7360 CRABAPPLE COURT

PEMBERTON, BC

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REVISIONS

ISSUE FOR DEVELOPMENT PERMIT	FEB 13, 2020
RE-ISSUE FOR DEVELOPMENT PERMIT	AUG 5, 2020
ISSUE FOR BUILDING PERMIT	NOV 23, 2020

MOUNTAIN SIDE

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

DRAWING

COVER SHEET

SCALE
NTS

DATE
NOV. 23, 2020

SHEET
A0.00

PROJECT DATA

DEVELOPMENT DATA	MIN. REQUIRED / MAX. ALLOWED	PROPOSED
CIVIC ADDRESS		
7360 CRABAPPLE COURT		
PEMBERTON, BC		
LEGAL DESCRIPTION		
L 5 DL 203 LILOOET PL KAP72731		
LOT AREA		0.190 Ha
LOT AREA (Ha.)	-	0.455 Ha
LOT AREA (SQM)	900 SQM (MIN)	(48,972 SQM)
SITE COVERAGE		
SITE COVERAGE	50.0%	41.9%
SETBACKS		
FRONT (ARBUTUS STREET)	4.5 M	4.5 M
REAR (ARN CANAL)	3.0 M	3.0 M
SIDE #1 (1219)	3.0 M	3.0 M
SIDE #2 (1209)	3.0 M	3.0 M
BUILDING HEIGHT		
BUILDING 1	10.5 M	3 STOREYS (10.4 M)*
BUILDING 2	10.5 M	3 STOREYS (10.4 M)*
BUILDING 3	10.5 M	3 STOREYS (10.4 M)*
BUILDING 4	10.5 M	3 STOREYS (10.4 M)*
SERVICE BUILDING	4.6 M	1 STOREY (3.8 M)*
		* REFER TO ELEVATIONS
NUMBER OF RESIDENTIAL UNITS		
ONE-BEDROOM UNITS	-	0
TWO-BEDROOM UNITS	-	5
TWO-BEDROOM & DEN UNITS	-	3
THREE-BEDROOM UNITS	-	21
FOUR-BEDROOM UNITS	-	1
TOTAL NUMBER OF UNITS	-	30
TOTAL BUILDING FLOOR AREA		
RESIDENTIAL (ABOVE GRADE)	-	39,771 SF
TOTAL RESIDENTIAL	-	39,771 SF
DENSITY		
FLOOR SPACE RATIO (FSR) ABOVE GRADE	1.50	0.81
AMENITY SPACE		
PRIVATE OURDOOR SPACE AREA	-	26.5 - 84 SQM PER UNIT
COMMON OURDOOR SPACE AREA	-	54 SQM
PARKING		
RESIDENT SPACES		
GARAGE (2 PER UNIT)	60	60
TOTAL RESIDENT SPACES	60	**60**
VISITOR SPACES		
ACCESSIBLE (2 PER 40 STALLS PROVIDED)	2	2
SMALL CAR (Max. 30%)	2	2
STANDARD		4
TOTAL VISITOR SPACES	8	**7***
	* REQUIRED VISITOR PARKING COUNT REDUCED BY 1	
TOTAL REQUIRED SPACES	**68**	**67**
BICYCLE SPACES	20%	24%
VISITOR SPACES	13.6	**16**

BUILDING CODE ANALYSIS

BRITISH COLUMBIA BUILDING CODE 2018 OCCUPANCY CLASSIFICATION

ALL BUILDINGS 3 STOREY COMBUSTIBLE CONSTRUCTION
BUILDING 1 - PART 3, 3.2.2.52, FACING ONE STREET MAX AREA 800 m2
BUILDING 2 - PART 9 ,
BUILDING 3 - PART 9
BUILDING 4 - PART 3, 3.2.2.52, FACING ONE STREET MAX AREA 800 m2

SPRINKLER PROTECTION ALL BUILDINGS
NFPA 13D MODIFIED FOR NFPA13R SPRINKLER HEAD PLACEMENT
ZONED BY SUITE, ULC CERTIFIED MONITORED FIRE ALARM & EXTERIOR SUITE STROBES

FIRE RATING AND SEPARATIONS ALL BUILDINGS
1 HOUR F.R.R.S. VERTICAL PARTY WALL TO UNDERSIDE OF ROOF SUITE TO SUITE
1 HOUR F.R.R.S. WALLS AND CEILING GARAGE TO SUITE & ENTRY
1 HOUR F.R.R.S. HORIZONTAL 3RD FLOOR SUITE OVERLAPS
45 MINUTE F.R.R. HORIZONTAL 3RD FLOOR WITHIN SUITES
45 MINUTE F.R.R. HORIZONTAL 2ND FLOOR WITHIN SUITES (NOT OVER GARAGE)

LIMITING DISTANCE CALCULATIONS SHOWN ON SITE PLAN AND ELEVATIONS

ALTERNATIVE SOLUTIONS (SEE CODE REPORT FOR DETAILS; MITIGATION FEATURES LISTED BELOW)
OVERLAPPING RESIDENTIAL UNITS
Where a residential unit overlaps another residential unit the floor assembly will be constructed with a fire-resistance rating of at least 1 h and an STC rating of at least 50. All loadbearing assemblies supporting the 1 h floor assemblies will be constructed as assemblies having a fire-resistance rating of at least 1 h.

EGRESS FROM DWELLING UNITS
Building 4 will be sprinklered with an enhanced NPFA 13D sprinkler system. (See code report and sprinkler drawings for details)
Please note: all buildings will be provided with a similar system

RESIDENTIAL FIRE SEPARATIONS
Buildings 1 & 4 will be sprinklered with enhanced NPFA 13D sprinkler systems. (See code report and sprinkler drawings for details)
Please note: all buildings will be provided with a similar system

CONSULTANT LIST

OWNER: COOMBS DEVELOPMENT (7360 CRABAPPLE CRT.) CORP.
203 - 8475 ONTARIO STREET
VANCOUVER, BC
V5X 3E8 PH: 604 220 4429
CONTACT: GREG COOMBS
EMAIL: GREG@COOMBSDEVCORP.COM

ARCHITECT: FORMWERKS ARCHITECTURAL INC.
1625 WEST 5TH AVENUE
VANCOUVER, BC
V6J 1N5 PH: 604.683.5441
CONTACT: ANDREW COOK
EMAIL: ANDREW@FORMWERKS.CA

LANDSCAPE: KSALIN LAND PLANNING
10-1020 MILLAR CREEK ROAD
WHISTLER , BC
V0N 1B0 PH: 604.967.2907
CONTACT: KRISTINA SALIN
EMAIL: KRISTINA@ANKALANDARCH.COM

CIVIL: APLIN MARTIN CONSULTANTS LTD.
201-12448 82 AVE
SURREY, BC
V3W 3E9 PH: 647.459.5423
CONTACT: CHESLEY BLAHUT
EMAIL: CBLAHUT@APLINMARTIN.COM

GEOTECHNICAL: BRAUN GEOTECHNICAL
102 - 19049 95A AVENUE
SURREY, BC
V4N 4P3 PH: 778.938.5996
CONTACT: SONNY SINGHA
EMAIL: SONNY@BRAUNGEO.COM

SURVEYORS BENNET LAND SURVEYING
40219 Kintyre Drive, PO Box 2445,
Garibaldi Highlands, BC
V0N 1T0 PH: 604.230.1880
CONTACT: JOHN M. FRANKO
EMAIL: JOHN@BENNETTSURVEYS.COM

CODE CONS: PONTEM GROUP
18TH FLOOR, 450 S.W. MARINE DRIVE
VANCOUVER, BC
V5X OC3 PH: 604.202.8167
CONTACT: JUSTIN LAU
EMAIL: JLAU@PONTEMGRP.COM

SPRINKLER: FAST AUTOMATIC SPRINKLER TECH. INC.
20193 - 43A AVE.
LANGLEY, BC
V3A 4V4 PH: 604.534-9426
CONTACT: PETER SHIRES
EMAIL: fast11@shaw.ca

STRUCTURAL: WICKE HERFST MAVER
2227 DOUGLAS ROAD
BURNABY, BC
V5C 5A9 PH: 604.484.2859
CONTACT: DAVE KURNIAWAN
EMAIL: DKURNIAWAN@WHMENGINEERS.COM

MECHANICAL: FLUID MECHANICAL ENGINEERING LTD.
2401-1188 QUEBEC STREET
VANCOUVER, BC
V6A 4B3 PH: 778.837.3834
CONTACT: ALAN HUGHES
EMAIL: AHUGHES@FLUIDMECH.CA

ELECTRICAL: NEMETZ (S/A) & ASSOCIATES LTD.
204 WEST 4TH AVENUE
VANCOUVER, BC
V6J 1N3 PH: 604.736.6562 EXT. 327
CONTACT: PETER TOLENTINO
EMAIL: PETER@NEMETZ.COM

ENVELOPE: LEVEL 5 CONSULTING LTD.
871 BROOKSBANK AVENUE
NORTH VANCOUVER , BC
V7L 4H4 PH: 604.929.9693
CONTACT: BRENDA SHAW
EMAIL: BRENDA@LEVEL5CONSULTING.CA

ENERGY CONS: CAPTURE-ENERGY
8070 HUDSON STREET
VANCOUVER , BC
V6P 4M1 PH: 778.835.8807
CONTACT: BARB SILVERTHORN
EMAIL: BAR@CAPTURE-ENERGY.CA

SNOW MANG: SNOW MANAGEMENT SYSTEMS LTD.
P.O. Box 1581
WHISTLER , BC
V0N 1B0 PH: 250.851.5211
CONTACT: DOUG ANDREW
EMAIL: ANDREW@FORMWERKS.CA

INTERIOR DES: I3 DESIGN
2ND FLOOR - 4723 HASTINGS STREET
BURNABY, BC
V5C 2K8 PH: 604.662.8008 EXT. 107
CONTACT: KATE LEE
EMAIL: KLEE@I3DESIGN.CA

CONTEXT PLAN

AREA CALCULATIONS

UNIT AREA TOTALS

UNIT TYPE	TYPE	QUANTITY	UNIT FLOOR AREA (GROSS)	UNIT FLOOR AREA (NET)	TOTAL FLOOR AREA (GROSS)	TOTAL FLOOR AREA (NET)
A1	3 BEDROOM	1	1,695.8 SF	1,213.6 SF	1,696 SF	1,214 SF
A1E	3 BEDROOM	1	1,778.4 SF	1,284.6 SF	1,778 SF	1,285 SF
A2	3 BEDROOM	2	1,687.7 SF	1,193.9 SF	3,375 SF	2,388 SF
A3	2 BEDROOM	3	1,641.4 SF	1,151.1 SF	4,924 SF	3,453 SF
B1	3 BEDROOM	5	1,936.1 SF	1,370.0 SF	9,681 SF	6,850 SF
B2	3 BEDROOM	9	1,927.9 SF	1,375.5 SF	17,351 SF	12,380 SF
B3	2 BEDROOM + DEN	3	1,936.0 SF	1,370.0 SF	5,808 SF	4,110 SF
B2E	3 BEDROOM	1	2,045.2 SF	1,438.7 SF	2,045 SF	1,439 SF
B1E	4 BEDROOM	1	2,277.9 SF	1,583.8 SF	2,278 SF	1,584 SF
BLE	3 BEDROOM	1	1,976.8 SF	1,413.0 SF	1,977 SF	1,413 SF
BRE	3 BEDROOM	1	1,971.2 SF	1,391.5 SF	1,971 SF	1,392 SF
C	2 BEDROOM	2	1,747.2 SF	1,240.7 SF	3,494 SF	2,481 SF
TOTAL		30		**TOTAL AREA:**	**56,379 SQM**	**39,987 SQM**

BUILDING AREA TOTALS

UNIT TYPE	LEVEL 1 FLOOR AREA (GROSS)	LEVEL 1 FLOOR AREA (NET)	LEVEL 2 FLOOR AREA (GROSS)	LEVEL 2 FLOOR AREA (NET)	LEVEL 3 FLOOR AREA (GROSS)	LEVEL 3 FLOOR AREA (NET)	TOTAL FLOOR AREA (GROSS)	TOTAL FLOOR AREA (NET)
BUILDING 1	6,903.0 SF	1,028.7 SF	6,408.0 SF	6,408.0 SF	6,492.3 SF	6,492.3 SF	19,803 SF	13,929 SF
BUILDING 2	2,352.0 SF	371.4 SF	2,422.0 SF*	2,422.0 SF*	2,395.6 SF	2,395.6 SF	7,170 SF	5,189 SF
BUILDING 3	2,820.5 SF	336.4 SF	2,714.7 SF	2,714.7 SF	2,790.2 SF	2,790.2 SF	8,325 SF	5,841 SF
BUILDING 4	7,332.0 SF	1,156.2 SF	6,879.1 SF	6,879.1 SF	7,162.0 SF	7,162.0 SF	21,373 SF	15,197 SF
SERVICE BUILDING	208.0 SF	208.0 SF					208 SF	208 SF
TOTAL				214 SF ELECTRICAL ROOM*		**TOTAL AREA:**	**56,879 SF**	**40,365 SF**

DRAWING LIST

COVER SHEET	A0.00
DATA SHEET	A0.01
GENERAL NOTES	A0.02
SITE PLAN	A1.00
PARKING PLAN	A1.01
FIRE ACCESS PLAN	A1.02
GROUND LEVEL PLAN	A1.03
LEVEL 1 PLAN	A1.04
LEVEL 2 PLAN	A1.05
LEVEL 3 PLAN	A1.06
LEVEL 4 PLAN	A1.07
SITE SECTIONS	A1.08
BUILDING SECTIONS	A1.09
BUILDING SECTIONS	A1.10
COLOUR SCHEME KEY PLAN	A1.11
COLOUR SCHEME A ELEVATIONS	A1.12
COLOUR SCHEME B ELEVATIONS	A1.13
BUILDING 1 PLANS L1-L2	A2.00
BUILDING 1 PLANS L3-ROOF	A2.01
BUILDING 1 ELEVATIONS	A2.02
BUILDING 2 PLANS L1-L2	A2.03
BUILDING 2 PLANS L3-ROOF	A2.04
BUILDING 2 ELEVATIONS	A2.05
BUILDING 3 PLANS L1-L2	A2.06
BUILDING 3 PLANS L3-ROOF	A2.07
BUILDING 3 ELEVATIONS	A2.08
BUILDING 4 PLANS L1-L2	A2.09
BUILDING 4 PLANS L3-ROOF	A2.10
BUILDING 4 ELEVATIONS	A2.11

CONTINUED

UNIT TYPE A1 PLANS	A3.00
UNIT TYPE A1E PLANS	A3.01
UNIT TYPE A2 PLANS	A3.02
UNIT TYPE A3 PLANS	A3.03
UNIT TYPE B1 PLANS	A3.04
UNIT TYPE B2 PLANS	A3.05
UNIT TYPE B3 PLANS	A3.06
UNIT TYPE B2E PLANS	A3.07
UNIT TYPE B1E PLANS	A3.08
UNIT TYPE BLE PLANS	A3.09
UNIT TYPE BRE PLANS	A3.10
UNIT TYPE C1 PLANS	A3.11
UNIT SECTIONS	A4.00
UNIT SECTIONS	A4.01
ENTRY MONUMENT	A5.00
SITE MONUMENT	A5.01
SERVICE BUILDING PLANS	A5.02
SERVICE BUILDING ELEVATIONS	A5.03
SCHEDULES	A6.00
ASSEMBLIES	A6.01
ASSEMBLIES	A6.02
ARCHITECTURAL DETAILS	A7.00
ARCHITECTURAL DETAILS	A7.01
ARCHITECTURAL DETAILS	A7.02
ARCHITECTURAL DETAILS	A7.03
BUILDING ENVELOPE DETAILS	A8.00
BUILDING ENVELOPE DETAILS	A8.01
BUILDING ENVELOPE DETAILS	A8.02
BUILDING ENVELOPE DETAILS	A8.03

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

DRAWING

DATA SHEET

SCALE NTS

DATE NOV. 23, 2020

SHEET A0.01

1. GENERAL NOTES

1.1 THE CONTRACTOR SHALL EXERCISE PROPER PRECAUTION TO VERIFY DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYOUT OF WORK AND BE RESPONSIBLE FOR ANY ERROR RESULTING FROM HIS FAILURE TO EXERCISE SUCH PRECAUTION.

1.2 DO NOT SCALE DRAWINGS. LARGER SCALE DRAWINGS TAKE PRECENDENCE OVER SMALLER DRAWINGS.

1.3 MAINTAIN AT ALL TIMES ON SITE, FOR REFERENCE, APPROVED BUILDING PERMIT DRAWINGS, POSTING CARDS, COPIES OF ALL REPORTS FROM CITY INSPECTIONS, ADDENDA, CLARIFICATION DRAWINGS OR INTERIM REPORTS. DO NOT DAMAGE OR MARK APPROVED BUILDING PERMIT DRAWINGS. MAINTAIN ADDITIONAL SETS OF DRAWINGS FOR NOTATION ON SITE, INDICATING ALL CHANGES FROM THE APPROVED BUILDING PERMIT SET, FOR USE BY CONSULTANTS IN PREPARATION FOR RECORD DRAWINGS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

1.4 ALL DEVIATIONS FROM THESE DRAWINGS TO BE APPROVED BY ARCHITECT. THE CONTRACTOR IS TO KEEP A WRITTEN RECORD OF ALL CHANGES. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY PROPOSED CHANGES IN THE WORK, AND DO NOT PROCEED WITH CHANGES UNTIL APPROVED. ON COMPLETION OF WORK, RETURN APPROVED PERMIT DRAWINGS TOGETHER WITH MARKED-UP SITE SET TO THE ARCHITECT, CLEARLY NOTING ANY INFORMATION TO FULLY BUILDING AS BUILT.

1.5 ALL MATERIALS SHALL BE NEW AND OF QUALITY AND GRADE SPECIFIED. NO SECONDS, OFF GRADES OR MATERIALS NOT MEETING TOLERANCE SPECIFICATIONS WILL BE ACCEPTED IN THE FINISHED WORK.

1.6 ALL WORK PERFORMED IN THIS PROJECT IS TO BE IN STRICT ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE. THE CONDITIONS OF THE BUILDING PERMIT CAN NOT BE CHANGED WITHOUT WRITTEN APPROVAL FROM THE AUTHORITY HAVING JURISDICTION. ALL WORK IS TO CONFORM TO, OR EXCEED, THE MINIMUM STANDARDS OF THE CANADIAN ASSOCIATIONS, LOCAL MUNICIPAL BUILDING BY-LAWS, THE WORKER'S COMPENSATION BOARD AND MANUFACTURER'S MATERIAL SUPPLIED FOR THE PROJECT, AS APPLICABLE. IT IS INCUMBENT ON THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE BUILDING CODE.

1.7 THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 BRITISH COLUMBIA BUILDING CODE.

1.8 INTERIOR DIMENSIONS ARE TAKEN TO THE FACE OF STUDS. EXTERIOR DIMENSIONS ARE TAKEN TO THE FACE OF EXTERIOR SHEATHING. DIMENSIONS OF CONCRETE OR MASONRY COMPONENTS ARE TAKEN TO THE FACE OF CONCRETE OR MASONRY,

1.9 SPECIFICATIONS ISSUED FOR ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL ARE TO BE TAKEN IN CONJUNCTION WITH, AND FORM AN INTEGRAL PART OF, THE CONTRACT DOCUMENTS.

1.10 SHOP DRAWINGS, COMPLETE WITH ASSURANCE OF DESIGN AND COMMITMENT FOR FIELD REVIEW LETTERS OF ASSURANCE, FOR ALL PRE-MANUFACTURED BUILDING COMPONENTS, AND AS NOTED IN THE DRAWINGS, TO BE PREPARED BY AN ENGINEER REGISTERED IN THE PROVINCE OF B.C. AND SUBMITTED TO THE APPROPRIATE ENGINEER, THE ARCHITECT AND THE CERTIFIED PROFESSIONAL PRIOR TO MANUFACTURE. FOLLOW UP FIELD REVIEW BY THE SIGNING PROFESSIONAL IS MANDATORY, WITH LETTERS AND/OR FILED REPORTS TO CONFIRM.

1.11 SHOP DRAWINGS AND SPECIFICATIONS, COMPLETE WITH ASSURANCE OF DESIGN AND COMMITMENT FOR FIELD REVIEW LETTERS OF ASSURANCE, ARE TO BE PROVIDED FOR ALL GUARDRAILS AND ANCHORS, AND ARE TO BE SUBMITTED TO THE STRUCTURAL ENGINEER, THE ARCHITECT AND THE CERTIFIED PROFESSIONAL FOR REVIEW AND APPROVAL PRIOR TO RECORD SET SUBMISSION.

