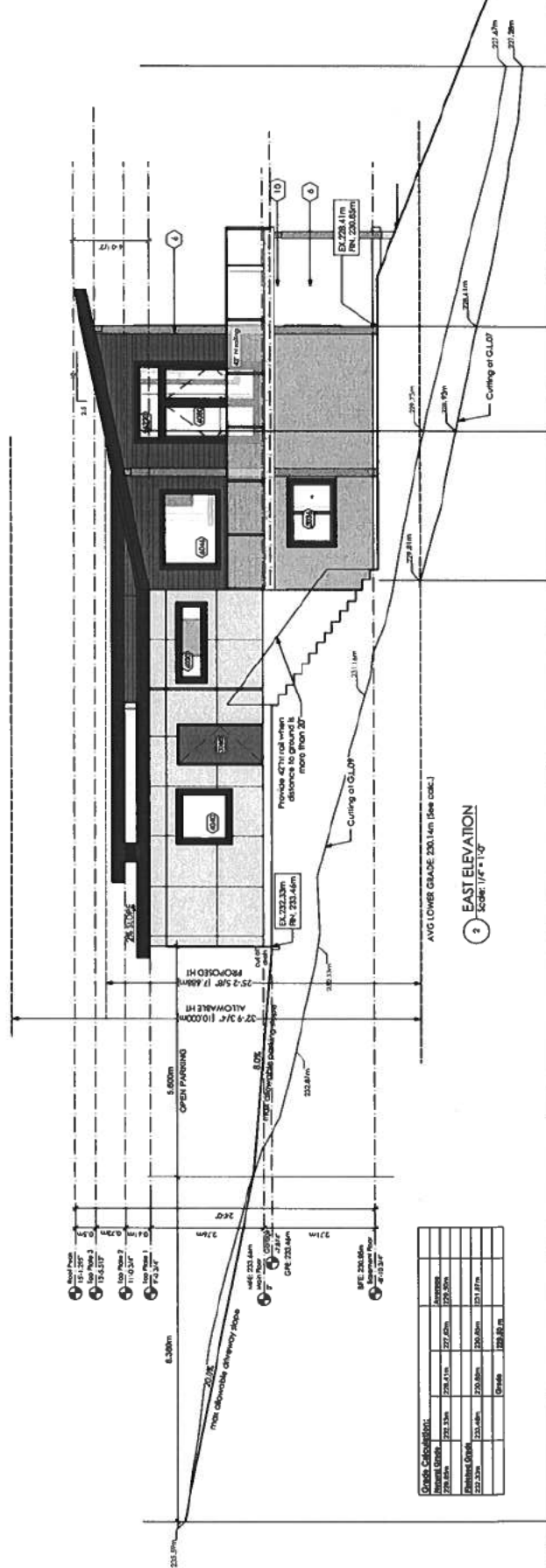
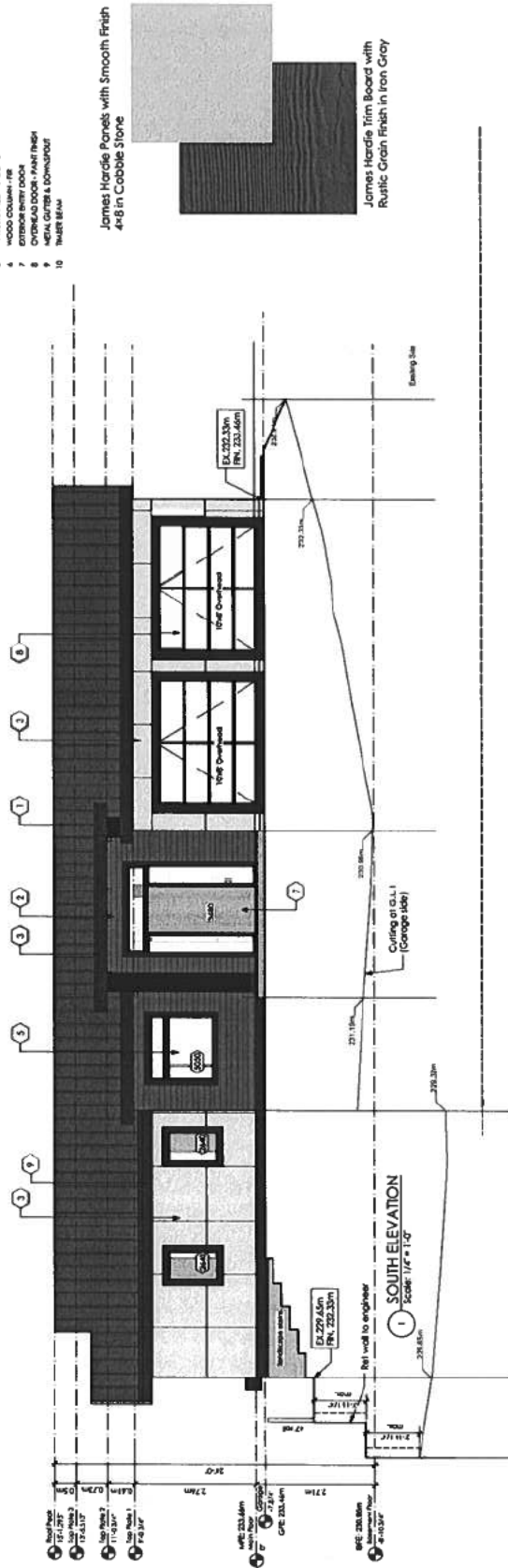
7665 CERULEAN DRIVE, PEMBERTON BC.