1.12 SECONDARY BUILDING COMPONENTS INCLUDING ARCHITECTURAL, MECHANICAL AND SEMI-STRUCTURAL MEMBERS AND THEIR CONNECTION TO THE STRUCTURE SHALL BE DESIGNED AND INSPECTED IN THE FIELD FOR THE SUPPLIER BY A SPECIALTY STRUCTURAL ENGINEER REGISTERED TO PRACTICE IN B.C., WHO SHALL SUBMIT ASSURANCE OF DESIGN AND COMMITMENT FOR FIELD REVIEW LETTERS OF ASSURANCE.

2. SITE WORK

2.1 FOR SITE AND LANDSCAPE INFORMATION AND DETAILS, THE CONTRACTOR SHALL REFER ALSO TO THE DRAWINGS AND SPECIFICATIONS PREPARED BY THE GEOTECHNICAL ENGINEER, ELECTRICAL ENGINEER, MECHANICAL ENGINEER AND THE LANDSCAPE ARCHITECT.

2.2 SIDEWALKS, STREET LIGHTING. TREES AND ROADWAYS TO BE REPAIRED BY THE CONTRACTOR TO THE STANDARDS AND SATISFACTION OF THE MUNICIPALITY HAVING JURISDICTION.

3. CONCRETE

3.1 ALL VERTICAL CONCRETE CORNERS TO BE CHAMFERED 3/4" UNLESS OTHERWISE NOTED FOR LARGER CHAMFER.

3.2 ALL EXPOSED CONCRETE TO BE ARCHITECTURAL FINISH - SEE STRUCTURAL NOTES FOR NOTES ON STRIPPING. ALL ARCHITECTURAL CONCRETE FORMWORK TO BE PAPER FACED PLYWOOD. JOINTS IN FORMWORK TO BE SEALED TO PREVENT OUTFLOW OF CONCRETE WATER. TIES TO BE REMOVABLE CONE. TIE PATTERN TO BE APPROVED BY ARCHITECT.

3.3 ANY CHANGES IN CONCRETE GRADES WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER, LANDSCAPE ARCHITECT AND ARCHITECT ARE TO BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT.

3.4 CONTRACTOR SHALL REVIEW DRAWINGS FOR EXTENT OF EXPOSED ARCHITECTURAL FINISH CONCRETE AND SHALL ENSURE THAT THE APPROPRIATE SUBCONTRACTORS ARE AWARE OF THE REQUIRED LEVEL OF FINISH.

.3.5 VERTICAL NOTCHES AND/OR STRUCTURAL CONSTRUCTION JOINTS SHALL BE SEALED WITH A TWO-PART URETHANE BASED CAULKING PRIOR TO INSTALLATION OF DAMPROOFING.

5. METALS

5.1 FOR ALL MASONRY AND CONCRETE REINFORCING REFER TO STRUCTURAL.

5.2 PROVIDE HANDRAILS TO 36" ABOVE NOSING FOR ALL STAIRS FORMING PART OF AN EXIT ROUTE. PROVIDE HANDRAILS BOTH SIDES OF STAIRS 3'-7" OR WIDER IN WIDTH. REFER TO DETAILS FOR SPECIFIC DIMENSIONAL REQUIREMENTS. SUBMIT TO THE ARCHITECT AND STRUCTURAL ENGINEER SHOP DRAWINGS, COMPLETE WITH ASSURANCE OF DESIGN AND COMMITMENT FOR FIELD REVIEW LETTERS OF ASSURANCE, TOGETHER WITH CALCULATIONS SEALED BY THE SPECIALTY ENGINEER INDICATING DETAILS OF CONNECTIONS MADE TO THE BUILDING STRUCTURE.

5.3 HANDRAILS TO BE CONTINUOUS ALONG FULL LENGTH OF STAIR AND BEYOND TOP AND BOTTOM RISER AS PER 9.8.7 OF THE BCBC.

5.4 GUARDS TO BE 3'-6" HIGH AND HAVE NO CLEAR OPENING GREATER THAN 4". HANDRAILS AND GUARDS TO MEET THE LOADING REQUIREMENTS OF SECTION 4.1.10.1 OF THE BCBC. SHOP DRAWINGS MUST BE SUBMITTED FOR ARCHITECT'S AND ENGINEER'S REVIEW PRIOR TO MANUFACTURE. ENGINEER TO PROVIDE FIELD REVIEW OF INSTALLED GUARDS, INCLUDING FIELD REVIEW REPORT.

5.5 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL DECORATIVE METAL FENCES, GATES AND RELATED ACCESSORIES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE ARCHITECT.

5.6 ALL FLASHINGS WITH FOLDED END DAMS MUST BE 5/8" MINIMUM TO MEET BCBC

6. WOODS AND PLASTICS

6.1 WOOD FRAMING SHALL BE PROTECTED FROM RAIN AND SNOW DURING CONSTRUCTION. WOOD FRAMING SHALLL BE DRY AT THE TIME OF INSULATION AND INSTALLING THE VAPOUR BARRIER.

6.2 ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS AND WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

6.3 ALL WOOD FRAMING TO BE SEPARATED FROM CONCRETE BY MOISTURE BARRIER.

6.4 MOISTURE CONTENT TO BE LESS THAN 19% AS REQUIRED BY SECTION 9.23 OF THE BCBC. MOISTURE CONTENT SUBJECT TO REVIEW BY THE BUILDING ENVELOPE CONSULTANT.

6.5 ALL FLOOR SHEATHING TO BE GLUED IN ADDITION TO NAILING.

6.6 CONTRACTOR TO CONFIRM THAT ALL CLEARANCES TO APPLIANCES (INCLUDING KITCHEN APPLIANCES AND GAS FIREPLACES) CONFORM TO MANUFACTURER'S SPECIFICATIONS. ALL STACKED WASHER AND DRYER LOCATIONS TO HAVE SUFFICIENT VERTICAL BLOCKING BEHIND DRYWALL TO FIX APPLIANCES AS PER MANUFACTURER'S SPECIFICATION.

7. THERMAL AND MOISTURE PROTECTION

7.1 ALL FLASHINGS ARE TO BE MIN. 26 GA PRE-FINISHED GALVANIZED STEEL IN COLOUR AS PER ARCHITECT. FLASHING OVER PARAPET AT ROOF PERIMETER OR GRAVEL STOP FLASHING TO BE FIXED WI NON-CORROSIVE, GASKETED SCREWS AT 48" O.C. JOINTS IN FLASHING TO BE STANDING SEAM AND CAULKED AT ALL LAPS. LAPPED FLASHING TO BE MINIMUM 4" LAP WITH RIVET AT VERTICAL LEG.

7.2 ALL ROOFING AND WATERPROOF MEMBRANES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH R.C.A.B.C. 5-YEAR GUARANTEE STANDARDS. SUPPLIER AND INSTALLER TO PROVIDE WRITTEN GUARANTEE AS PER R.C.A.B.C. ROOFING MANUAL AND PROJECT MANUAL.

7.3 ALL CONCRETE WALLS BELOW GRADE AND EXPOSED TO THE INTERIOR TO BE DAMPPROOFED WITH TWO COATS OF MINERAL COLLOID EMULSION ASPHALT DAMPPROOFING ON EXTERIOR FACE AS PER MANUFACTURER'S SPECIFICATIONS. CONCRETE SURFACE TO BE PREPARED SUFFICIENTLY THAT DAMPPROOFING IS CONTINUOUS OVER ALL VOIDS, AIR BUBBLES AND PINHOLES. MIN. 60 MIL.

7.4 ALL CONCRETE WALLS BELOW GRADE WITH INTERIOR WOOD FRAMING ARE TO BE WATERPROOFED.

7.5 VAPOUR AND AIR BARRIERS (SHEET BARRIER WHERE APPLICABLE) SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS AND EDGES ARE SEALED AS PER MANUFACTURER'S SPECIFICATIONS. HOLES THROUGH VAPOUR AND AIR BARRIERS, SUCH AS THOSE CUT OUT FOR INSTALLATION OF ELECTRICAL BOXES OR DUCT WORK, SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOUR AND AIR BARRIERS OVER THE ENTIRE SURFACE AS PER 9.25.3 AND 9.25.4 OF THE BCBC. LIQUID APPLIED MEMBRANE (WHERE APPLICABLE) SHALL BE CONTINUOUS AND REINFORCED AT ALL SUBSTRATE JOINTS INCLUDING CORNERS,

7.6 PROVIDE FLASHING, INCLUDING BUT NOT LIMITED TO, OVER ALL EXTERIOR DOORS AND WINDOWS, EXPOSED CURBS, PARAPETS, TOP OF WALLS, VENTS AND OTHER PENETRATIONS, AND AT ALL FLOOR LEVELS, UNLESS DETAILED OTHERWISE.

7.7 INSULATE ALL STUD CAVITIES WHERE MECHANICAL AND PLUMBING LINES RUN THROUGH. ALL DRAINAGE OFFSETS WITHIN DROPPED CEILING SPACES TO BE PACKED WITH MINERAL WOOL INSULATION TO SURROUND PIPES. ALL SPACES UNDER TUBS AND SHOWERS TO BE PACKED WITH INSULATION. ALL JETTED TUBS TO BE ON A MINIMUM 1/2" THICK NEOPRENE ACOUSTIC MAT.

7.8 AT WINDOWS, ENSURE MEMBRANE IS NOT TORN OR PUNCTURED AT BOTTOM EDGE. AT THE BACK OF THE SILL AND 1" UP EACH SIDE, A BEAD OF URETHANE CAULKING SHALL BE PROVIDED AT THE WINDOW FRAME TO THE PEEL & STICK MEMBRANE INTERFACE TO PROVIDE A BLOCK DAM.

7.9 CONTRACTOR TO PROVIDE THE ARCHITECT WITH A COPY OF ROOFING AND FLASHING TEST REPORT FROM AN INDEPENDENT (ENGINEERING) TESTING AGENCY, TO BE NAMED PRIOR TO START OF ROOFING. AIR BARRIER WHERE LIQUID APPLIED, SHALL BE CONTINUOUS AND APPLIED SO THAT ALL JOINTS AND EDGES ARE SEALED AT FRAMING MEMBERS, SHEATHING GAPS, FURRING AND BLOCKING. ALL HOLES THROUGH AIR BARRIERS, SUCH AS BRICK TIES OR WIRE PENETRATIONS, SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER OVER THE ENTIRE SURFACE AS PER BCBC ARTICLE 4.1.8.5 AND TO COMPLY WITH CAN2-52.32-M77.

7.10 ALL WALL PLATES TO BE SET ON SILL GASKETS AND TO BE ANCHORED AS PER STRUCTURAL DRAWINGS.

7.11 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR CONNECTION OF THROUGH-PARAPET ROOF DRAINS TO RAIN WATER LEADERS AND DRAINS WHERE DRAINAGE IS TAKEN BACK INTO THE BUILDING. DRAWINGS TO INDICATE, BUT NOT LIMITED TO, METAL FLASHING, MEMBRANE AND CAULKING DETAILS. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO START OF WORK.

7.12 SILICONE BASED SEALANTS ARE NOT ACCEPTABLE FOR THE EXTERIOR USE. CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL PROPOSED CAULKING AND SEALANTS TO THE BUILDING ENVELOPE ENGINEER AND THE ARCHITECT FOR REVIEW PRIOR TO THE START OF INSTALLATION.

7.13 ALL EDGES AND CUTS OF WOOD TRIM ARE PRIMED AND PAINT SEALED PRIOR TO INSTALLATION.

7.14 ALL METAL IN CONTACT WITH ACQ PRESSURE TREATED MATERIAL MUST BE STAINLESS STEEL.

7.15 TAPE ALL VERTICAL SEAMS IN TYVEK. TOP SHEET SHALL OVERLAP BOTTOM SHEET AT HORIZONTAL SEAMS. OVERLAP IN ALL AREAS TO BE MINIMUM 12". DO NOT TAPE HORIZONTAL SEAMS.

7.16 PROVIDE EAVE PROTECTION AS PER BCBC 9.26.5. SOLID EAVE PROTECTION AT THE EDGES OF ALL ROOFS IS REQUIRED.

7.17 15 LB. NON-PERFORATED FELT IS REQUIRED UNDER ALL ASPHALT SHINGLES OR APPROVED ALTERNATIVE.

7.18 DIVERTER FLASHINGS ARE REQUIRED AT THE BOTTOM OF ALL SLOPED ROOF AND VERTICAL WALL INTERSECTIONS.

7.19 NAIL THE BOTTOM EDGES OF ALL ROOF VENTS AND MECHANICAL VENT FLASHINGS TO ELIMINATE UPLIFT. CALUK ALL OF THE EXPOSED NAIL HEADS.

7.20 PROVIDE ADEQUATE AMOUNTS OF FLASHING TYVEK (OR ROOF FELT) BEHIND ALL ROOF-TO-WALL FLASHINGS AND STEP FLASHINGS.

7.21 ALL ROOF-TO-WALL FLASHINGS AND STEP FLASHINGS TO HAVE A 6" VERTICAL BACK LEG.

7.22 ALL BALCONY AND DECK MEMBRANES SHALL BE LIQUID APPLIED OR VINYL SHEETS. ALL MEMBRANES SHALL BE 60 MIL MINIMUM. SUBMIT SPECIFICATIONS TO BUILDING ENVELOPE CONSULTANT OF PROPOSED MEMBRANE FOR REVIEW BEFORE INSTALLATION BEGINS.

7.23 ENSURE THAT ALL DECK MEMBRANES ARE WRAPPED UP AND OVER DOOR SILL FRAMING INCLUDING A 4" LAP UP THE JAMBS PRIOR TO INSTALLATION OF ALL DOORS.

7.24 PROVIDE A DIVERTER AT ALL DECK EDGE-TO-VERTICAL WALL INTERFACES.

7.25 PROVIDE A LOOSE MEMBRANE FLAP (TO LAP BUILDING WRAP UNDER) AT ALL DECK EDGE-TO-VERTICAL WALL INTERFACES.

7.26 ENSURE THAT BUILDING WRAP IS PROVIDED TO THE RIM JOISTS PRIOR TO THE APPLICATION OF THE FINAL TRIM BOARDS. THE BUILDING WRAP SHALL CARRY ON TO THE VERTICAL EXTERIOR WALL INTERFACE 12" MINIMUM.

7.27 BOTTOM FRAMING PLATES IN CONTACT WITH THE CONCRETE FOUNDATION SHALL BE SEPARATED FROM THE CONCRETE BY A FOAM GASKET.

7.28 VINYL WINDOWS USUALLY REQUIRE SOLID SUPPORT AT THE BOTTOM EDGE. CARE SHALL BE TAKEN TO ENSURE THAT THE MEMBRANE IS NOT TORN OR PUNCTURED. AT THE BACK OF THE SILL AND 1" UP EACH SIDE A BEAD OF URETHANE CAULKING SHALL BE PROVIDED AT THE WINDOW FRAME TO THE PEEL AND STICK MEMBRANE INTERFACE TO PROVIDE A BACK DAM.

7.29 APPROVED PRIMERS SHALL BE USED WITH ALL PEEL AND STICK PRODUCTS.

7.30 WEATER BARRIER MUST BE APPLIED AS A CONTINUOUS MEMBRANE TO FORM THE MOISTURE BARRIER.

7.31 THE BUILDING WRAP MUST BE COMPLETE WITH ALL DETAILS AND REVIEWED BEFORE BEING COVERED BY ANY CLADDING.

7.32 ALL HORIZONTAL "J" TRIMS SHALL BE PERFORATED C/W 3/16" HOLES AT 16" O.C.

7.33 ALL EXTERIOR DOORS SHALL BE SET INTO TWO CONTINUOUS BEADS OF URETHANE SEALANT (TO RUN UP THE SIDE JAMBS 4") PRIOR TO INSTALLING THE DOORS. THE DOOR FRAME BRICK MOULDS SHALL ALSO BE BACK CAULKED.

7.34 ALL WOOD CLADDING PRODUCTS (I.E. KNEE BRACES, CEDAR SIDEWALL SHINGLES, AND GABLE END TRIM BOARDS) SHALL BE BACK PRIMED PRIOR TO THEIR INSTALLATION.

7.35 ALL THROUGH WALL FLASHINGS SHALL BE C/W A 4" HIGH BACK LEG. ALL HORIZONTAL LAPS SHALL BE 6" MIN. AND BACK CAULKED. A THROUGH WALL FLASHING IS REQUIRED AT ALL HORIZONTAL EXPANSION JOINTS, BUILDING BAND TRIMS AND BELOW THE GABLE END LOUVER VENTS.

7.36 ENSURE THAT THE TOP OF THE EXTERIOR CORNER TRIMS ARE EITHER MECHANICALLY SEALED, FLASHED OR UNDER ADEQUATE OVERHANG PROTECTION.

7.37 ALL EXTERIOR FASTENERS SHALL BE HOT-DIPPED GALVANIZED.

7.38 ALL SIDE-WALL VENTS (I.E. DRYERS, BATH FANS) SHALL BE CAULKED AT THE VENT FLANGES (TOP AND SIDES) TO A PIECE OF BUILDING WRAP PLACED BEHIND THE VENT THAT IS 12" WIDER THAN THE VENT ON BOTH SIDES AND EXTENDS BELOW THE VENT ALL THE WAY TO THE NEXT THROUGH WALL FLASHING OR THE BOTTOM OF THE WALL. THE SURROUNDING FIELD TYVEK SHALL THEN BE PLACED OVER THE TOP AND SIDE VENT FLANGES AND SEALED TO THE FLANGE. DO NOT PLACE THE FIELD BUILDING WRAP OVER THE BOTTOM FLANGE OF THE VENT OR THE BUILDING WRAP BELOW THE FLANGE. SEAL THE FIELD BUILDING WRAP TO THE FLASHING BUILDING WRAP UNDER THE FLANGE WITH A SEALED VERTICAL JOINT EITHER SIDE OF THE VENT. PROVIDE A DRIP CAP FLASHING C/W END DAMS OVER ALL VENTS. CAULK THE SIDES OF THE VENTS TO THE CLADDING. ALL VENTS MUST BE APPROVED BEFORE INSTALLING.

7.39 ALL EXTERIOR ELECTRICAL OUTLETS SHALL USE SURFACE MOUNTED SHALLOW BOXES OR AIR SEALED FLANGED BOXES. THE MEMBRANE MUST BE CONTINUOUS BEHIND THE BOXES OR SEALED TO THE FLANGE ON THE BOXES. USE AN APPROVED TRIM; FINISH KIT TO ALL OF THE PENETRATIONS.

7.40 ALL EXTERIOR HOSE BIBS ARE TO BE SEALED TO THE MEMBRANE WITH AN APPROVED SEALANT. PROVIDE AN APPROVED TRIM; FINISH KIT TO ALL OF THE PENETRATIONS.

7. FIRE PROTECTION

7.50 ALL PIPING, INCLUDING TRAPS AND TOILET FLANGES, TUBING, DUCTS, WIRING, CONDUIT, ELECTRICAL OULET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRE SEPARATION OR A MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRE TO HAVE FIRE-RESISTANCE RATING, SHALL BE TIGHTLY FITTED AND SEALED AT THE PENETRATION WITH FIRE-STOP MATERIALS CONFORMING TO CAN4-S115 AND SECTIONS 3.1.5, 3.1.7.1 AND 3.1.9 OF THE BCBC. ALL PIPES THAT PENETRATE A FIRE SEPARATION SHALL BE NON-COMBUSTIBLE. PIPES PENETRATING SUSPENDED OR PRE-CAST SLABS AND/OR METAL DECKING SHALL BE PACKED WITH PERMANENT FORMING MATERIAL FOR HALF THE DEPTH OF THE SLAB WITH THE BALANCE OF THE SPACE FILLED WITH AN APPROVED FIRE STOP SYSTEM. ALL SYSTEMS TO BE INSTALLED STRICTLY AS PER MANUFACTURER'S SPECIFICATIONS. FIRE-STOPPING SYSTEMS TO BE PRE-APPROVED.

7.51 FIRESTOPPING OF CONCEALED SPACES TO BE IN ACCORDANCE WITH THE BCBC 9.10.5, AND TO BE INSTALLED WITH MATERIALS LISTED BY U.L.C. BY AS CONTRACTOR FAMILIAR WITH THEIR USE. PROVIDE SHOP DRAWINGS, APPLICABLE U.L.C. #S AND MOCK-UP OF EACH CONDITION PRIOR TO THE BEGINNING OF INSTALLATION.

7.52 PARTY WALLS ARE TO BE CONSTRUCTED FOR THEIR FULL HEIGHT AS A CONTINUOUS FIRE SEPARATION AS PER WALL SCHEDULE. NO SERVICE PENETRATIONS, INCLUDING BUT NOT LIMITED TO OUTLET BOXES, INTO A PARTY WALL MAY BE LARGER THAN 4" SQUARE. BACK-TO-BACK SERVICE PENETRATIONS MUST BE OFFSET BY AN MINIMUM OF 12". ALL PENETRATIONS IN A PARTY WALL OR CORRIDOR WALL TO BE FIRESTOPPED. THE 1" AIR SPACE MUST BE OPEN AND UNOBSTRUCTED. IT IS INCUMBENT ON THE GENERAL CONTRACTOR TO COORDINATE THE WORK TO ENSURE ITEMS SUCH AS PLUMBING AND GAS LINES DO NOTE INFRINGE IN THE AIR SPACE.