## EXTERIOR FINISHES - SEE COLOUR SCHEDULE

1. PREPARED METAL ROOFING
2. METAL ROOFING - POLYURETHANE ON RAISED - 7/16" HIGH
3. WOOD SHAKES - POLYURETHANE - 7/16" HIGH
4. WOOD SHAKES - POLYURETHANE - 7/16" HIGH
5. WOOD SHAKES - POLYURETHANE - 7/16" HIGH
6. WOOD SHAKES - POLYURETHANE - 7/16" HIGH
7. WOOD SHAKES - POLYURETHANE - 7/16" HIGH
8. WOOD SHAKES - POLYURETHANE - 7/16" HIGH
9. WOOD SHAKES - POLYURETHANE - 7/16" HIGH
10. WOOD SHAKES - POLYURETHANE - 7/16" HIGH

James Hardie Panels with Smooth Finish  
4x8 in Cobble Stone

James Hardie Trim Board with  
Rustic Grain Finish in Iron Gray



Grade Calculations:

Station	Grade	Height	Area
Station 1	278.53m	277.45m	175.50m <sup>2</sup>
Station 2	279.41m	277.45m	175.50m <sup>2</sup>
Station 3	279.41m	277.45m	175.50m <sup>2</sup>
Station 4	279.41m	277.45m	175.50m <sup>2</sup>
Station 5	279.41m	277.45m	175.50m <sup>2</sup>
Station 6	279.41m	277.45m	175.50m <sup>2</sup>
Station 7	279.41m	277.45m	175.50m <sup>2</sup>
Station 8	279.41m	277.45m	175.50m <sup>2</sup>
Station 9	279.41m	277.45m	175.50m <sup>2</sup>
Station 10	279.41m	277.45m	175.50m <sup>2</sup>
Station 11	279.41m	277.45m	175.50m <sup>2</sup>
Station 12	279.41m	277.45m	175.50m <sup>2</sup>
Station 13	279.41m	277.45m	175.50m <sup>2</sup>
Station 14	279.41m	277.45m	175.50m <sup>2</sup>
Station 15	279.41m	277.45m	175.50m <sup>2</sup>
Station 16	279.41m	277.45m	175.50m <sup>2</sup>
Station 17	279.41m	277.45m	175.50m <sup>2</sup>
Station 18	279.41m	277.45m	175.50m <sup>2</sup>
Station 19	279.41m	277.45m	175.50m <sup>2</sup>
Station 20	279.41m	277.45m	175.50m <sup>2</sup>
Station 21	279.41m	277.45m	175.50m <sup>2</sup>
Station 22	279.41m	277.45m	175.50m <sup>2</sup>
Station 23	279.41m	277.45m	175.50m <sup>2</sup>
Station 24	279.41m	277.45m	175.50m <sup>2</sup>
Station 25	279.41m	277.45m	175.50m <sup>2</sup>
Station 26	279.41m	277.45m	175.50m <sup>2</sup>
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Station 35	279.41m	277.45m	175.50m <sup>2</sup>
Station 36	279.41m	277.45m	175.50m <sup>2</sup>
Station 37	279.41m	277.45m	175.50m <sup>2</sup>
Station 38	279.41m	277.45m	175.50m <sup>2</sup>
Station 39	279.41m	277.45m	175.50m <sup>2</sup>
Station 40	279.41m	277.45m	175.50m <sup>2</sup>
Station 41	279.41m	277.45m	175.50m <sup>2</sup>
Station 42	279.41m	277.45m	175.50m <sup>2</sup>
Station 43	279.41m	277.45m	175.50m <sup>2</sup>
Station 44	279.41m	277.45m	175.50m <sup>2</sup>
Station 45	279.41m	277.45m	175.50m <sup>2</sup>
Station 46	279.41m	277.45m	175.50m <sup>2</sup>
Station 47	279.41m	277.45m	175.50m <sup>2</sup>
Station 48	279.41m	277.45m	175.50m <sup>2</sup>
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Station 82	279.41m	277.45m	175.50m <sup>2</sup>
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Station 84	279.41m	277.45m	175.50m <sup>2</sup>
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Station 88	279.41m	277.45m	175.50m <sup>2</sup>
Station 89	279.41m	277.45m	175.50m <sup>2</sup>
Station 90	279.41m	277.45m	175.50m <sup>2</sup>
Station 91	279.41m	277.45m	175.50m <sup>2</sup>
Station 92	279.41m	277.45m	175.50m <sup>2</sup>
Station 93	279.41m	277.45m	175.50m <sup>2</sup>
Station 94	279.41m	277.45m	175.50m <sup>2</sup>
Station 95	279.41m	277.45m	175.50m <sup>2</sup>
Station 96	279.41m	277.45m	175.50m <sup>2</sup>
Station 97	279.41m	277.45m	175.50m <sup>2</sup>
Station 98	279.41m	277.45m	175.50m <sup>2</sup>
Station 99	279.41m	277.45m	175.50m <sup>2</sup>
Station 100	279.41m	277.45m	175.50m <sup>2</sup>