7.53 ALL FIRESTOP SYSTEMS TO BE INSTALLED STRICTLY AS PER MANUFACTURER'S SPECIFICATIONS. FIRESTOPPING SYSTEM TO BE PRE-APPROVED BY ARCHITECT. FIRESTOP SYSTEMS SHALL MAINTAIN THE INTEGRITY OF SEPARATIONS BETWEEN UNITS WITHIN CONCEALED SPACES AND WITH RESPECT TO COMPARTMENTALIZATION OF ATTIC AND VENT SPACES WITHIN THE ROOF.

7.54 PENETRATIONS THROUGH WOOD FLOOR ASSEMBLIES SHALL BE PROTECTED WITH DOW SYSTEM NO. SP81 OR APPROVED ALTERNATIVE FIRESTOP SYSTEM COMPONENTS.

7.55 ALL UNITS TO HAVE SMOKE ALARMS AT EACH LEVEL AND IN EACH SLEEPING ROOM INSTALLED ACCORDING TO BCBC 9.10.18.

7.56 PROVIDE ACCESS TO EVERY ATTIC OR ROOF SPACE MORE THAN 600MM HIGH AS PER ARTICLE 9.19.2 OF THE BCBC AND MAINTAIN THE REQUIRED FIRE SEPARATION.

7.57 FOAM PLASTIC INSULATION TO HAVE FLAME SPREAD RATING LESS THAN 0 EQUAL TO 25 WHERE EXPOSED TO AN ADJACENT CONCEALED SPACE, AND NOT GREATER THAN 500 IN ALL OTHER LOCATIONS.

7.58 GYPSUM WALL BOARD TO RUN CONTINUOUSLY BEHIND FIREPLACES TO COMPLETE WALL ASSEMBLY BETWEEN UNITS PRIOR TO BEING FURRED OUT THE RECEIVE FIREPLACE. GYPSUM WALL BOARD TO RUN CONTINUOUSLY BEHIND BATHTUBS, WITH WATER RESISTANT WALL BOARD PLACED OVER TOP.

8. DOORS AND WINDOWS

8.1 ALL WINDOWS AND DOORS SHALL CONFORM TO THE MOST CURRENT EDITION OF THE BCBC AND MINIMUM REQUIREMENTS AS SET BY THE BUILDING ENVELOPE ENGINEER.

8.2 ALL DIMENSIONS ARE TO BE CONFIRMED WITH SITE CONDITIONS.

8.3 WINDOW SUPPLIER(S) SHALL PROVIDE LETTERS OF ASSURANCE FOR DESIGN AND REVIEW OF WINDOWS FOR STRUCTURAL ASPECTS. SHOP DRAWINGS SHALL BE REQUIRED PRIOR TO MANUFACTURE. SHOP DRAWINGS TO BEAR SEAL OF STRUCTURAL ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA CERTIFYING THAT THE WINDOWS COMPLY WITH THE AAMA/WDMA/CSA101/I.S.2/A440 NAFS REQUIREMENTS WITH THE A440SI-09 CANADIAN SUPPLEMENT.
ENGINEER TO PROVIDE LETTERS OF ASSURANCE AND FIELD REVIEW OF COMPONENTS COVERED.

8.4 WINDOWS AND DOORS SHALL BE DESIGNED TO ATTAIN THE PERFORMANCE CRITERIA OUTLINED IN THE ACOUSTIC CONSULTANTS REPORT. THE REPORT IS AVAILABLE FROM THE OWNER. INDEPENDENT ACOUSTIC TESTING MAY BE REQUIRED AS PER HEALTH DEPARTMENT REQUIREMENTS.

8.5 WINDOWS AND DOORS SHALL BE DESIGNED AND INSTALLED TO RESIST WIND PRESSURE AND SEISMIC EFFECTS AS SPECIFIED BY PART 4 OF THE BCBC.

8.6 WINDOWS SHALL CONFORM TO CSA-A440 AND EVIDENCE OF CONFORMANCE SHALL BE PROVIDED AT THE END OF THE JOB. ON SITE TESTING BY BUILDING ENVELOPE CONSULTANT IS REQUIRED.

8.7 WINDOWS WITH A SLIDING SASH WITHIN 5M OF FINISHED GRADE ARE TO HAVE A LOCKING MECHANISM CONFORMING WITH ARTICLE 9.7.1.6 OF THE BCBC.

8.8 ALL WINDOWS ABOVE THE GROUND FLOOR WITH OPENING PANELS NOT ABOVE BALCONIES BELOW THE HEIGHT OF 3'-6" TO HAVE A GUARD RAIL ATTACHED OR WINDOW RESTRICTORS WHICH DO NOT ALLOW A 4" DIA. OBJECT TO PASS THROUGH THE OPENING.

8.9 ALL WINDOWS AND DOORS TO CONFORM TO REQUIREMENTS OF ARTICLE 9.6.6 OF THE BCBC WITH RESPECT TO SAFETY GLASS.

8.10 ALL GLASS WITHIN 8" OF ANY FLOOR, AND IN DOORS, TO BE TEMPERED OR LAMINATED SAFETY GLASS IN CONFORMANCE WITH NOTE 8.9 ABOVE.

8.11 ALL SUITE DOORS AND WINDOWS TO CONFORM TO SUBSECTION 9.6.5 OF THE BCBC REGARDING SUITE SECURITY.

8.12 ALL SUITE ENTRY DOORS TO HAVE VIEWERS AS PER ARTICLE 9.6.8.8 OF THE BCBC.

8.13 HINGES TO EXTERIOR DOORS TO HAVE NON-REMOVABLE PINS AND BE ATTACHED AS PER ARTICLE 9.6.8.5 AND 9.6.8.7 OF THE BCBC.

8.14 ALL UNIT ENTRIES AND SWINGING PATIO DOORS ARE TO HAVE DEAD BOLTS WITH A MINIMUM 1" THROW AS PER ARTICLE 9.6.8.3 OF THE BCBC.

8.15 DOOR STRIKE PLATES ARE TO BE FASTENED TO FRAMES CONFORMING TO ARTICLE 9.6.8.6 OF THE BCBC.

8.16 BLOCKING IS REQUIRED AT LOCK HEIGHT OF EXTERIOR DOORS AND FRAMES TO CONFORM TO ARTICLE 9.6.8.9 OF THE BCBC.

8.17 ALL DOORS WITHIN SUITE TO BE UNDERCUT BY 1/2" ABOVE THE FLOOR COVERING.

8.18 ALL EXTERIOR DOORS SHALL CONFORM TO CAN/CSA 0123.2 AND SHALL BE CLEARLY LABELED AS PER ARTICLE 9.6.5.1 OF THE BCBC.

8.19 MIRRORED CLOSET DOORS WITHIN WALK-IN CLOSET REQUIRE SAFETY BACKING AND SHALL CONFORM TO CAN/CGSB-82.6 AND TO SECTION 9.6.6.3 OF THE BCBC.

8.20 ALL GLASS REQUIRED TO BE TEMPERED OR LAMINATED SAFETY GLASS SHALL BE LABELED AS SUCH.

8.21 WOOD DOORS TO BE PERMANENTLY LABELED TO PROVIDE THE MANUFACTURER'S NAME, YEAR OF MANUFACTURING, EXTERIOR GRADE CSA 0123.2 AS PER BULLETIN 10.2(1) AND TO NFPA 80 WHERE APPLICABLE.

8.22 ALL FIRE DOORS, WINDOW ASSEMBLIES OR GLASS BLOCK USED AS A CLOSURE IN A REQUIRED FIRE SEPARATION SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80, AND BE TESTED AND WARNOCK HERSEY OR ULC LABELED. ALL DOOR HARDWARE USED AS PART OF A RATED ASSEMBLY SHALL BE RATED, TESTED AND INSTALLED IN CONFORMANCE WITH NFPA 80.

8.23 TEMPERATURE RISE REQUIREMENTS FOR ALL EXIT DOORS TO CONFORM TO TABLE 3.1.8.15 OF THE BCBC.

8.24 DOOR STOPS WILL BE REQUIRED TO PREVENT DAMAGE TO FIRE SEPARATIONS.

8.25 WINDOW MANUFACTURER TO PROVIDE LETTER TO ARCHITECT AND MECHANICAL ENGINEER CONFIRMING SUPPLIED GLASS SHADING COEFFICIENT, U-VALUES AND FRAME MATERIAL AND DIMENSIONS FOR USE BY THE MECHANICAL ENGINEER TO DETERMINE ENERGY UTILIZATION CALCULATIONS.

8.26 ALL WINDOWS AND DOORS SHALL HAVE THERMALLY BROKEN FRAMES. PERFORMANCE LEVELS OF GLASS TO BE DETERMINED BY THE MECHANICAL ENGINEER AS PART OF THE MUNICIPALITY OF JURISDICTION'S ENERGY UTILIZATION CALCULATIONS.

8.27 ALL SLIDING DOORS SHALL HAVE TEMPERED OR LAMINATED SAFETY GLASS IN CONFORMANCE WITH ARTICLE 9.6.6.2 OF THE BCBC.

8.28 ALL BATH AND SHOWER ENCLOSURES SHALL HAVE TEMPERED OR LAMINATED SAFETY GLASS.

8.29 ALL RATED DOORS SHALL HAVE A SELF-CLOSING DEVICE IN CONFORMANCE WITH ARTICLE 3.1.8.11 OF THE BCBC AND NFPA 80.

8.30 ALL WINDOWS AND DOORS MUST MEET MINIMUM WATER AND WIND REQUIREMENTS AS SET OUT BY THE BUILDING ENVELOPE ENGINEER.

8.31 ALL WINDOWS MUST MEET MINIMUM TEST STANDARDS. ON SITE TESTING WILL BE DONE USING THE FOLLOWING STANDARDS:

8.32 ASTM E 1105, FIELD DETERMINATION OF WATER PENETRATION OF INSTALLED EXTERIOR CURTAIN WALLS AND DOORS, BY UNIFORM OR CYCLIC STATIC AIR PRESSURE DIFFERENCE, BY USING AAMM 502-90, VOLUNTARY SPECIFICATION FOR FIELD TESTING OF WINDOWS METHOD B.

8.33 TESTING IS REQUIRED ON A MINUMUM OF 1% OF THE WINDOWS. THE STANDARD SHOULD ANY OF THE WINDOWS FAIL THE WINDOW MUST BE REPAIRED AND RE-TESTED PLUS TWO ADDITIONAL WINODWS. TESTING MUST BE DONE TO THE WINDOWS AS SUPPLIED NO TEMPORARY MODIFICATIONS TO THE ASSEMBLY, I.E. BLOCKING DRAINAGE HOLES.

8.34 ALL WINDOWS WHICH ARE LESS THAN 1 METER ABOVE THE INTERIOR FLOOR LEVEL AND MORE THAN 0.6 METERS ABOVE THE EXTERIOR GROUND LEVEL WILL REQUIRE A WINDOW RESTRICTOR THAT WILL LIMIT THE OPENING TO 100MM. WINDOW RESTRICTORS WILL ALSO BE REQUIRED IF THE WINDOW SILL IS LOCATED LESS THAN 450MM ABOVE THE INTERIOR FLOOR.

8.35 ALL EXTERIOR DOORS INCLUDING FRAMES MUST MEET THE SAME AIR-WATER-STRUCTURAL PERFORMANCE RATINGS AS WINDOWS.

8.36 FOR ADDITIONAL INFORMATION REFER TO DOOR AND WINDOW SCHEDULES.

9. FINISHES

9.1 ALL CONCRETE FLOORS AND TOPPINGS IN RESIDENTIAL AREAS TO BE LEVELED, TROWELLED AND PREPARED TO RECEIVE FINISH FLOORING.

9.2 REFER TO ASSEMBLIES SCHEDULE AND DETAILS FOR FINISHING NOTES.

9.3 CONTRACTOR TO PROVIDE ARCHITECT WITH COLOUR SAMPLES OF ALL INTERIOR AND EXTERIOR FINISHES FOR APPROVAL, PRIOR TO INSTALLATION OF MATERIAL.

9.4 FOR ADDITIONAL FINISHING INFORMATION, REFER TO THE INTERIOR DESIGNER'S DRAWINGS AND SPECIFICATIONS.

10. SPECIALTIES

10.1 SIGNAGE REQUIREMENTS:
.1 ALL SUITE ENTRY DOORS TO BEAR UNIT NUMBER.
.2 STREET ADDRESS AT MAIN ENTRY.

10.2 OVERHEAD GARAGE DOORS TO HAVE "SAFETY EDGE" FOR AUTOMATIC RETRACTION IF UNABLE TO FULLY CLOSE UNHINDERED. INSTALLATION TO BE WITH FULL NOISE REDUCTION PACKAGE, WITH MOTOR ON RUBBER MOUNTS AND RUBBER DOOR WHEEL GUIDES.

10.3 MAILBOXES PROVIDED ARE TO COMPLY WITH STANDARDS ESTABLISHED BY CANADA POST CORPORATION.

15. MECHANICAL

15.1 THE MECHANICAL SYSTEMS ARE TO BE DESIGNED AND INSTALLED AS INDICATED IN MECHANICAL DRAWINGS AND SPECIFICATIONS.

15.2 THE MECHANICAL SYSTEM IS TO BE DESIGNED TO PROVIDE THE NUMBER OF AIR CHANGES PER HOUR AS INDICATED IN MECHANICAL DRAWINGS AND SPECIFICATIONS. RELIEF AIR TO BE PROVIDED IN ROOMS REQUIRING COMBUSTION AIR, AND BE CAPABLE OF CONTINUOUS OPERATION. DOORS WITHIN SUITES ARE TO BE UNDERCUT 1/2" FOR AIR CIRCULATION. SEE MECHANICAL DRAWINGS FOR FAN SIZE, LOCATION AND SOUND RATING. MECHANICAL ENGINEER TO REVIEW FAN SHOP DRAWINGS. FAN SOUND RATING REQUIRED TO BE 1.5 SONES MAXIMUM. BATHROOM FANS TO BE OPERATED ON NON-OVERRIDE HUMIDISTATS.

15.3 PROVIDE ACCESS PANELS TO ALL FIRE DAMPERS. ALL ACCESS PANELS IN SHAFT WALLS TO BE RATED METAL CLOSURES. ALL BRANCH DUCTS FROM DUCTS IN SHAFT WALLS TO HAVE FIRE DAMPERS AT SHAFT WALL. RATED CLOSURES TO HAVE RATING EQUAL TO OR GREATER THAN THE SEPARATION CONTAINING THEM, EXCEPT DOORS.

15.4 WINDOW MANUFACTURER TO PROVIDE LETTER CONFIRMING SUPPLIED GLASS CONFORMS TO SHADING COEFFICIENT AND U-VALUE SPECIFIED BY THE MECHANICAL ENGINEER.

15.5 ALL BATHROOM SINKS ARE TO BE POSITIONED SUCH THAT THE CENTERLINE OF THE SINK IS NOT LESS THAN 15" FROM THE WALL.

15.6 ALL TOILETS AND TUBS TO BE SET ON NEOPRENE SOUND DAMPING PADS.

15.7 ENERGY UTILIZATION REQUIREMENTS - GET DATA FROM MECHANICAL ENGINEER. BUILDING THERMAL "R" VALUES TO CONFORM TO TABLE A BELOW.
.1 TABLE A: PER "ENERGY UTILIZATION REQUIREMENTS" AS PROVIDED BY MECH. ENGINEER.
.2 DOUBLE-GLAZED WINDOWS AND PATIO DOORS REQUIRE SHADING COEFFICIENT AND U-VALUE AS INDICATED IN MECHANICAL ENGINEER'S SPECIFICATIONS.
.3 INSULATION VALUE FOR ROOF TO BE R-40.
.4 INSULATION VALUE FOR WALL TO BE R-16 WITH INSULATION IN THE INTERIOR SIDE.
.5 INSULATION VALUE FOR SERVICE ROOMS REQUIRED TO HAVE NON-FREEZE CONDITIONS TO BE R-10.
.6 AVERAGE LIGHTING TO BE 1 WATT/SQ.FT.

16. ELECTRICAL

16.1 THE ELECTRICAL SYSTEMS ARE TO BE DESIGNED AND INSTALLED AS INDICATED IN THE ELECTRICAL DRAWINGS AND SPECIFICATIONS.

16.2 ALL UNITS TO HAVE SMOKE ALARMS AT EACH LEVEL INSTALLED ACCORDING TO ARCTICLE 9.10.17 OF THE BCBC, AND CARBON MONOXIDE DETECTORS AT EACH LEVEL CONTAINING AT LEAST ON BEDROOM.

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

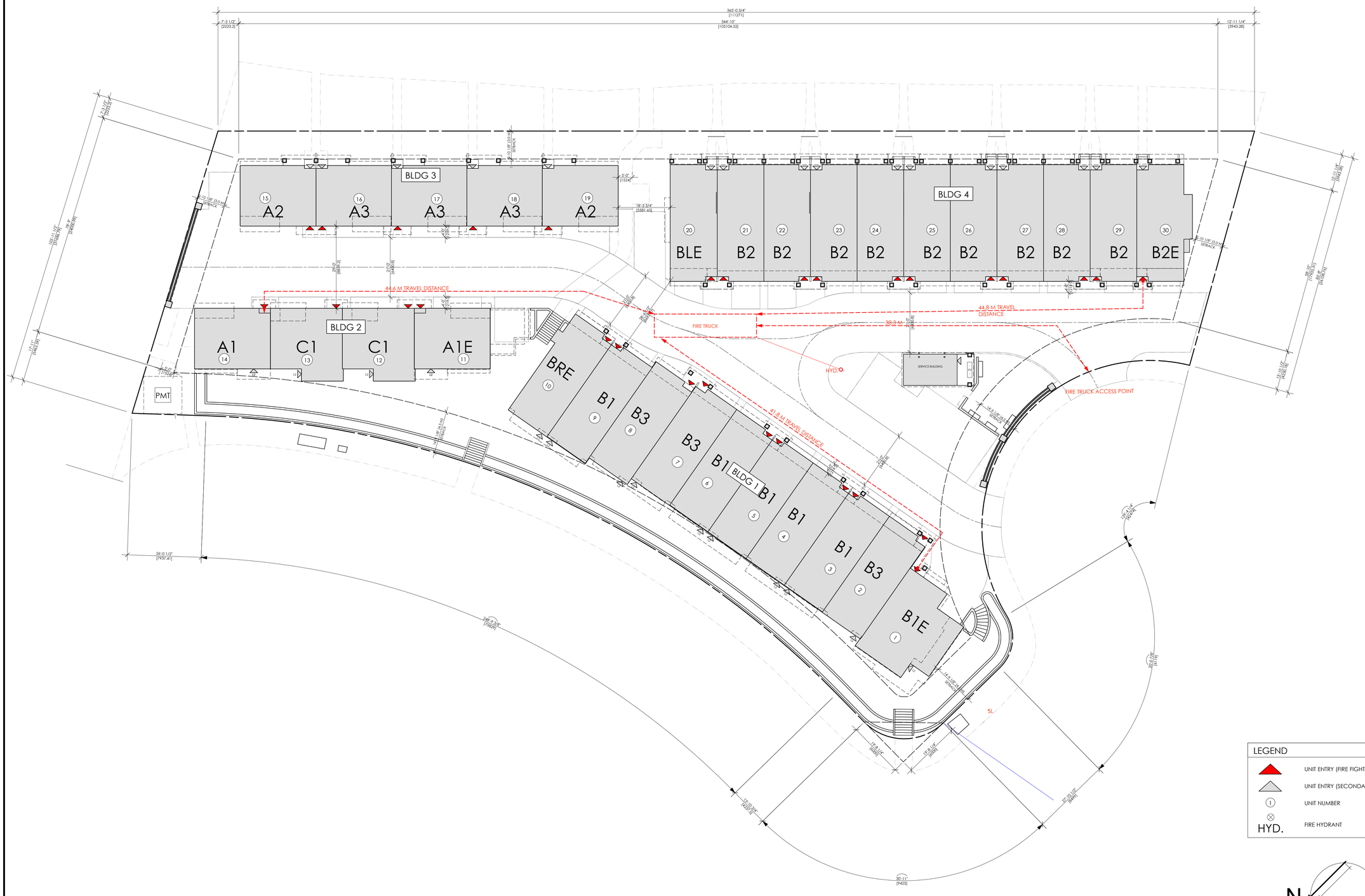
DRAWING

GENERAL NOTES

SCALE: NTS

DATE: NOV. 23, 2020

SHEET: A0.02



LEGEND

- UNIT ENTRY (FIRE FIGHTING)
- UNIT ENTRY (SECONDARY)
- (1) UNIT NUMBER
- HYD. FIRE HYDRANT

N

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

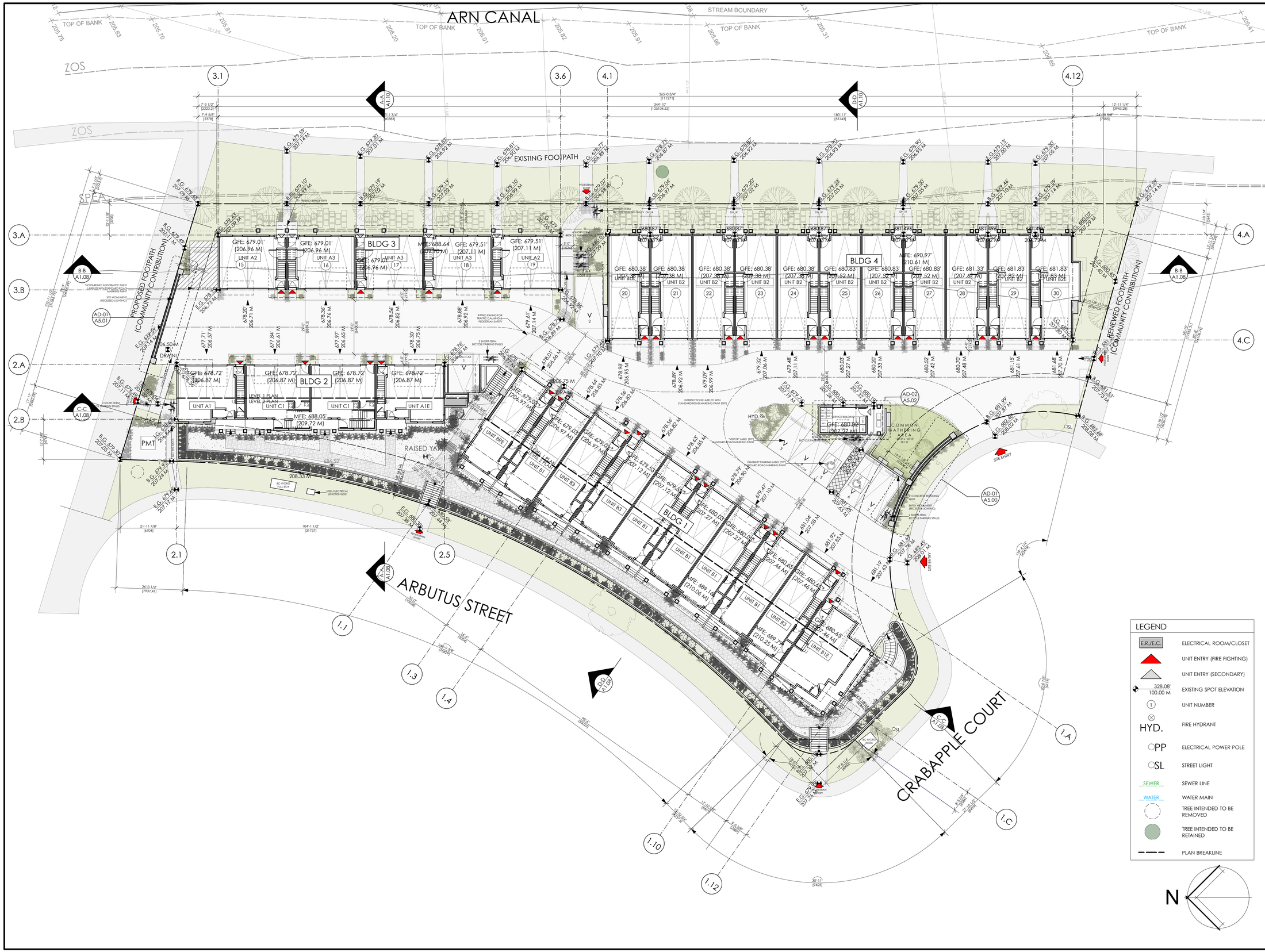
DRAWING

FIRE ACCESS PLAN

SCALE 1/16"=1'-0"

DATE NOV. 23, 2020

SHEET A1.02



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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

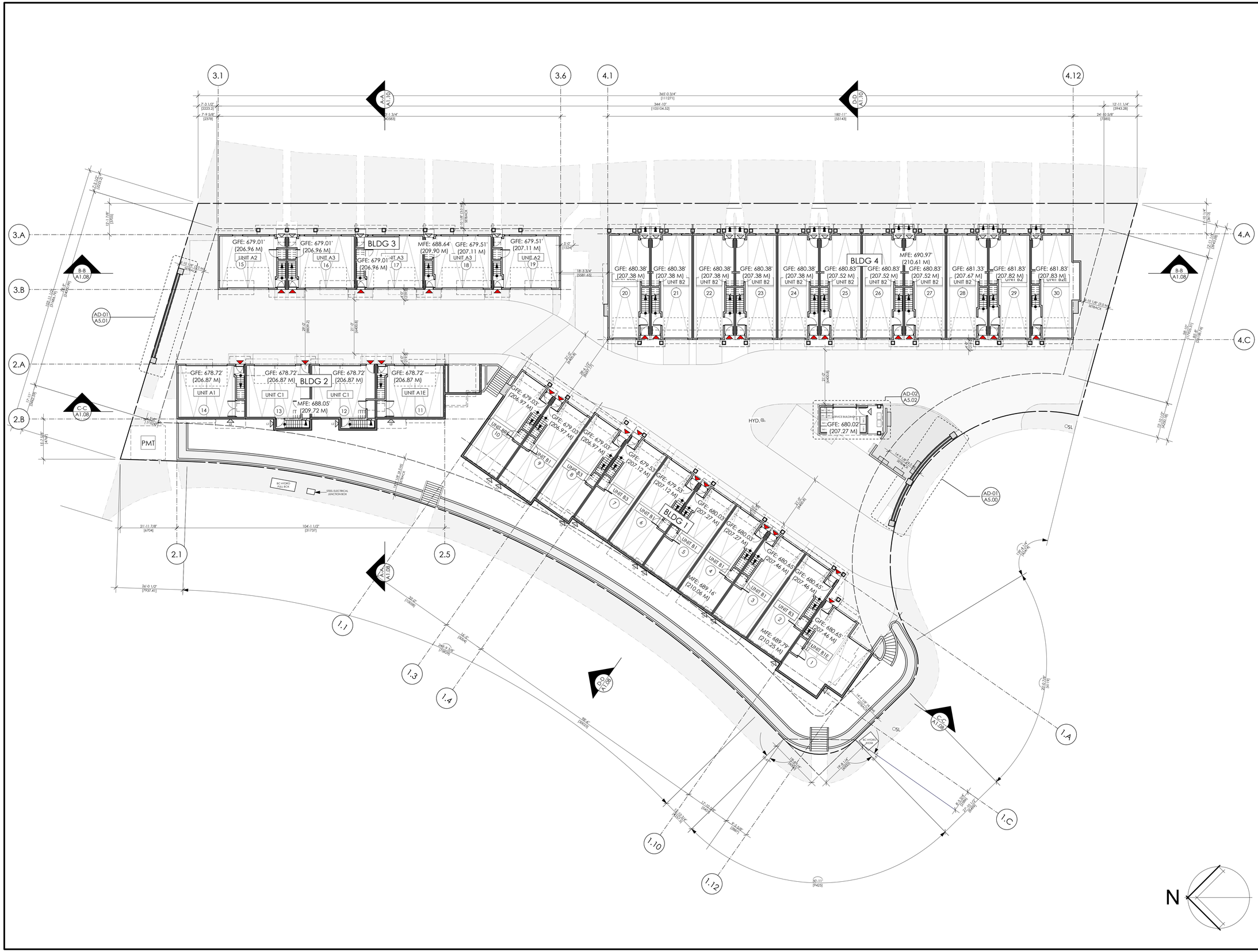
DRAWING

GROUND LEVEL PLAN

SCALE 1/16"=1'-0"

DATE NOV. 23. 2020

SHEET A1.03



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REVISIONS

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ISSUE FOR BUILDING PERMIT	NOV 23, 2020

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

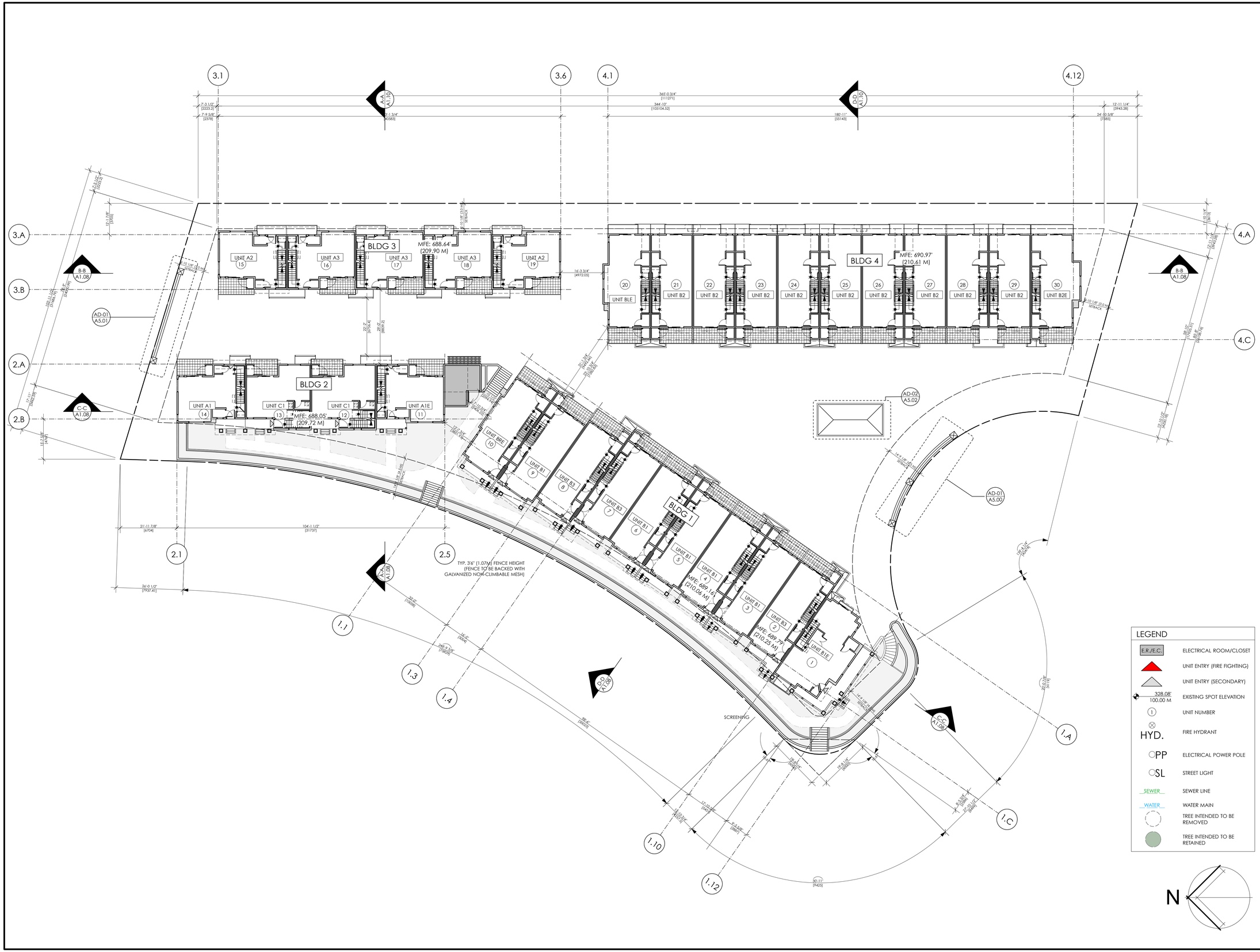
DRAWING

LEVEL 1 PLAN

SCALE 1/16"=1'-0"

DATE NOV.23, 2020

SHEET A1.04



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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

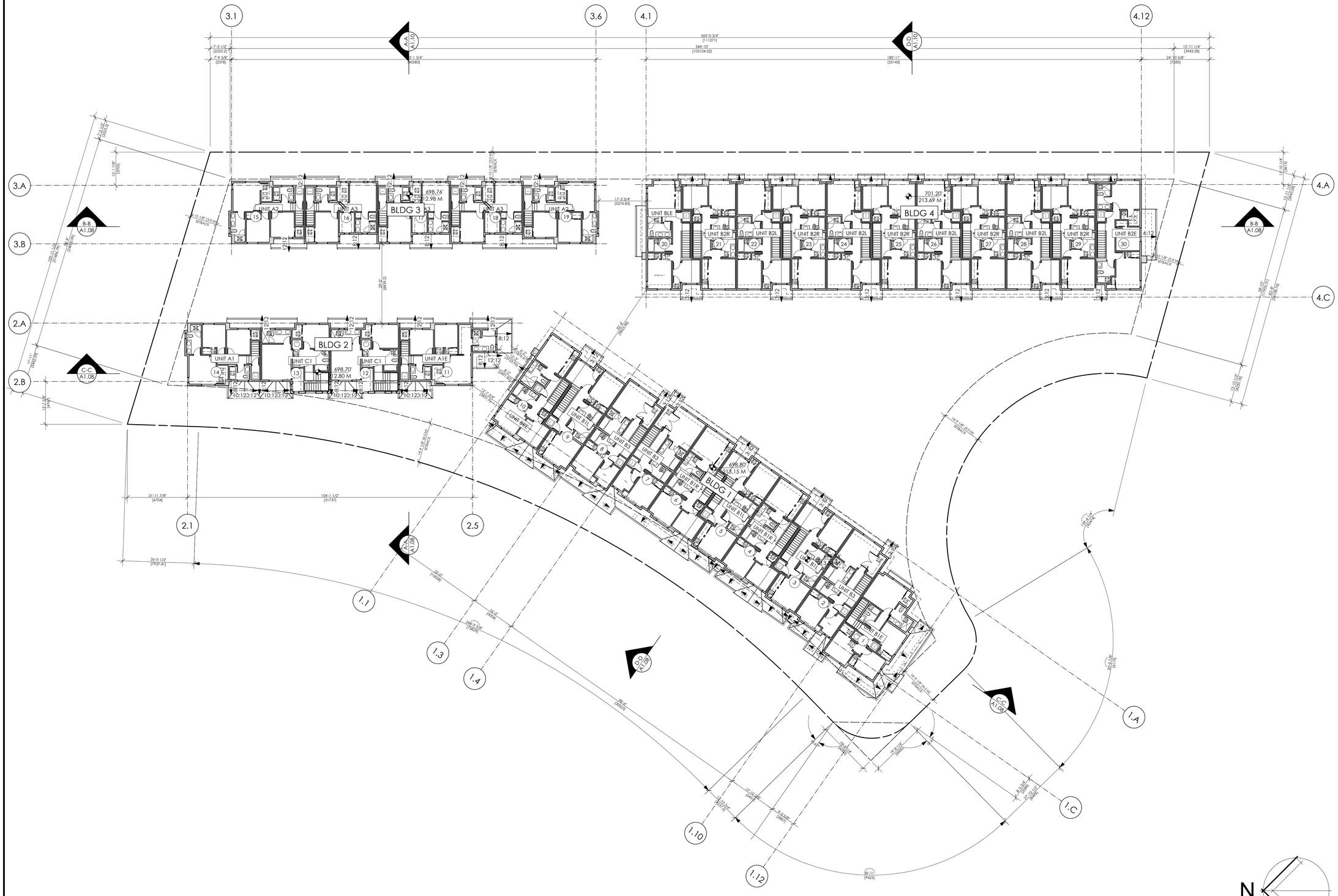
DRAWING

LEVEL 2 PLAN

SCALE 1/16"=1'-0"

DATE NOV. 23, 2020

SHEET A1.05



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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

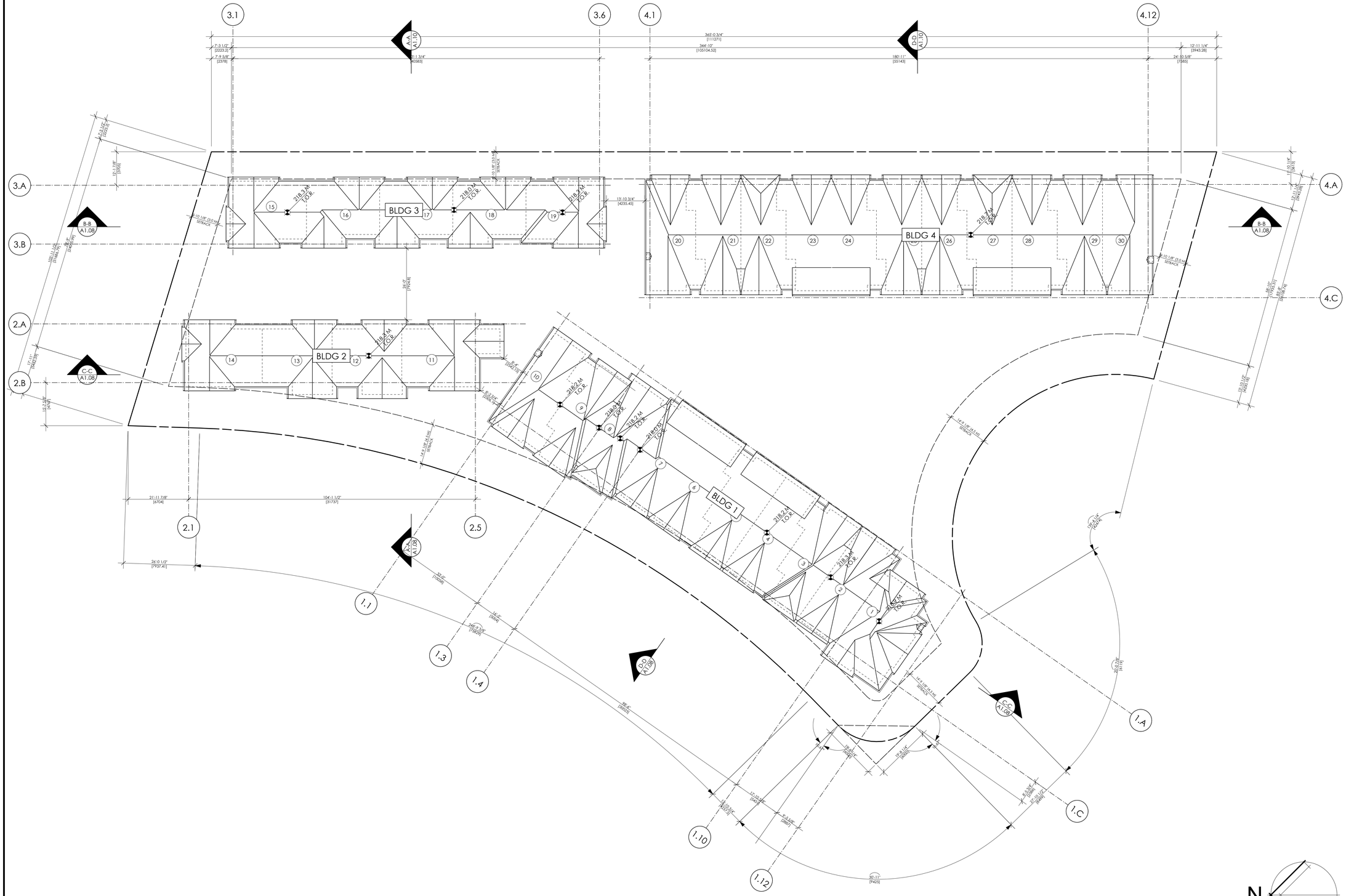
DRAWING

LEVEL 3
PLAN

SCALE
1/16"=1'-0"

DATE
NOV.23, 2020

SHEET
A1.06



NOTES:
1. SNOW RETENTION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SET.