2 EAST ELEVATION  
Scale: 1/4" = 1'-0"



# RUSSELL RESIDENCE

7665 CERULEAN DRIVE, PEMBERTON BC.

**AJIA**

ARCHITECTURE  
INTERIOR DESIGN  
CONSTRUCTION

WWW.AJIA.CA  
1-888-990-AJIA (2542)  
AJIA CUSTOM PREFAB HOMES

ALAN CAMPBELL  
BUILDING SYSTEMS INC.  
NORTH VANCOUVER BC  
TEL: 779-2288  
DRINKER  
MCCORMACK  
VANCOUVER BC V1V 0A4  
TEL: 604-273-2288

DATE: 20-03  
DRAWN BY: A4.1  
CHECKED BY: A4.1  
DESIGN: A4.1  
SHEET: A4.1

## Roof & Floors

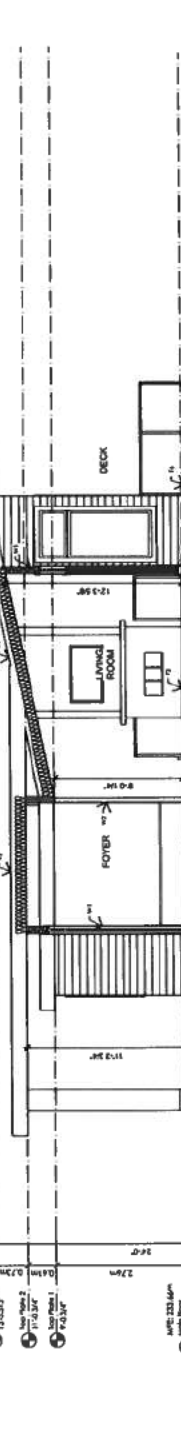
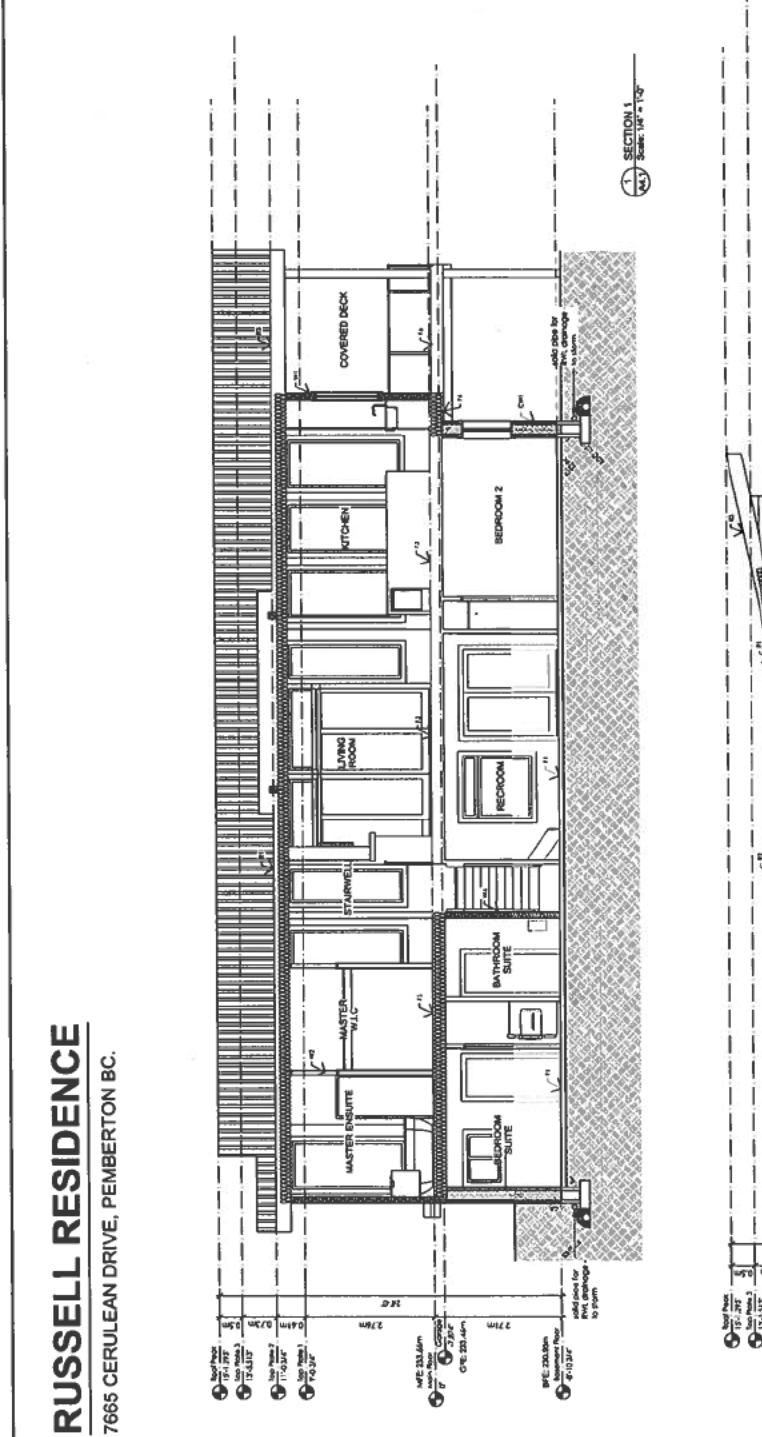
**ROOF**  
 1. ALL ROOFING TO DIMENSIONS SPEC.  
 2. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 3. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 4. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 5. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 6. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 7. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 8. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 9. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.  
 10. ALL ROOFING TO BE INSTALLED OVER 1/2" G.C.