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

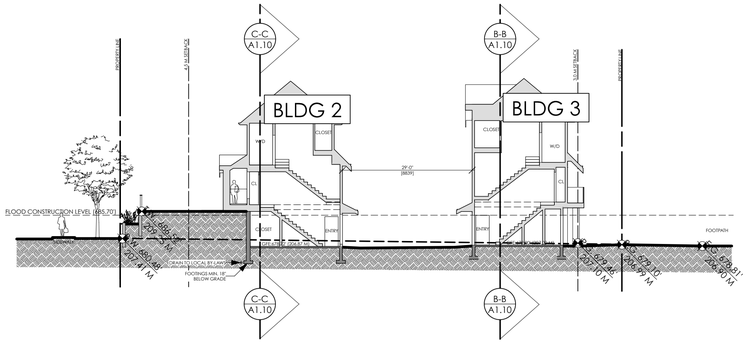
DRAWING

LEVEL 4 PLAN

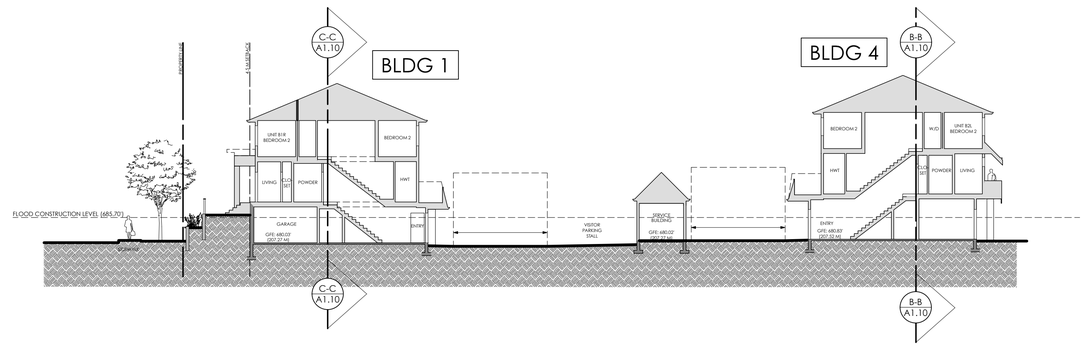
SCALE 1/16"=1'-0"

DATE NOV.23, 2020

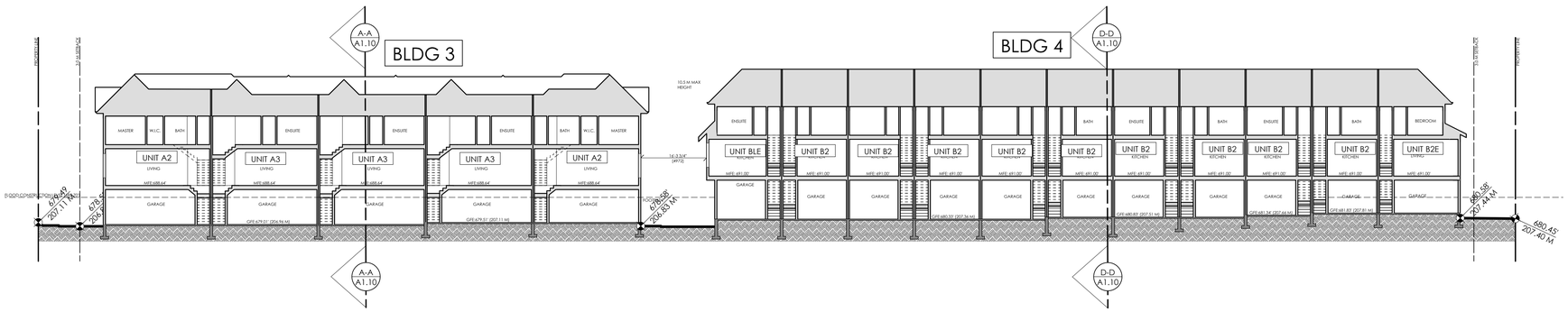
SHEET A1.07



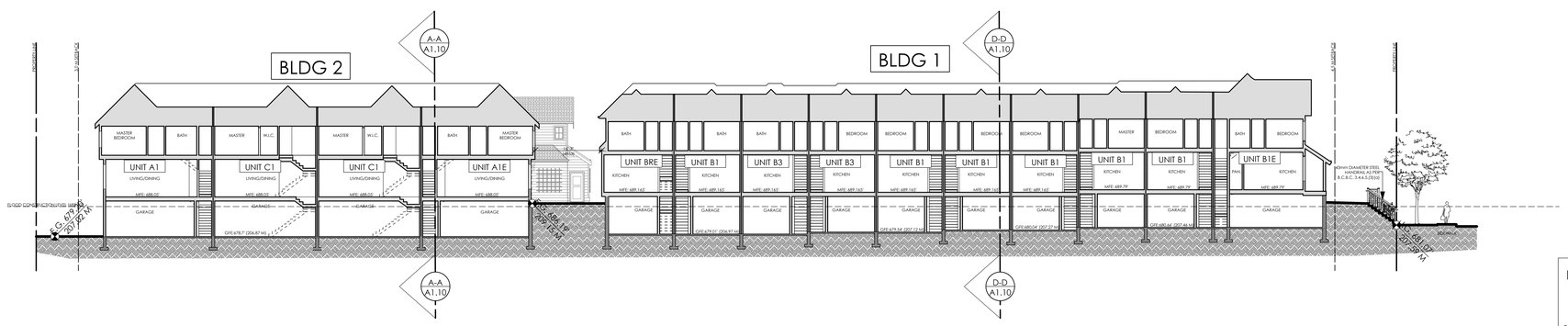
SITE SECTION A-A
1/16"=1'-0"



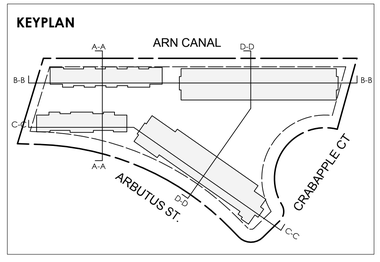
SITE SECTION D-D
1/16"=1'-0"



SITE SECTION B-B
1/16"=1'-0"



SITE SECTION C-C
1/16"=1'-0"



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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

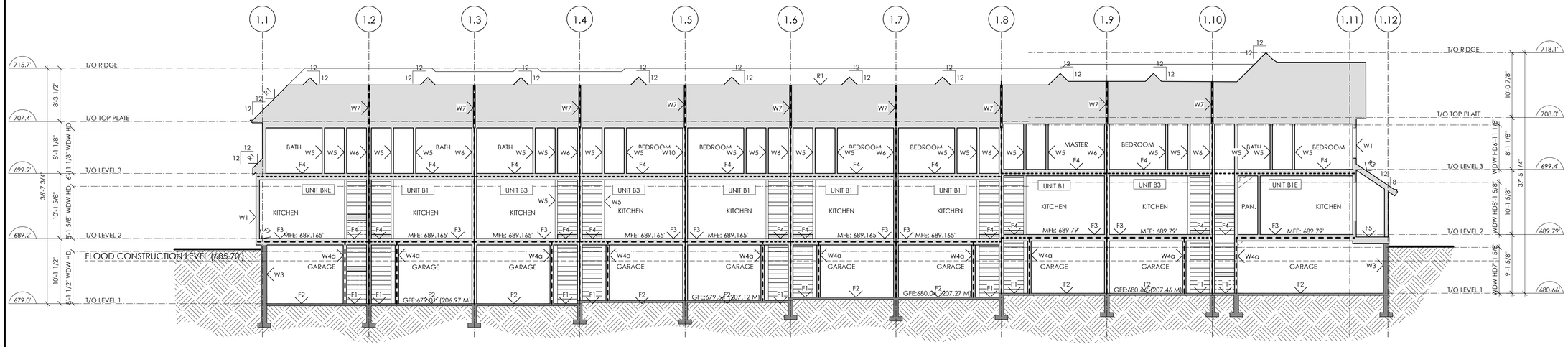
DRAWING

SITE SECTIONS

SCALE 1/16"=1'-0"

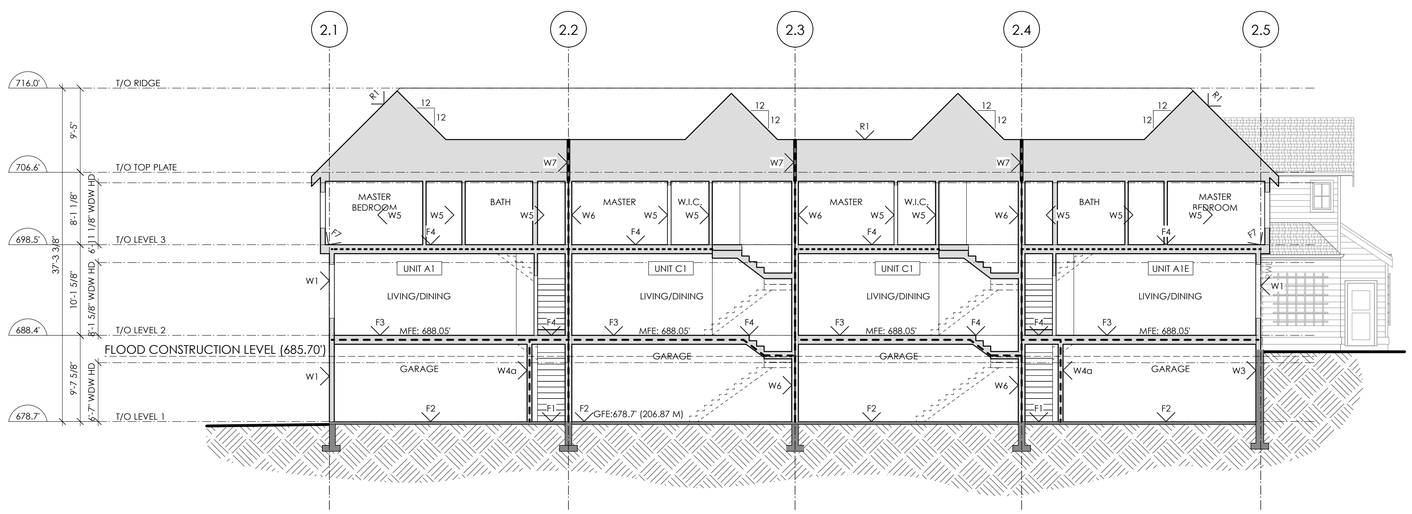
DATE NOV. 23, 2020

SHEET A1.08



BUILDING 1 SECTION

1/8"=1'-0"



BUILDING 2 SECTION

1/8"=1'-0"

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

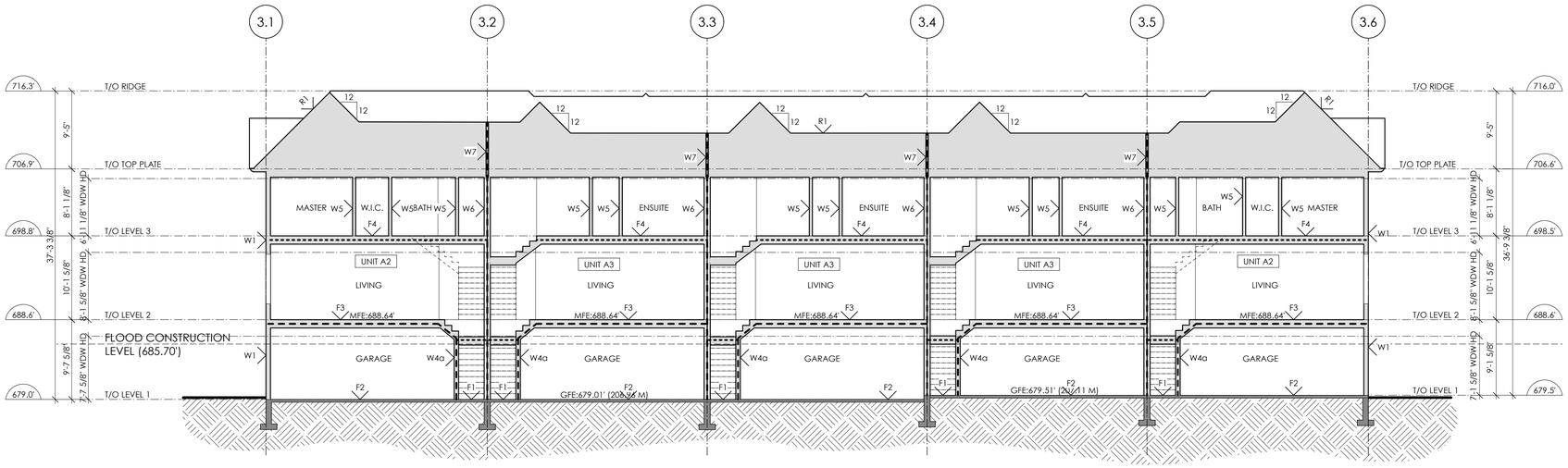
DRAWING

SITE SECTIONS

SCALE 1/8"=1'-0"

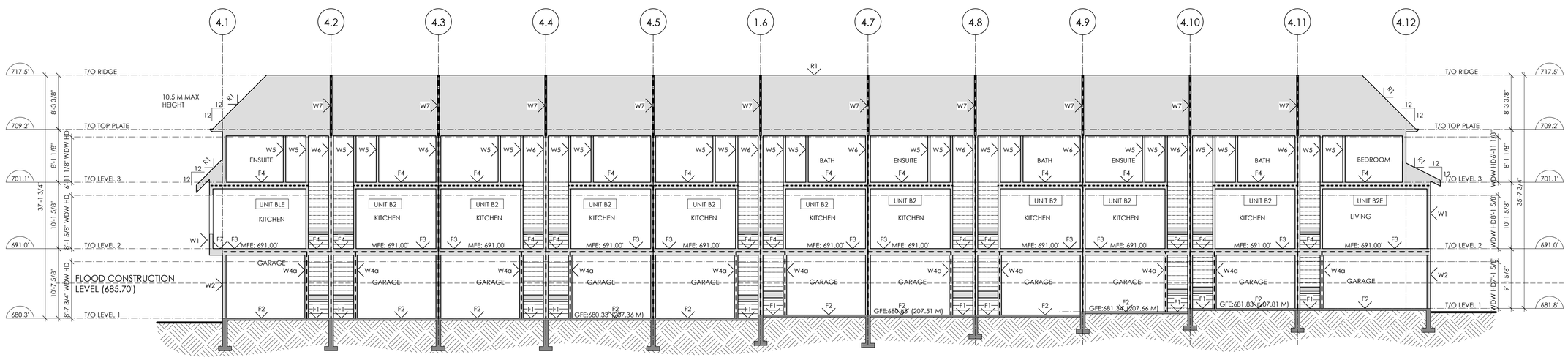
DATE NOV.23, 2020

SHEET A1.09



BUILDING 3 SECTION

1/8"=1'-0"



BUILDING 4 SECTION

1/8"=1'-0"

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MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

DRAWING

SITE SECTIONS

SCALE 1:200

DATE NOV. 23, 2020

SHEET A1.10

LEGEND

A	COLOUR SCHEME A
B	COLOUR SCHEME B

N

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

DRAWING

COLOUR SCHEME KEY PLAN

SCALE 1:200

DATE NOV. 23, 2020

SHEET A1.11

FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO ROOFING
COLOUR: ANTIQUE BLACK

PAINTED WOOD BRACKETS
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

PAINTED WOOD SHUTTER
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

8' 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

PAINTED WOOD TRIM
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

VINYL WINDOWS
COLOUR: WHITE

ALUMINUM GUARDRAILS
COLOUR: FACTORY BLACK

PAINTED WOOD COLUMN
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

PAINTED WOOD DOORS
PAINT TO MATCH COLOUR: WITALL BROWN (MAN: BENJAMIN MOORE)
MAN: FARROW & BALL

15 1/4" FIBRE CEMENT SHINGLES
MAN: JAMES HARDIE - STRAIGHT EDGE
COLOUR: KHAKI BROWN

CONCRETE
PAINT TO MATCH COLOUR: KHAKI BROWN

9 1/4" HORIZONTAL TRIM BOARD
MAN: JAMES HARDIE - RUSTIC GREEN
COLOUR: ARCTIC WHITE

EAST (ARN CANAL) ELEVATION
BUILDING 4

FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

PAINTED METAL CHIMNEY CAP
COLOUR: BLACK

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO ROOFING
COLOUR: ANTIQUE BLACK

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

15 1/4" FIBRE CEMENT SHINGLE
MAN: JAMES HARDIE - STRAIGHT EDGE
COLOUR: KHAKI BROWN

VINYL WINDOWS
COLOUR: WHITE

8 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

PAINTED WOOD TRIM
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: JAMES HARDIE)

ALUMINUM GUARDRAILS
COLOUR: FACTORY BLACK

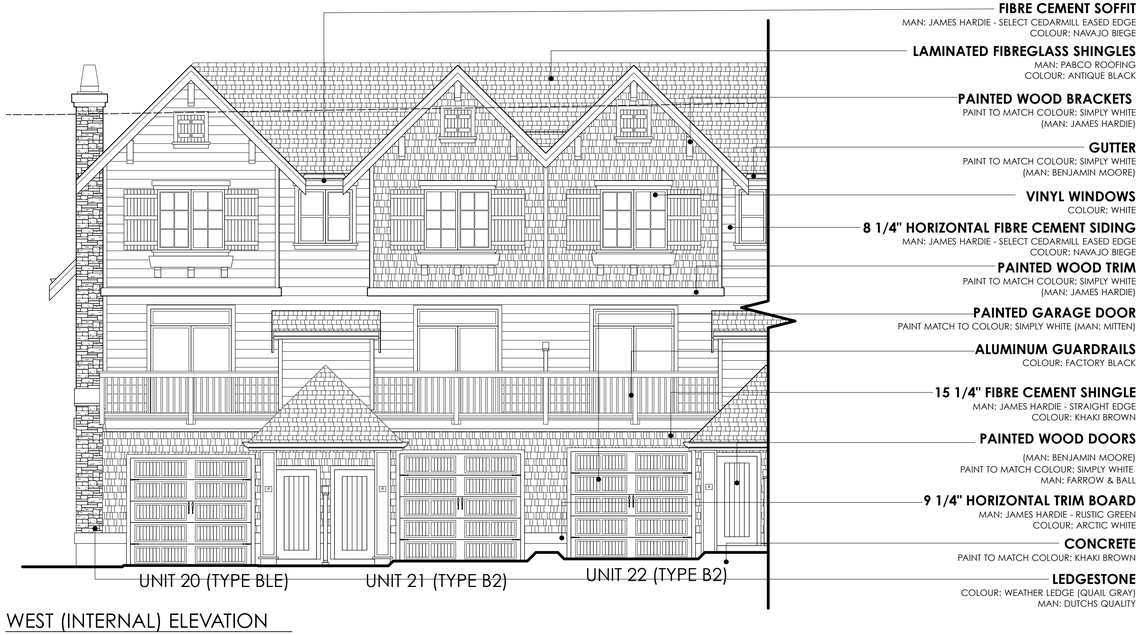
PAINTED WOOD COLUMN
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

LEDGESTONE
COLOUR: WEATHER LEDGE (QUAIL GRAY)
MAN: DUTCH QUALITY

CONCRETE
PAINT TO MATCH COLOUR: KHAKI BROWN

9' 1/4" HORIZONTAL TRIM BOARD
MAN: JAMES HARDIE - RUSTIC GREEN
COLOUR: ARCTIC WHITE

SOUTH (FOOTPATH) ELEVATION
BUILDING 4



FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO ROOFING
COLOUR: ANTIQUE BLACK

PAINTED WOOD BRACKETS
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: JAMES HARDIE)

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

VINYL WINDOWS
COLOUR: WHITE

8 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

PAINTED WOOD TRIM
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: JAMES HARDIE)

PAINTED GARAGE DOOR
PAINT MATCH TO COLOUR: SIMPLY WHITE (MAN: MITTEN)

ALUMINUM GUARDRAILS
COLOUR: FACTORY BLACK

15 1/4" FIBRE CEMENT SHINGLE
MAN: JAMES HARDIE - STRAIGHT EDGE
COLOUR: KHAKI BROWN

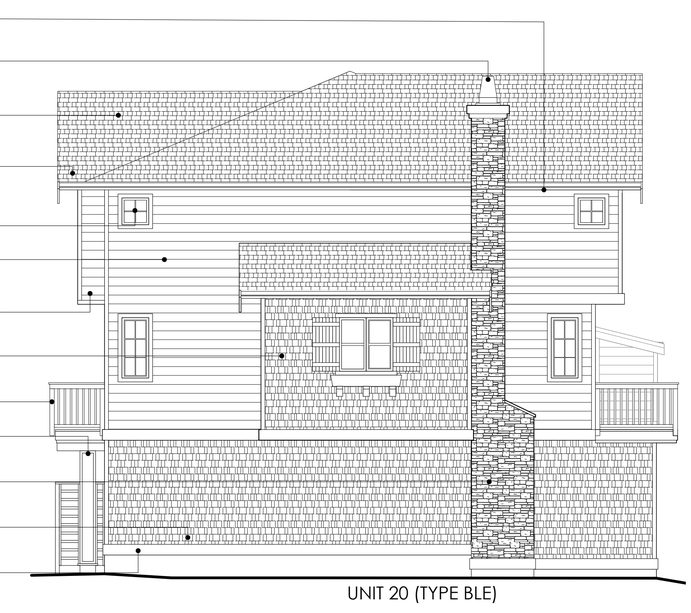
PAINTED WOOD DOORS
(MAN: BENJAMIN MOORE)
PAINT TO MATCH COLOUR: SIMPLY WHITE
MAN: FARROW & BALL