**FLOORS**  
 1. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
 2. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
 3. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
 4. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
 5. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
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 7. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
 8. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
 9. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.  
 10. ALL FLOORING TO BE INSTALLED OVER 1/2" G.C.

**WALLS**  
 1. ALL WALLS TO BE INSTALLED OVER 1/2" G.C.  
 2. ALL WALLS TO BE INSTALLED OVER 1/2" G.C.  
 3. ALL WALLS TO BE INSTALLED OVER 1/2" G.C.  
 4. ALL WALLS TO BE INSTALLED OVER 1/2" G.C.  
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 9. ALL WALLS TO BE INSTALLED OVER 1/2" G.C.  
 10. ALL WALLS TO BE INSTALLED OVER 1/2" G.C.

**CEILING**  
 1. ALL CEILING TO BE INSTALLED OVER 1/2" G.C.  
 2. ALL CEILING TO BE INSTALLED OVER 1/2" G.C.  
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 9. ALL CEILING TO BE INSTALLED OVER 1/2" G.C.  
 10. ALL CEILING TO BE INSTALLED OVER 1/2" G.C.

**SECTIONS**  
 1. SECTION 1: SCALE 1/4" = 1'-0"  
 2. SECTION 2: SCALE 1/4" = 1'-0"



ITEM	DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
1	ROOFING MATERIALS	100	1.50	150.00
2	FLOORING MATERIALS	200	2.00	400.00
3	WALL MATERIALS	300	3.00	900.00
4	CEILING MATERIALS	150	1.50	225.00
5	DOOR MATERIALS	10	100.00	1000.00
6	WINDOW MATERIALS	20	50.00	1000.00
7	STAIR MATERIALS	5	200.00	1000.00
8	MECH MATERIALS	1	1000.00	1000.00
9	DECK MATERIALS	10	100.00	1000.00
10	LABOR	1000	1.00	1000.00
11	PERMITS	1	500.00	500.00
12	INSURANCE	1	100.00	100.00
13	TOTAL			7175.00

### Interior Walls

ITEM	DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
1	INTERIOR WALLS	100	1.50	150.00
2	CEILING MATERIALS	150	1.50	225.00
3	DOOR MATERIALS	10	100.00	1000.00
4	WINDOW MATERIALS	20	50.00	1000.00
5	STAIR MATERIALS	5	200.00	1000.00
6	MECH MATERIALS	1	1000.00	1000.00
7	DECK MATERIALS	10	100.00	1000.00
8	LABOR	1000	1.00	1000.00
9	PERMITS	1	500.00	500.00
10	INSURANCE	1	100.00	100.00
11	TOTAL			7175.00

### Exterior Walls

ITEM	DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
1	EXTERIOR WALLS	100	1.50	150.00
2	CEILING MATERIALS	150	1.50	225.00
3	DOOR MATERIALS	10	100.00	1000.00
4	WINDOW MATERIALS	20	50.00	1000.00
5	STAIR MATERIALS	5	200.00	1000.00
6	MECH MATERIALS	1	1000.00	1000.00
7	DECK MATERIALS	10	100.00	1000.00
8	LABOR	1000	1.00	1000.00
9	PERMITS	1	500.00	500.00
10	INSURANCE	1	100.00	100.00
11	TOTAL			7175.00

NOTE: ALL FRAMED WALL DIMENSIONS ARE SHOWN TO FACE OF STUD



PLANT KEYS/LEGEND

TREES                      SIZE    QUANTITY

★ ABIES FRASERI (Fir)    4m    3

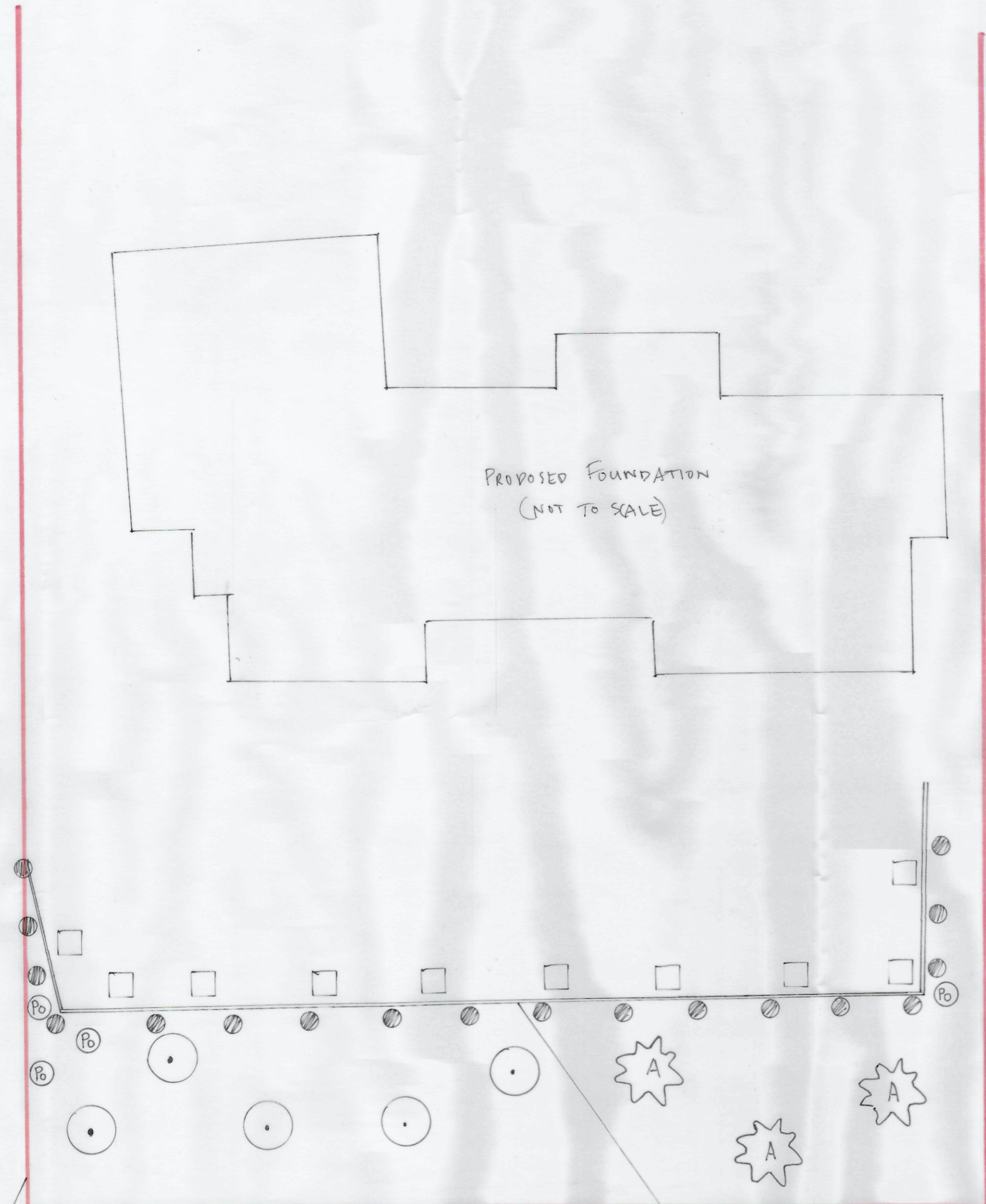
○ PICEA GLAUCA (White Spruce)    2.5m    5

⊙ POPULUS TREMULA (Aspen)    5cm    4

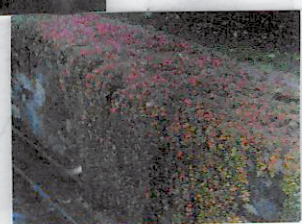
PERENNIALS

□ COTONEASTER    1 gal    10

⊗ PARTHENOISSUS (Virginia Creeper)    1 gal    18



COTONEASTER



(BERRIES)



(FALL)

POPULUS



(SUMMER)



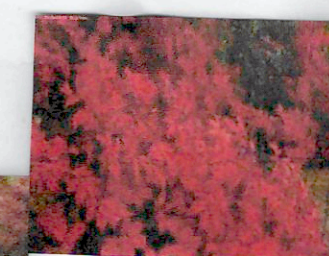
PICEA GLAUCA



ABIES



(SUMMER)