9 1/4" HORIZONTAL TRIM BOARD
MAN: JAMES HARDIE - RUSTIC GREEN
COLOUR: ARCTIC WHITE

CONCRETE
PAINT TO MATCH COLOUR: KHAKI BROWN

LEDGESTONE
COLOUR: WEATHER LEDGE (QUAIL GRAY)
MAN: DUTCHS QUALITY

WEST (INTERNAL) ELEVATION
BUILDING 4



FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

PAINTED METAL CHIMNEY CAP
COLOUR: BLACK

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO ROOFING
COLOUR: ANTIQUE BLACK

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

VINYL WINDOWS
COLOUR: WHITE

8 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

PAINTED WOOD TRIM
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: JAMES HARDIE)

15 1/4" FIBRE CEMENT SHINGLE
MAN: JAMES HARDIE - STRAIGHT EDGE
COLOUR: KHAKI BROWN

ALUMINIUM GUARDRAILS
COLOUR: FACTORY BLACK

PAINTED WOOD COLUMN
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

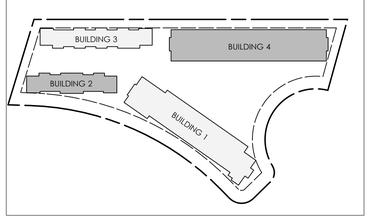
LEDGESTONE
COLOUR: WEATHER LEDGE (QUAIL GRAY)
MAN: DUTCH QUALITY

9 1/4" HORIZONTAL TRIM BOARD
MAN: JAMES HARDIE - RUSTIC GREEN
COLOUR: ARCTIC WHITE

CONCRETE
PAINT TO MATCH COLOUR: KHAKI BROWN

NORTH (INTERNAL) ELEVATION
BUILDING 4

KEYPLAN



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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

DRAWING

COLOUR SCHEME A

SCALE
NTS

DATE
NOV. 23, 2020

SHEET
A1.12

FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO ROOFING
COLOUR: ANTIQUE BLACK

PAINTED WOOD BRACKETS
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

PAINTED WOOD SHUTTER
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

8 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
PAINT TO MATCH COLOUR: IRON GRAY
(MAN: MITTEN)

15 1/4"FIBRE CEMENT SHINGLES
MAN: JAMES HARDIE - STRAIGHT EDGE
PAINT TO MATCH COLOUR: NAVAJO BIEGE

PAINTED WOOD TRIM
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

VINYL WINDOWS
COLOUR: WHITE

ALUMINIUM GUARDRAILS
COLOUR: FACTORY BLACK

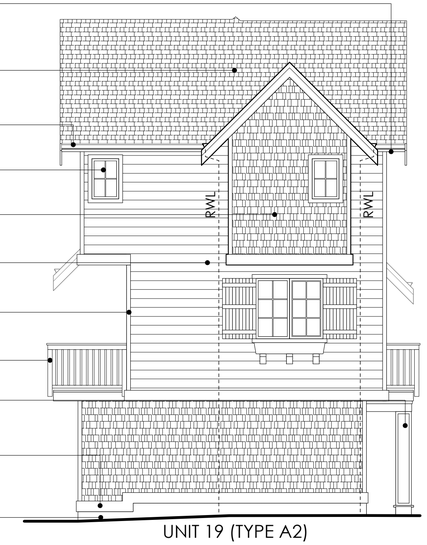
PAINTED WOOD COLUMN
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

PAINTED WOOD DOORS
PAINT TO MATCH COLOUR: WITALL BROWN (MAN: BENJAMIN MOORE)
MAN: FARROW & BALL

CONCRETE
PAINT TO MATCH COLOUR: NAVAJO BIEGE

9' 1/4" HORIZONTAL TRIM BOARD
MAN: JAMES HARDIE - RUSTIC GREEN
COLOUR: ARCTIC WHITE

EAST (ARN CANAL) ELEVATION
BUILDING 3



FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO ROOFING
COLOUR: ANTIQUE BLACK

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

VINYL WINDOWS
COLOUR: WHITE

15 1/4" FIBRE CEMENT SHINGLES
MAN: JAMES HARDIE - STRAIGHT EDGE
COLOUR: NAVAJO BIEGE

8 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: IRON GRAY

PAINTED WOOD TRIM
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

ALUMINIUM GUARDRAILS
COLOUR: FACTORY BLACK

PAINTED WOOD COLUMN
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

9' 1/4" HORIZONTAL TRIM BOARD
MAN: JAMES HARDIE - RUSTIC GREEN
COLOUR: ARCTIC WHITE

CONCRETE
PAINT TO MATCH COLOUR: NAVAJO BIEGE

NORTH (INTERNAL) ELEVATION
BUILDING 3

FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

PAINTED WOOD SHUTTER
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO
COLOUR: ANTIQUE BLACK

PAINTED WOOD BRACKETS
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: JAMES HARDIE)

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

8 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: IRON GRAY

PAINTED WOOD TRIM
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: JAMES HARDIE)

VINYL WINDOWS
COLOUR: WHITE

ALUMINUM GUARDRAILS
COLOUR: FACTORY BLACK

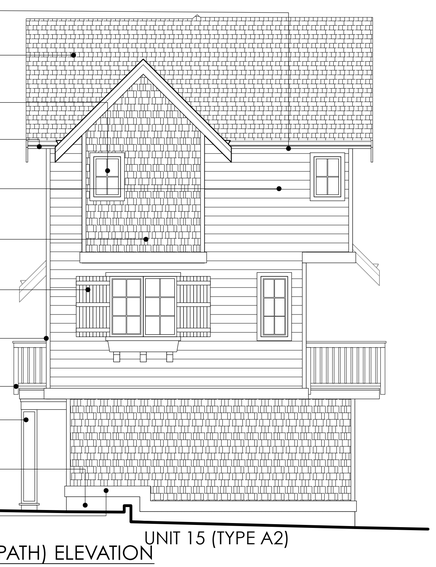
PAINTED GARAGE DOOR
PAINT TO MATCH COLOUR: SIMPLY WHITE (MAN: MITTEN)

PAINTED WOOD DOORS
PAINT TO MATCH COLOUR: SIMPLY WHITE (MAN: BENJAMIN MOORE)
MAN: FARROW & BALL

15 1/4" FIBRE CEMENT SHINGLES
MAN: JAMES HARDIE - STRAIGHT EDGE
COLOUR: NAVAJO BIEGE

CONCRETE
PAINT TO MATCH COLOUR: NAVAJO BIEGE

WEST (INTERNAL) ELEVATION
BUILDING 3



FIBRE CEMENT SOFFIT
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: NAVAJO BIEGE

LAMINATED FIBREGLASS SHINGLES
MAN: PABCO ROOFING
COLOUR: ANTIQUE BLACK

VINYL WINDOWS
COLOUR: WHITE

GUTTER
PAINT TO MATCH COLOUR: SIMPLY WHITE
(MAN: BENJAMIN MOORE)

8 1/4" HORIZONTAL FIBRE CEMENT SIDING
MAN: JAMES HARDIE - SELECT CEDARMILL EASED EDGE
COLOUR: IRON GRAY

15 1/4" FIBRE CEMENT SHINGLES
MAN: JAMES HARDIE - STRAIGHT EDGE
COLOUR: NAVAJO BIEGE

PAINTED WOOD SHUTTER
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

PAINTED WOOD TRIM
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

ALUMINUM GUARDRAILS
COLOUR: FACTORY BLACK

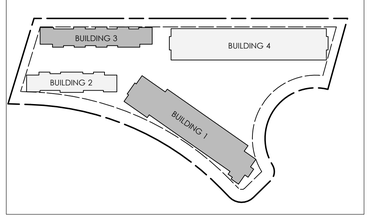
PAINTED WOOD COLUMN
MAN: BENJAMIN MOORE
COLOUR: SIMPLY WHITE

CONCRETE
PAINT TO MATCH COLOUR: NAVAJO BIEGE

9' 1/4" HORIZONTAL TRIM BOARD
MAN: JAMES HARDIE - RUSTIC GREEN
COLOUR: ARCTIC WHITE

SOUTH (FOOTPATH) ELEVATION
BUILDING 3

KEYPLAN



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REVISIONS

ISSUE FOR DEVELOPMENT PERMIT	FEB 13, 2020
RE-ISSUE FOR DEVELOPMENT PERMIT	AUG 5, 2020
ISSUE FOR BUILDING PERMIT	NOV 23, 2020

FORMWERKS
ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

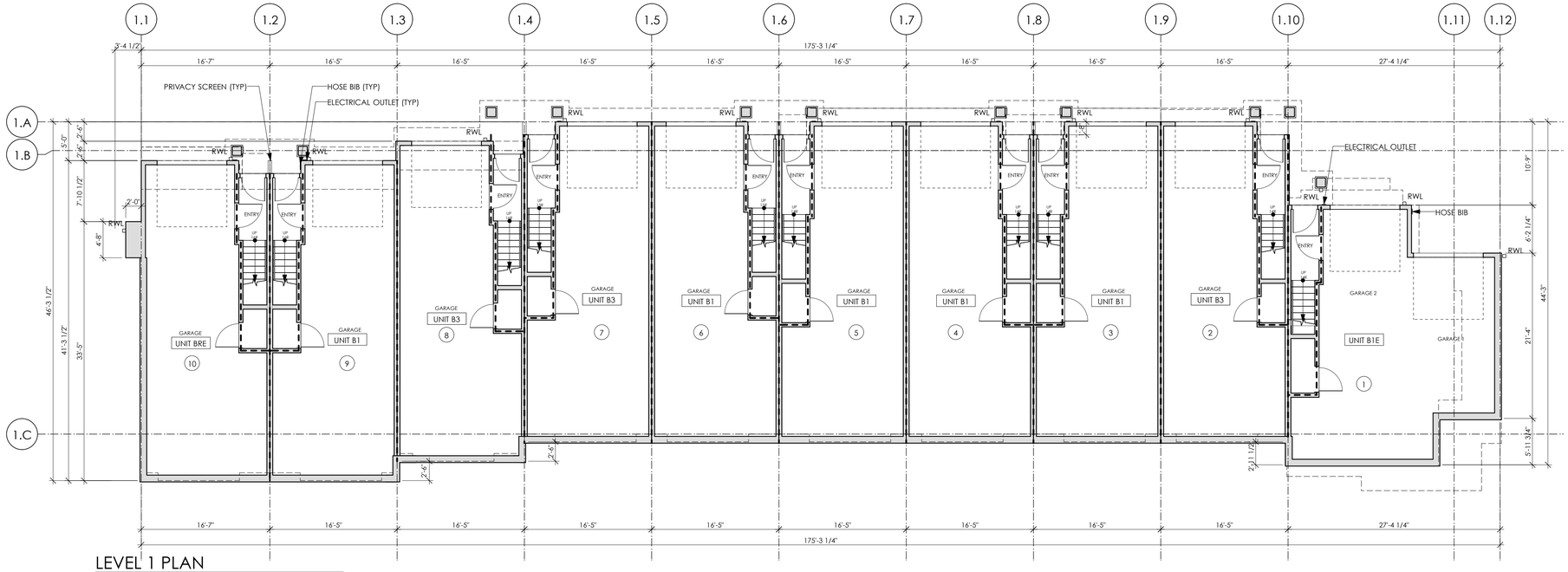
DRAWING

COLOUR SCHEME B

SCALE
NTS

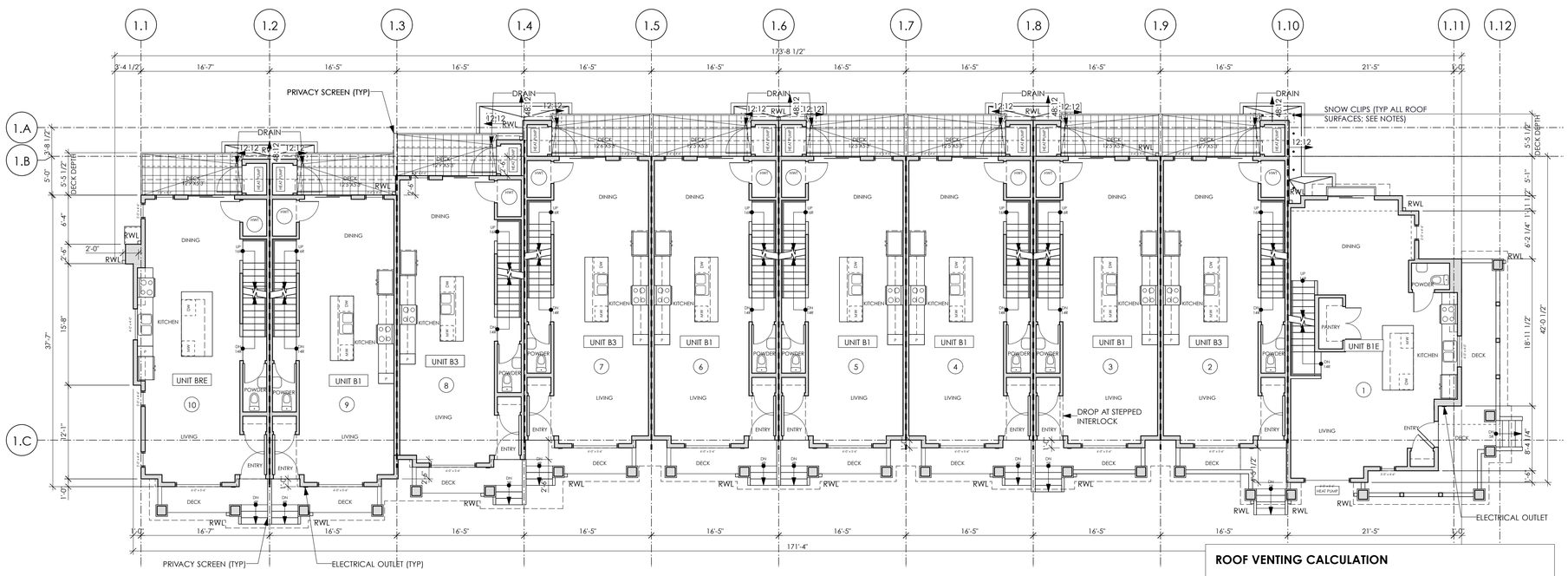
DATE
NOV.23, 2020

SHEET
A1.13



LEVEL 1 PLAN

BUILDING 1



LEVEL 2 PLAN

BUILDING 1

NOTES:

1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES
   SPACING: 24" HORIZONTALLY O.C. AND 28 1/8" VERTICALLY O.C. OR SPECIFIED BY ENGINEER

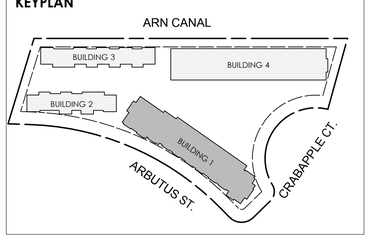
ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
UNIT A1	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
UNIT BLE	653.9 sq.ft.	313.9 sq.in.	1	45.5 sq.ft.
UNIT BRE	643.8 sq.ft.	309.0 sq.in.	1	45.5 sq.ft.
UNIT C1	580.9 sq.ft.	278.8 sq.in.	1	57.0 sq.ft.

CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

KEYPLAN



LEGEND

- 45 MIN. F.R.R.
- 1 HR. F.R.R.

NOTE: DASHED LINE DENOTES RATED ASSEMBLY LOCATION ONLY. REFER TO CONSTRUCTION TYPES FOR RATED MEMBRANE LOCATION.

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REVISIONS

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FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

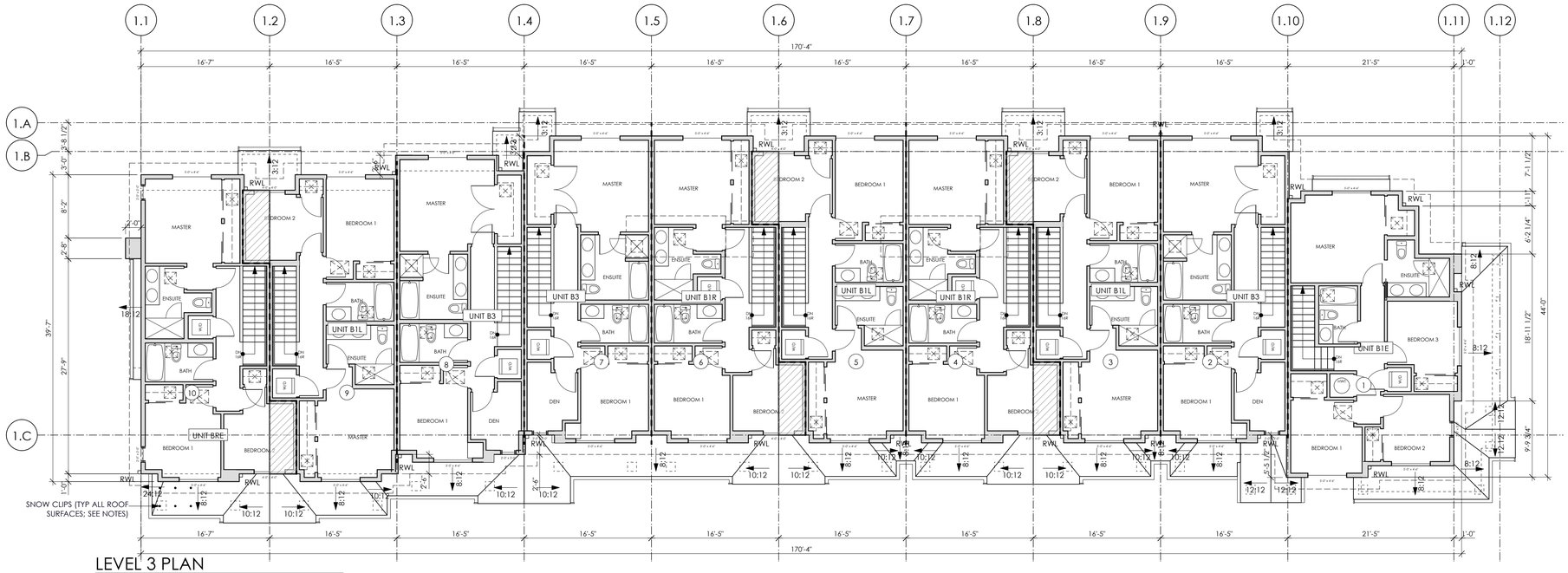
DRAWING

BUILDING 1
PLANS
LEVEL 1-2

SCALE: 1/8"=1'-0"

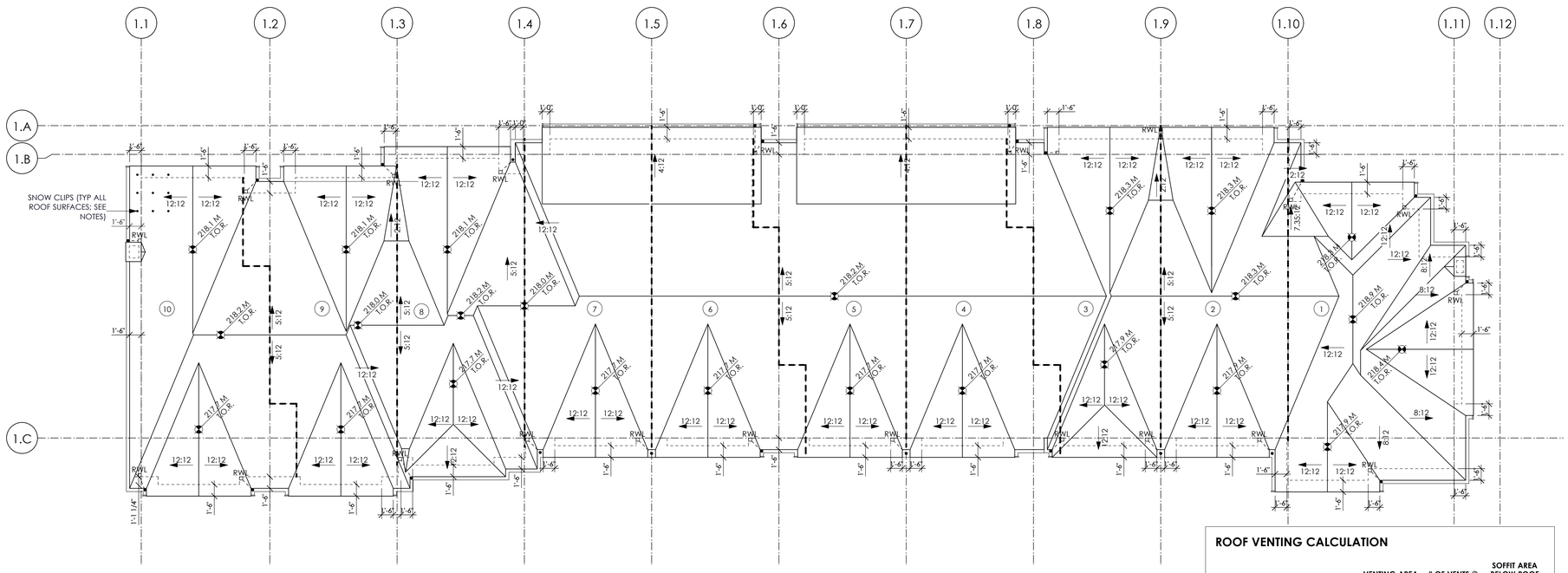
DATE: NOV. 23, 2020

SHEET: A2.00



LEVEL 3 PLAN

BUILDING 1



ROOF PLAN

BUILDING 1

NOTES:

1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES SPACING: 24" HORIZONTALLY O.C. AND 28 1/8" VERTICALLY O.C. OR SPECIFIED BY ENGINEER

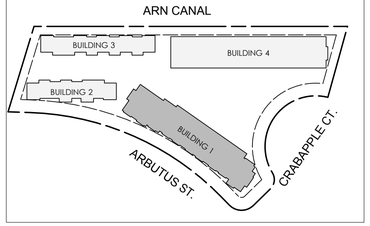
ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
UNIT A1	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
UNIT BLE	653.9 sq.ft.	313.9 sq.in.	1	45.5 sq.ft.
UNIT BRE	643.8 sq.ft.	309.0 sq.in.	1	45.5 sq.ft.
UNIT C1	580.9 sq.ft.	278.8 sq.in.	1	57.0 sq.ft.

CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

KEYPLAN



LEGEND

- 45 MIN. F.R.R.
- 1 HR. F.R.R.

NOTE: DASHED LINE DENOTES RATED ASSEMBLY LOCATION ONLY. REFER TO CONSTRUCTION TYPES FOR RATED MEMBRANE LOCATION.

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Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

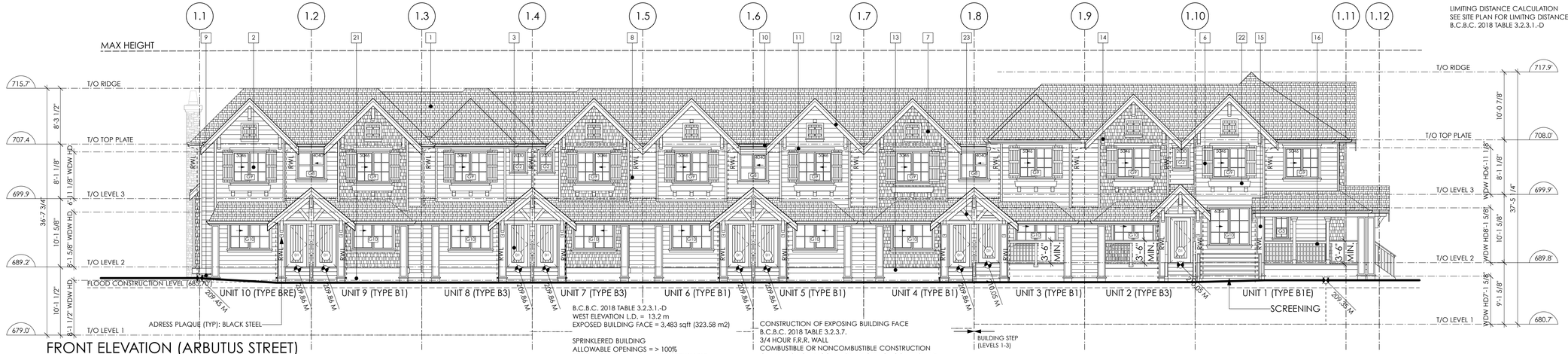
DRAWING

BUILDING 1
PLANS
LEVEL 3 - ROOF

SCALE 1/8"=1'-0"

DATE NOV. 23, 2020

SHEET A2.01



LIMITING DISTANCE CALCULATION
SEE SITE PLAN FOR LIMITING DISTANCES L.D.
B.C.B.C. 2018 TABLE 3.2.3.1.-D

B.C.B.C. 2018 TABLE 3.2.3.1.-D
WEST ELEVATION L.D. = 13.2 m
EXPOSED BUILDING FACE = 3,483 sqft (323.58 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = > 100%
PROPOSED OPENINGS = NOT APPLICABLE

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

FRONT ELEVATION (ARBUTUS STREET)
BUILDING 1

REAR ELEVATION (INTERNAL ROAD)
BUILDING 1

B.C.B.C. 2018 TABLE 3.2.3.1.-D
EAST ELEVATION L.D. = 4.42 m
EXPOSED BUILDING FACE = 3,699 sqft (343.65 m2)
EXCLUDING GARAGES 1 HR FRR SEPARATION

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 34%
PROPOSED OPENINGS = 23.3% 861 sqft (79.99 m2)

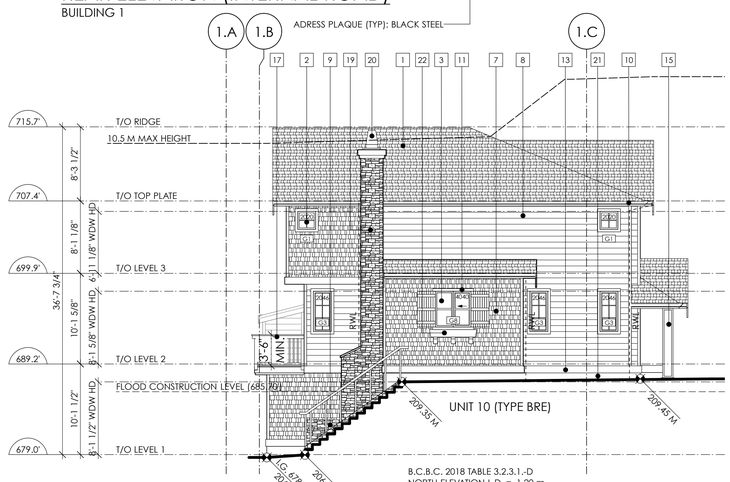
CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE NONCOMBUSTIBLE

GARAGES SEPARATED FROM REST OF BUILDING BY 1 HOUR F.R.R. SEPARATION AND ULC CLOSURES
UNIT 1 GARAGE
EXPOSED BUILDING FACE = 186 sqft (17.28 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = > 100%
PROPOSED OPENINGS = 77.4% 144 sqft (13.38 m2)

UNITS 2 - 10 TYPICAL GARAGE
EXPOSED BUILDING FACE = 100 sqft (9.29 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = > 100%
PROPOSED OPENINGS = 72% 72 sqft (6.69 m2)

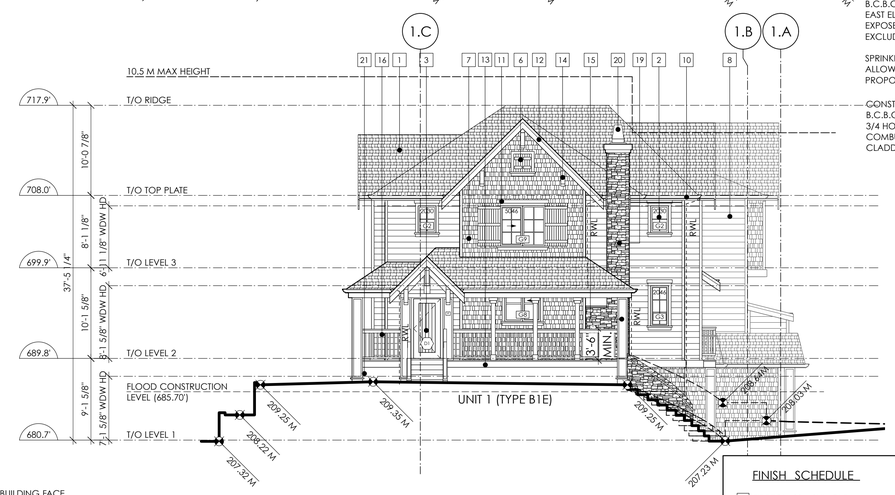


B.C.B.C. 2018 TABLE 3.2.3.1.-D
NORTH ELEVATION L.D. = 1.20 m
EXPOSED BUILDING FACE = 864 sqft (80.27 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 14%
PROPOSED OPENINGS = 8.5% 73 sqft (6.78 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
1 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE NONCOMBUSTIBLE

SIDE ELEVATION (INTERNAL)
BUILDING 1



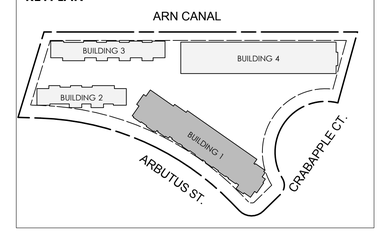
B.C.B.C. 2018 TABLE 3.2.3.1.-D
SOUTH ELEVATION L.D. = 14.73 m
EXPOSED BUILDING FACE = 960 sqft (89.19 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = >100%
PROPOSED OPENINGS = NOT APPLICABLE

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

SIDE ELEVATION (ARBUTUS STREET)
BUILDING 1

KEYPLAN



FINISH SCHEDULE

1 FIBREGLASS SHINGLE	7 FIBRE CEMENT SHAKE	13 PAINTED 2X10 BELLY BOARD	19 FAUX CHIMNEY
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	8 FIBRE CEMENT SIDING	14 PAINTED WOODBRACKETS	20 METAL CHIMNEY CAP
3 INSULATED WOOD PANEL DOOR	9 LEDGESTONE	15 WOOD CLAD PANEL POST	21 PAINTED CONCRETE
4 PAINTED METAL PANEL ROLL UP GARAGE DOOR	10 PREFINISHED METAL FASCIA GUTTER	16 PAINTED WOODRAILING	22 WOODPLANT SHELF
5 DOUBLE PANED SEALED UNIT VINYL SLIDERS	11 PAINTED WOODTRIM	17 ALUMINUM RAILING	23 DECORATIVE GABLE
6 WOOD SHUTTERS	12 PAINTED 2X BARGE BOARD WITH 1X TRIM	18 VERTICAL WOOD SLAT PRIVACY SCREEN	24 PRIVACY FENCE

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Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

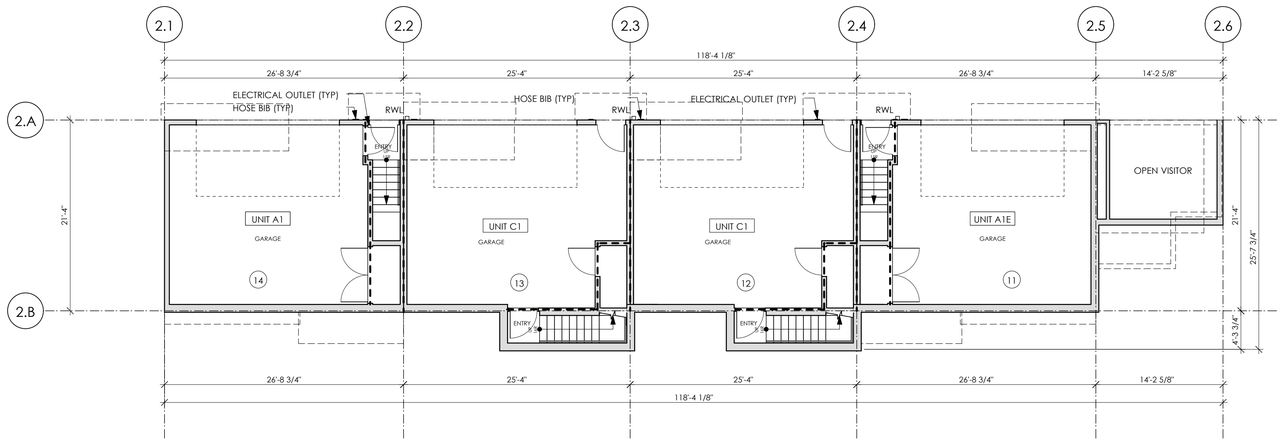
DRAWING

BUILDING 1 ELEVATIONS

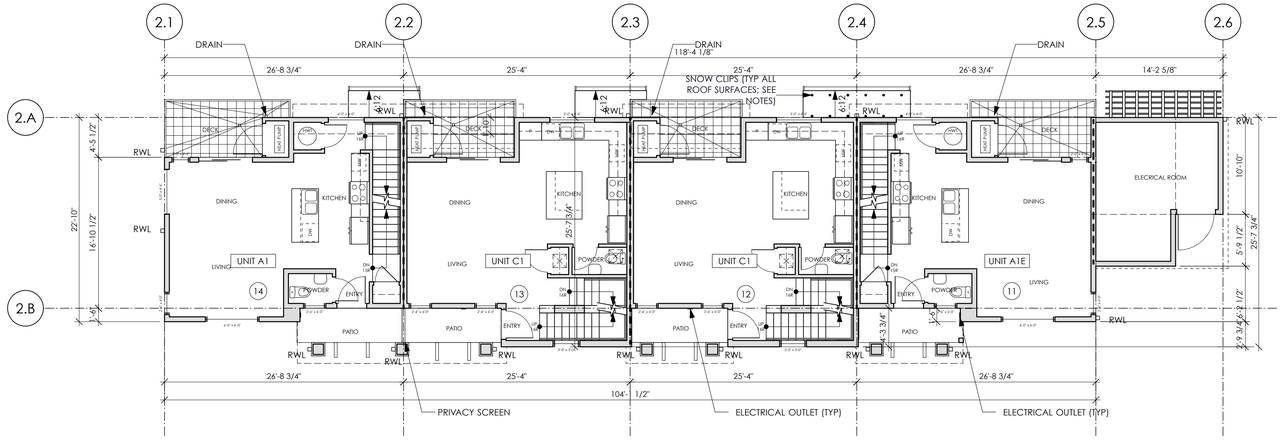
SCALE 1/8"=1'-0"

DATE NOV. 23, 2020

SHEET A2.02



LEVEL 1 PLAN
BUILDING 2



LEVEL 2 PLAN
BUILDING 2

NOTES:
1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES
SPACING: 24" HORIZONTALLY O.C. AND 28 1/8" VERTICALLY O.C. OR SPECIFIED BY ENGINEER

ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
UNIT A1	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
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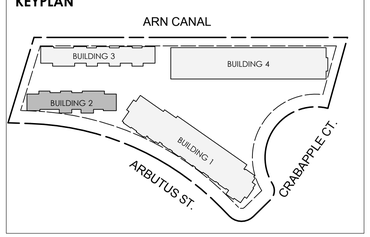
CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

KEYPLAN



LEGEND

- - - - - - - - - - 45 MIN. F.R.R.
— — — — — — — 1 HR. F.R.R.

NOTE: DASHED LINE DENOTES RATED ASSEMBLY LOCATION ONLY. REFER TO CONSTRUCTION TYPES FOR RATED MEMBRANE LOCATION.

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

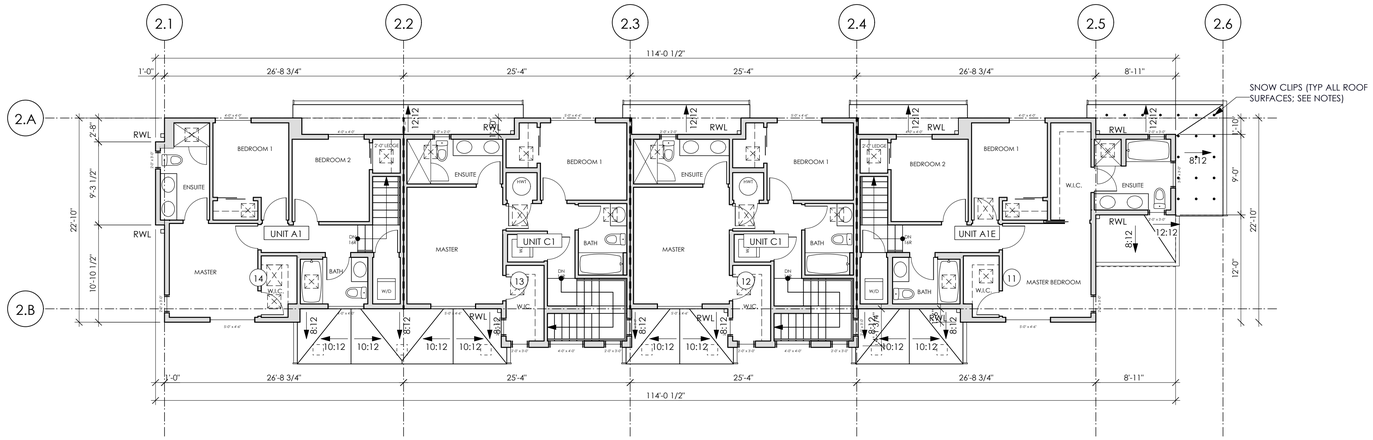
DRAWING

BUILDING 2 PLANS LEVEL 1-2

SCALE 1/8"=1'-0"

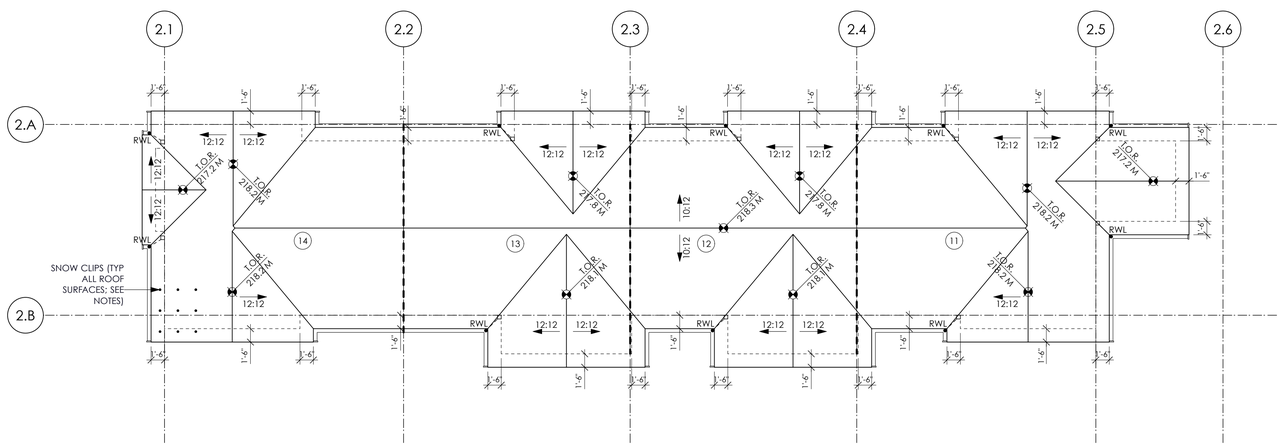
DATE NOV. 23, 2020

SHEET A2.03



LEVEL 3 PLAN

BUILDING 2



ROOF PLAN

BUILDING 2

ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
UNIT A1	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
UNIT BLE	653.9 sq.ft.	313.9 sq.in.	1	45.5 sq.ft.
UNIT BRE	643.8 sq.ft.	309.0 sq.in.	1	45.5 sq.ft.
UNIT C1	580.9 sq.ft.	278.8 sq.in.	1	57.0 sq.ft.

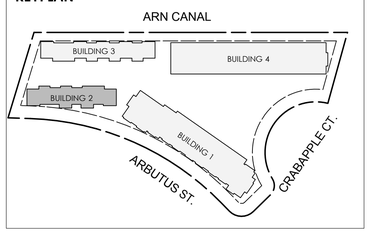
CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

NOTES:

1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES
   SPACING: 24" HORIZONTALLY O.C. AND 28 1/8" VERTICALLY O.C. OR SPECIFIED BY ENGINEER

KEYPLAN



LEGEND

45 MIN. F.R.R.

1 HR. F.R.R.

NOTE: DASHED LINE DENOTES RATED ASSEMBLY LOCATION ONLY. REFER TO CONSTRUCTION TYPES FOR RATED MEMBRANE LOCATION.