(FALL)

PARTHENOISSUS

PROPERTY BOUNDARY

RETAINING WALL

7665 Cerulean Drive

SCALE: NOT TO SCALE	APPROVED BY:	DRAWN BY Julie
DATE: Oct 11/20		REVISED

Screening of Retaining Wall

Sound Garden Landscape & Design	DRAWING NUMBER 1-01
---------------------------------	---------------------

**TITLE SEARCH PRINT**

2021-01-30, 13:53:54

File Reference: Lisa Ames

Requestor: Reception WREC

Declared Value \$329000

**\*\*CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN\*\***

**Land Title District**

Land Title Office

KAMLOOPS

KAMLOOPS

**Title Number**

From Title Number

CA7398706

CA7260251

**Application Received**

2019-03-18

**Application Entered**

2019-03-20

**Registered Owner in Fee Simple**

Registered Owner/Mailing Address:

DAVID FRANCIS RUSSELL, BUILDER

STEPHANIE ANNE NICOLL-RUSSELL, PROJECT COORDINATOR

P.O. BOX 72

PEMBERTON, BC

VON 2L0

AS JOINT TENANTS

**Taxation Authority**

North Shore - Squamish Valley Assessment Area

Pemberton, Village of

Pemberton Valley Dyking District

**Description of Land**

Parcel Identifier:

030-665-469

Legal Description:

LOT 24 DISTRICT LOT 211 LILLOOET DISTRICT PLAN EPP88381

**Legal Notations**

HERETO IS ANNEXED RESTRICTIVE COVENANT CA1132532 OVER LOT 1

PLAN EPP1353

THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 26 OF THE LOCAL GOVERNMENT ACT, SEE CA4415324

THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 26 OF THE LOCAL GOVERNMENT ACT, SEE CA4415329

HERETO IS ANNEXED EASEMENT CA6987764 OVER PART OF LOTS B EPP74427

HERETO IS ANNEXED RESTRICTIVE COVENANT LB319180 OVER LOT 1  
PLAN EPP1353

**TITLE SEARCH PRINT**

File Reference: Lisa Ames

Declared Value \$329000

2021-01-30, 13:53:54

Requestor: Reception WREC

**Charges, Liens and Interests**

Nature:	COVENANT
Registration Number:	CA6503577
Registration Date and Time:	2017-12-11 18:40
Registered Owner:	VILLAGE OF PEMBERTON
Remarks:	INTER ALIA

Nature:	RESTRICTIVE COVENANT
Registration Number:	CA6503578
Registration Date and Time:	2017-12-11 18:40
Remarks:	INTER ALIA APPURTENANT TO PCL A ( DD W34182F PL A21 ) DL 211 LD

Nature:	EASEMENT
Registration Number:	CA6503589
Registration Date and Time:	2017-12-11 18:40
Remarks:	INTER ALIA APPURTENANT TO LOT 8 EPP72101

Nature:	STATUTORY BUILDING SCHEME
Registration Number:	CA7273860
Registration Date and Time:	2018-12-31 10:16
Remarks:	INTER ALIA

**Duplicate Infeasible Title** NONE OUTSTANDING

**Transfers** NONE

**Pending Applications** NONE

**FIRST AMENDMENT TO DISCLOSURE STATEMENT**

(Amending the Disclosure Statement dated September 14, 2017.)

This First Amendment to Disclosure Statement is dated July 20, 2018.



**SUNSTONE RIDGE DEVELOPMENTS LTD.**

**Address for Service  
and Business Address**

701-1155 Robson Street  
Vancouver, B.C.  
V6E 1B5

**Real Estate Brokerage**

Whistler Real Estate Company Ltd.  
17-4308 Main Street  
Whistler, B.C.  
V0N 1B4

The Developer reserves the right to use its own employees to market the subdivision lots being offered for sale pursuant to this Disclosure Statement. Any employees of the Developer who market the offered subdivision lots on behalf of the Developer may not be licensed under the *Real Estate Services Act* (British Columbia) and are not acting on behalf of the purchasers.

**This Disclosure Statement has been filed with the Superintendent of Real Estate, but neither the Superintendent, nor any other authority of the government of the Province of British Columbia, has determined the merits of any statement contained in the Disclosure Statement, or whether the Disclosure Statement contains a misrepresentation or otherwise fails to comply with the requirements of the *Real Estate Development Marketing Act*. It is the responsibility of the developer to disclose plainly all material facts, without misrepresentation.**

This First Amendment to Disclosure Statement amends the Disclosure Statement dated September 14, 2017 (the "**Disclosure Statement**") with respect to an offering by Sunstone Ridge<sup>2</sup> Developments Ltd. (the "**Developer**") for the sale of certain subdivision lots located in the Village of Pemberton, British Columbia in a development known as "Sunstone Pemberton". All capitalized terms used herein shall have the meanings given to them in the Disclosure Statement, unless expressly defined herein.

The Disclosure Statement is hereby amended as follows:

1. The notice of rescission right under Policy Statement 5 issued by the Superintendent on page ii is deleted in its entirety.
2. The notice of rescission right under Policy Statement 6 issued by the Superintendent on page iii is deleted in its entirety.
3. Exhibit A is deleted from the list of Exhibits after the Table of Contents.
4. Section 1.4 is amended by deleting the names "Amanda Girling, Jeremy Turner and Nyal Wilcox" and replacing them with the names "Jeremy Turner and James Dales".
5. Section 1.5(1) is amended by deleting the table in its entirety and replacing it with the following:

Party	Year(s)	Nature and Extent of Experience (including types of previous development properties)
Sunstone Ridge Developments Ltd.	9	The Developer was created specifically for the purpose of the development of the Parent Property, which includes the Development, and has no prior development experience.
James Dales	36	James Dales is a director of the Developer. He has been in the civil works and contracting industry for approximately 36 years and successfully ran his own company. He has been involved in the planning of the Development.
Jeremy Turner	13	Jeremy Turner is a director of the Developer. He has been involved in the planning of the Development and was recently involved in the development of another residential subdivision project in Pitt Meadows, BC.
Nyal Wilcox	21	Nyal Wilcox is the president of the Developer. As a former commercial real estate lawyer, he worked extensively with various developers on numerous projects. Since leaving the practice of law 12 years ago to go into private business he has overseen a small four lot subdivision in Port Coquitlam, BC, the acquisition of several commercial sites, the development of a senior's residence in Nanaimo, BC, and has been involved in the planning of the Development.

6. Section 2.1 is amended by deleting the first and second paragraphs thereof in their entirety and replacing them with the following:

"The Developer intends that the development known as "Sunstone Pemberton" (the "**Development**") shall form part of a larger residential community (the "**Community**") to be developed over an unknown number of years on several parcels of land located in the Village of Pemberton, British Columbia (the "**Village**") comprising approximately 274 acres (the "**Parent**

**Property**"). The Developer anticipates that the Community will include parks which will be owned and operated by the Village. It is not intended that there will be any arrangements for the sharing of costs or facilities between the Development and the balance of the Community.

The Developer subdivided the Parent Property to create the Lands (as defined in Section 4.1), on which the Development will be constructed. The Development will be comprised of 39 single family residential lots (collectively, the "**Lots**", and individually a "**Lot**"), as shown in Exhibit "A-1".

7. Section 2.3 is amended by deleting the words "Parent Property is" from the first line of the last paragraph thereof and replacing them with "Lands are".
8. Paragraph 3.1(g) is amended by deleting the second sentence thereof in its entirety.
9. Section 4.1 is deleted in its entirety and replaced with the following:

"The Lands are legally described as follows:

PID: 030-329-639  
Lot 3  
District Lot 211  
Lillooet District  
Plan EPP72101

PID: 030-329-647  
Lot 4  
District Lot 211  
Lillooet District  
Plan EPP72101

The Developer anticipates that the Lots, once subdivided from the Lands, will be legally described as follows:

Lots 1-39  
District Lot 211  
Lillooet District  
Plan EPP\_\_\_\_\_."

10. Section 4.2 is deleted in its entirety and replaced with the following: "The Developer is the registered and beneficial owner of the Lands".
11. Section 4.3 is amended by deleting the words "Parent Property is" from the first line of the first paragraph thereof and replacing them with "Lands are".
12. Subparagraph 4.3(a)(v) is deleted in its entirety.
13. Section 4.3(b) is deleted in its entirety and replaced with the following:

"i. Covenant CA2219878

Covenant CA2219878 is a covenant in favour of the Village and the Ministry of Transportation and Infrastructure that requires the Developer to complete certain works, including the construction of a trail, and do certain things before a school is constructed on the portion of the Lands referred to in the agreement as the "School Lands". This covenant is currently registered against the entirety of the Parent Property; however, the intention is that the covenant will ultimately only encumber the "School Lands", which are separate from the Lands. Following the subdivision of the Parent Property and upon the request of the Developer, the Village will discharge this covenant from title to the Lands. This covenant will not encumber titles to the Lots.

ii. Mortgage CA2253671 and Assignments of Rents CA2253672

Mortgage CA2253671 is a mortgage granted by the Developer in favour of HSBC Bank Canada (the "**Lender**") in order to secure financing in respect of the Lands, and Assignment of Rents CA2253672 is an assignment of rents granted by the Developer in favour of the Lender as collateral security to Mortgage CA2253671. The Lender will provide a partial discharge of these encumbrances, insofar as they relate to any particular Lot, within a reasonable amount of time following the completion of the sale of such Lot. Mortgage CA2253671 and Assignment of Rents CA2253672 are hereinafter referred to, together, as the "**Lender's Charges**".

iii. Covenant CA2265131, Modification CA6503563, Priority Agreement CA2265132 and Priority Agreement CA6503564

Covenant CA2265131 is a restrictive covenant granted in favour of the Village which prohibits the Developer from subdividing the Lands until certain works have been completed, including, without limitation, the construction of a community garden, the installation of park amenities to be agreed upon by the Village and the construction of a trail. The Village will discharge this covenant upon the Developer fulfilling its obligations therein. This restrictive covenant is modified by CA6503563.

Priority Agreement's CA2265132 and CA6503564 grant Covenant CA2265131 and Modification CA6503563 priority over the Lender's Charges, respectively.

iv. Restrictive Covenant CA6503578 and Priority Agreement CA6503580

Restrictive Covenant CA6503578 is granted in favour of the British Columbia Railway Company ("**BCRC**") in which the Developer acknowledges that there are railway lands adjacent to or abutting the Lands (the "**Railway Lands**"). The Developer agrees not to use the Lands in any way that would adversely affect the lateral support or the stability of the slope between the Lands and the Railway Lands, nor the existing grades or the drainage patterns on or effecting the Railway Lands. The Developer also agrees not to object to the Railway Lands being used for railway purposes or to any noise or vibration or any other effect associated with such use. The Developer agrees to indemnify and save harmless the BCRC in relation to any of the items listed in this restrictive covenant.

Priority Agreement CA6503580 grants Restrictive Covenant CA6503578 priority over the Lender's Charges.

v. Covenant CA6503577 and Priority Agreement CA6503579

Covenant CA6503577 is granted in favour of the Village in which the Developer acknowledges that the Lands may be subject to and affected by noise and vibration as a result of the use of the Railway Lands. The Developer agrees to indemnify and save harmless the Village from any claims, actions and damage to or loss of property on or about the Lands.

Priority Agreement CA6503579 grants Covenant CA6503577 priority over the Lender's Charges.

vi. Easement CA6503589 and Priority Agreement CA6503590

Easement CA6503589 is a nuisance easement granted in favour of the owner of the lands located adjacent to the Lands (the "**Festival Lands**"). The Developer as grantor is granting such easement and rights to the owner of the Festival Lands in relation to any noise, vibration, dust, lights or other actions or occurrences which may cause a nuisance in relation to any outdoor performance or festival which may be carried out on the Festival Lands. The Developer agrees not to make any claim or take any action against the owner of the Festival Lands in regards to the items listed in such easement.

Priority Agreement CA6503590 grants Easement CA6503589 priority over the Lender's Charges."

14. Section 4.4 is amended by deleting each of paragraphs (c), (d) and (e) therein and replacing each of them with the words "Intentionally Deleted".

15. Section 5.1 is amended by deleting the table in its entirety and replacing it with the following:

<b>"Actual Commencement Date</b>	<b>Estimated Completion Date</b>
July 1, 2017	October 1, 2018 to December 31, 2018"

16. Section 6.1 is deleted in its entirety and replaced by the following:

"The approving officer for the Village issued a Tentative Approval Letter ("**TAL**") for the proposed subdivision to create the Lands on April 7, 2017, which TAL was re-issued by TAL S052 on June 29, 2017. On July 26, 2017 TAL S067, which is subsequent to TAL S052, was issued, TAL S067 was subsequently re-issued on September 15, 2017. TAL S052 and S067 issued on March 20, 2018 replaced the previous TAL's S052 and S067, which were then re-issued on June 20, 2018. This satisfies the Developer's obligations under Policy Statement 5 issued by the Superintendent."

17. Section 6.2 is deleted in its entirety and replaced by the following:

"The Developer has sufficient financing available from a third party lender and its own resources to constitute a "satisfactory financing commitment" for the construction of the Development (as defined in Policy Statement 6 issued by the Superintendent) but retains the right to elect to obtain additional third party financing in the future, which financing and the security therefor the Developer will cause to be discharged from title to any particular Lot conveyed to a purchaser within a reasonable time after receipt of the net sale proceeds from the purchaser of such Lot."

18. Exhibit A is deleted in its entirety.



**STATEMENT RE: DEEMED RELIANCE**

Section 22 of the *Real Estate Development Marketing Act* provides that every purchaser who is entitled to receive this Disclosure Statement is deemed to have relied on any false or misleading statement of a material fact contained in this Disclosure Statement, if any, and any omission to state a material fact. The developer, its directors and any person who has signed or authorized the filing of this Disclosure Statement are liable to compensate the purchaser for any misrepresentation, subject to any defences available under section 22 of the Act.

**DEVELOPER'S DECLARATION**

The foregoing statements disclose, without misrepresentation, all material facts relating to the Development referred to above, as required by the *Real Estate Development Marketing Act* of British Columbia, as of July 20, 2018.

**SUNSTONE RIDGE DEVELOPMENTS LTD.**

by its authorized signatory:

Per:   
Authorized Signatory

**The Directors of Sunstone Ridge Developments Ltd. in their personal capacity:**

  
JAMES DALES

  
JEREMY JURNER