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REVISIONS

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ISSUE FOR BUILDING PERMIT	NOV 23, 2020

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

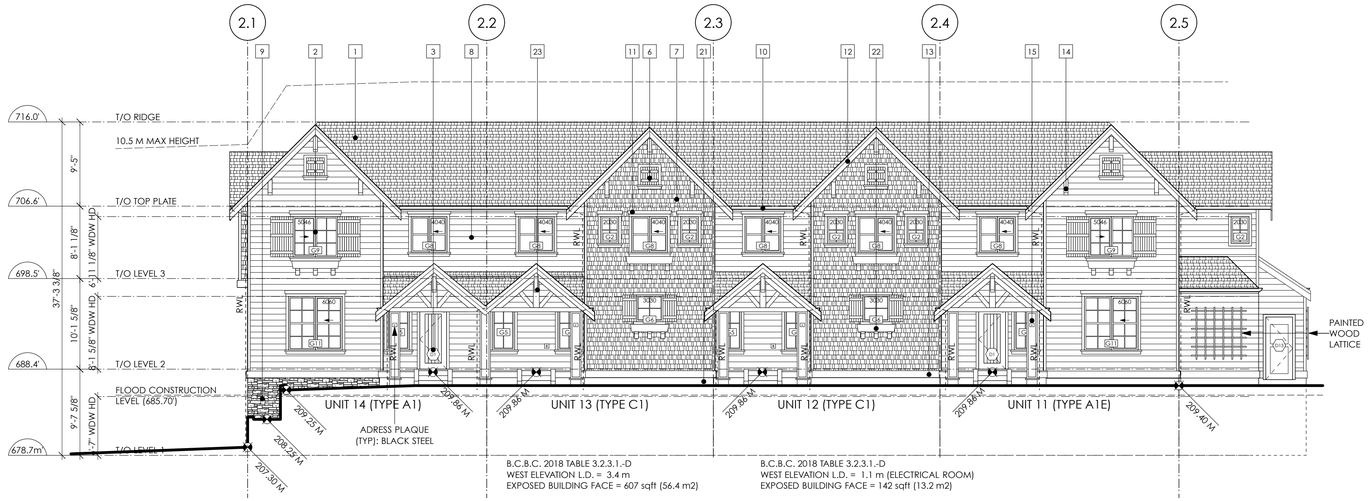
DRAWING

BUILDING 2 PLANS LEVEL 3 - ROOF

SCALE 1/8"=1'-0"

DATE NOV. 23, 2020

SHEET A2.04



FRONT ELEVATION (ARBUTUS STREET)

BUILDING 2

B.C.B.C. 2018 TABLE 3.2.3.1.-D
WEST ELEVATION L.D. = 3.4 m
EXPOSED BUILDING FACE = 607 sqft (56.4 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 21.6%
PROPOSED OPENINGS = 13.3% 80 sqft (7.5 m2)

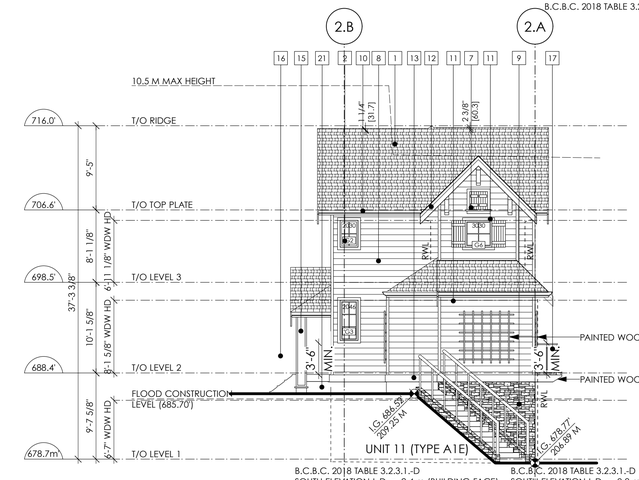
CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

B.C.B.C. 2018 TABLE 3.2.3.1.-D
WEST ELEVATION L.D. = 1.1 m (ELECTRICAL ROOM)
EXPOSED BUILDING FACE = 142 sqft (13.2 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = N/A
PROPOSED OPENINGS = 0%

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE NONCOMBUSTIBLE

LIMITING DISTANCE CALCULATION
SEE SITE PLAN FOR LIMITNG DISTANCES L.D.
B.C.B.C. 2018 TABLE 3.2.3.1.-D



SIDE ELEVATION (INTERNAL)

BUILDING 2

B.C.B.C. 2018 TABLE 3.2.3.1.-D
SOUTH ELEVATION L.D. = 2.4 m (BUILDING FACE)
EXPOSED BUILDING FACE = 250 sqft (23.2 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 17.4%
PROPOSED OPENINGS = 8.4% 21 sqft (1.95 m2)

B.C.B.C. 2018 TABLE 3.2.3.1.-D
SOUTH ELEVATION L.D. = 0.8 m (ELECTRICAL ROOM)
EXPOSED BUILDING FACE = 137 sqft (12.6 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = N/A
PROPOSED OPENINGS = 0%

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE NONCOMBUSTIBLE

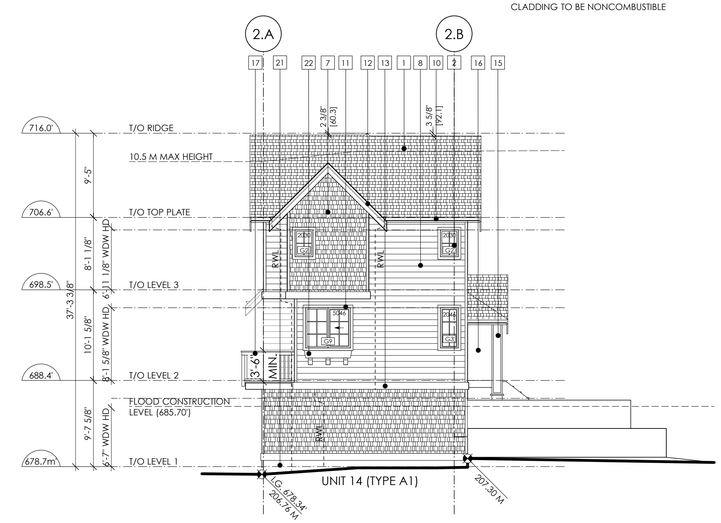
REAR ELEVATION (INTERNAL ROAD)

BUILDING 2

B.C.B.C. 2018 TABLE 3.2.3.1.-D
EAST ELEVATION L.D. = 4.42 m
EXPOSED BUILDING FACE = 2,212 sqft (205.50 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = > 100%
PROPOSED OPENINGS = NOT APPLICABLE

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE



SIDE ELEVATION (EXTERNAL)

BUILDING 2

B.C.B.C. 2018 TABLE 3.2.3.1.-D
NORTH ELEVATION L.D. = 3.2 m
EXPOSED BUILDING FACE = 670 sqft (62.25 m2)

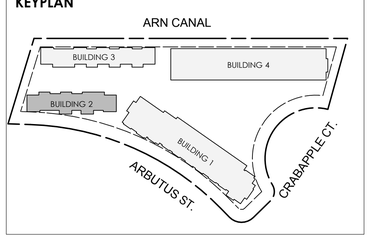
SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 83%
PROPOSED OPENINGS = 5.5% 37 sqft (3.42 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

FINISH SCHEDULE

1 FIBREGLASS SHINGLE	7 FIBRE CEMENT SHAKE	13 PAINTED 2X10 BELLY BOARD	19 FAUX CHIMNEY
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	8 FIBRE CEMENT SIDING	14 PAINTED WOODBRACKETS	20 METAL CHIMNEY CAP
3 INSULATED WOOD PANEL DOOR	9 LEDGESTONE	15 WOOD CLAD PANEL POST	21 PAINTED CONCRETE
4 PAINTED METAL PANEL ROLL UP GARAGE DOOR	10 PREFINISHED METAL FASCIA GUTTER	16 PAINTED WOODRAILING	22 WOODPLANT SHELF
5 DOUBLE PANED SEALED UNIT VINYL SLIDERS	11 PAINTED WOODTRIM	17 ALUMINUM RAILING	23 DECORATIVE GABLE
6 WOOD SHUTTERS	12 PAINTED 2X BARGE BOARD WITH 1X TRIM	18 VERTICAL WOOD SLAT PRIVACY SCREEN	24 PRIVACY FENCE

KEYPLAN



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FORMWERKS ARCHITECTURAL
1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

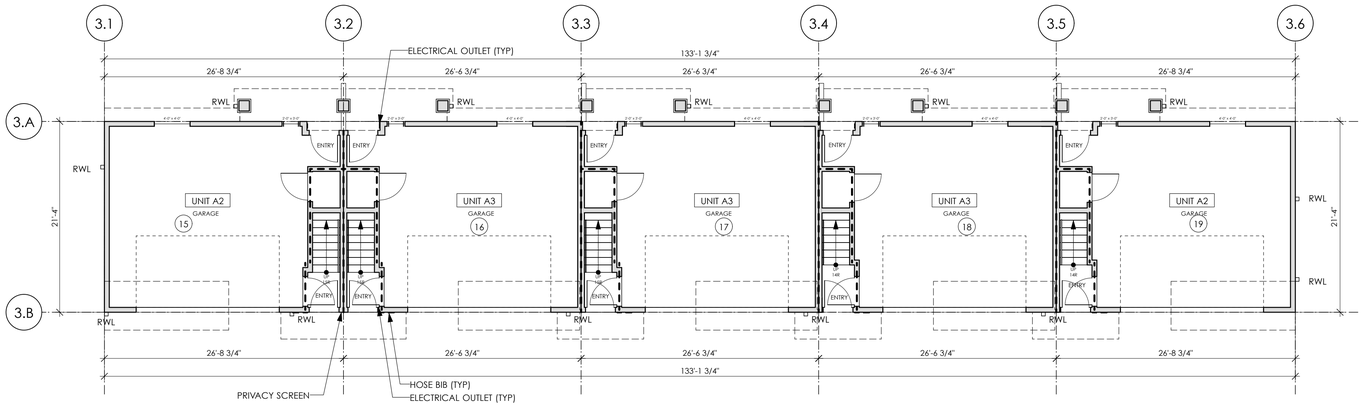
DRAWING

BUILDING 2 ELEVATIONS

SCALE 1/8"=1'-0"

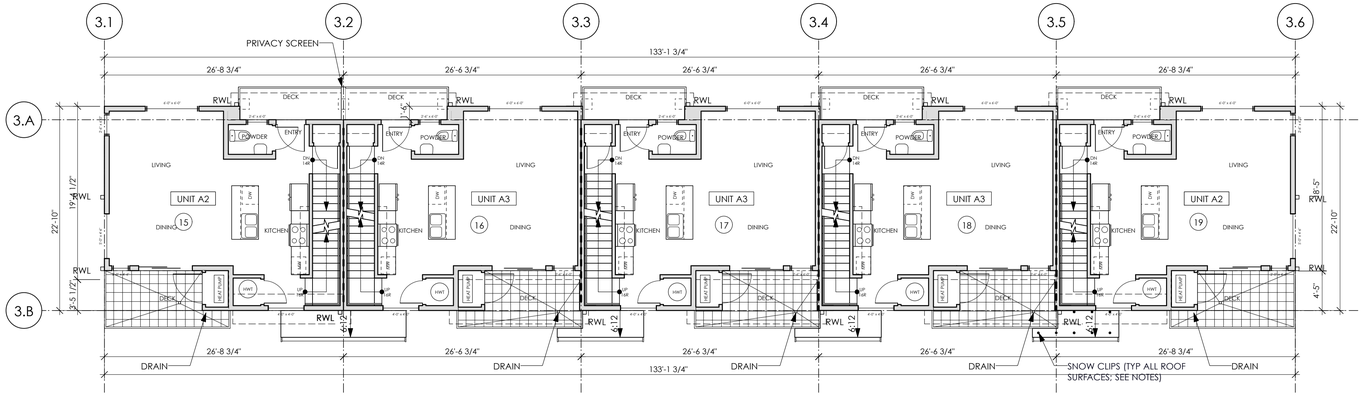
DATE NOV. 23, 2020

SHEET A2.05



LEVEL 1 PLAN

BUILDING 3



LEVEL 2 PLAN

BUILDING 3

NOTES:

1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES
   SPACING: 24" HORIZONTALLY O.C. AND 28 1/8" VERTICALLY O.C. OR SPECIFIED BY ENGINEER

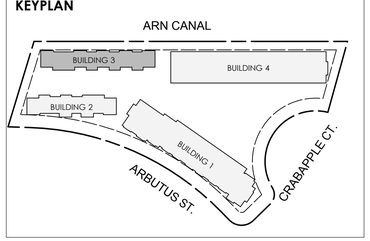
ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
UNIT A1	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
UNIT BLE	653.9 sq.ft.	313.9 sq.in.	1	45.5 sq.ft.
UNIT BRE	643.8 sq.ft.	309.0 sq.in.	1	45.5 sq.ft.
UNIT C1	580.9 sq.ft.	278.8 sq.in.	1	57.0 sq.ft.

CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

KEYPLAN



LEGEND

- 45 MIN. F.R.R.
- 1 HR. F.R.R.

NOTE: DASHED LINE DENOTES RATED ASSEMBLY LOCATION ONLY. REFER TO CONSTRUCTION TYPES FOR RATED MEMBRANE LOCATION.

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FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

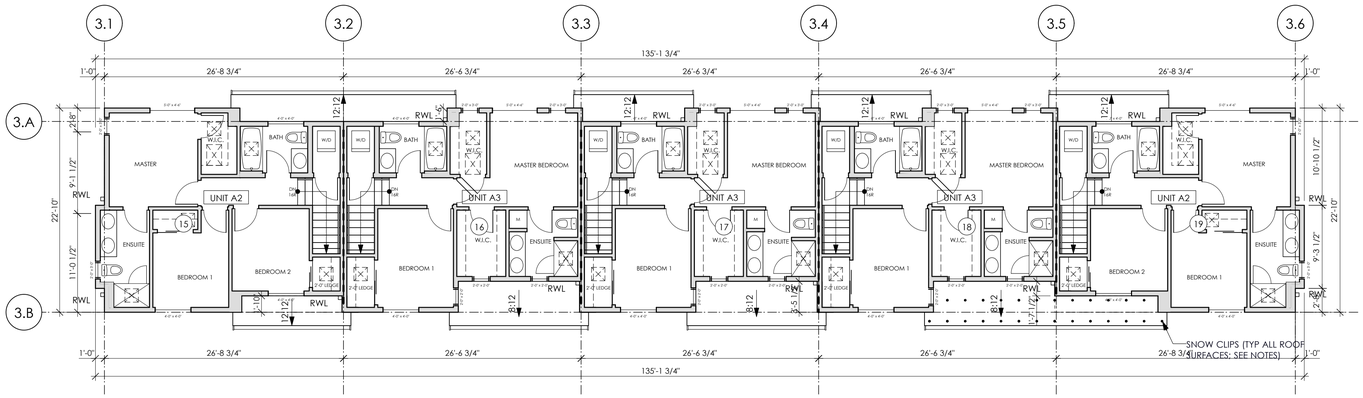
DRAWING

BUILDING 3
PLANS
LEVEL 1-2

SCALE 1/8"=1'-0"

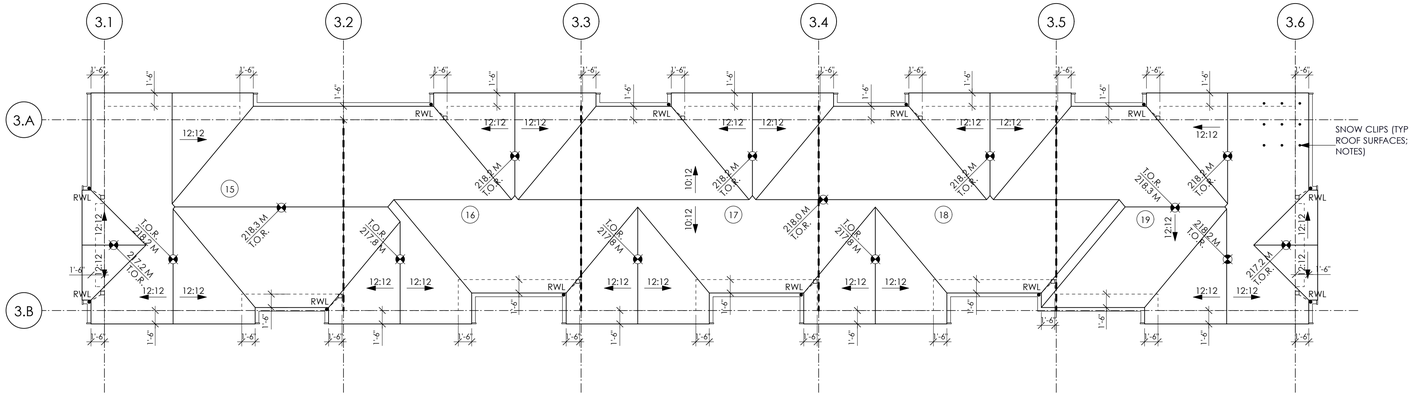
DATE NOV. 23, 2020

SHEET A2.06



LEVEL 1 PLAN

BUILDING 3



LEVEL 2 PLAN

BUILDING 3

LEGEND

- 45 MIN. F.R.R.
- 1 HR. F.R.R.

NOTE: DASHED LINE DENOTES RATED ASSEMBLY LOCATION ONLY. REFER TO CONSTRUCTION TYPES FOR RATED MEMBRANE LOCATION.

ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
UNIT A1	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
UNIT BLE	653.9 sq.ft.	313.9 sq.in.	1	45.5 sq.ft.
UNIT BRE	643.8 sq.ft.	309.0 sq.in.	1	45.5 sq.ft.
UNIT C1	580.9 sq.ft.	278.8 sq.in.	1	57.0 sq.ft.

CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

NOTES:

1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES
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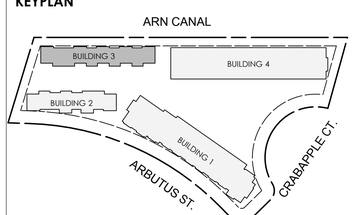
KEYPLAN



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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

DRAWING

BUILDING 3 PLANS LEVEL 3- ROOF

SCALE 1/8"=1'-0"

DATE NOV. 23, 2020

SHEET A2.07

LIMITING DISTANCE CALCULATION
SEE SITE PLAN FOR LIMITING DISTANCES L.D.
B.C.B.C. 2018 TABLE 3.2.3.1.-D

ADRESS PLAQUE (TYP): BLACK STEEL

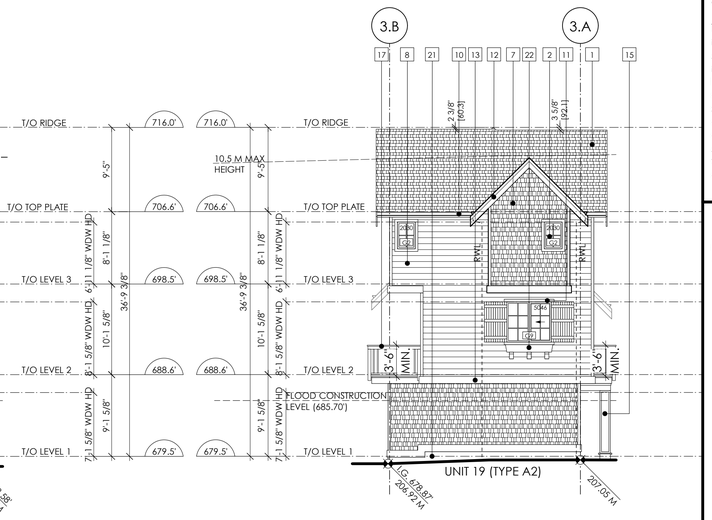
FRONT ELEVATION (INTERNAL ROAD)

BUILDING 3

B.C.B.C. 2018 TABLE 3.2.3.1.-D
WEST ELEVATION L.D. = 4.42 m
EXPOSED BUILDING FACE = 765 sqft (71.1 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 42%
PROPOSED OPENINGS = 13.4% 102.5 sqft (9.5 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE



SIDE ELEVATION (INTENRAL)

BUILDING 3

B.C.B.C. 2018 TABLE 3.2.3.1.-D
WEST ELEVATION L.D. = 1.5 m
EXPOSED BUILDING FACE = 598 sqft (55.6 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 8.0%
PROPOSED OPENINGS = 5.9% 35.3 sqft (3.28 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

ADRESS PLAQUE (TYP): BLACK STEEL

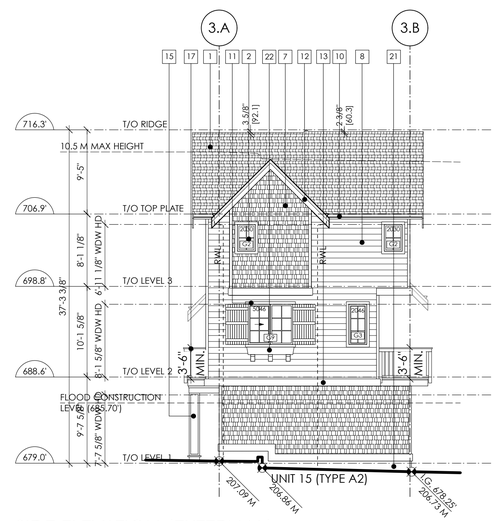
REAR ELEVATION (ARN CANAL)

BUILDING 3

B.C.B.C. 2018 TABLE 3.2.3.1.-D
EAST ELEVATION L.D. = 3.7 m
EXPOSED BUILDING FACE = 738 sqft (68.6 m2)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 21.9%
PROPOSED OPENINGS = 15.4% 113.6 sqft (10.6 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE



SIDE ELEVATION (EXTERNAL)

BUILDING 3

B.C.B.C. 2018 TABLE 3.2.3.1.-D
WEST ELEVATION L.D. = 3.5 m
EXPOSED BUILDING FACE = 620 sqft (57.6 m2)

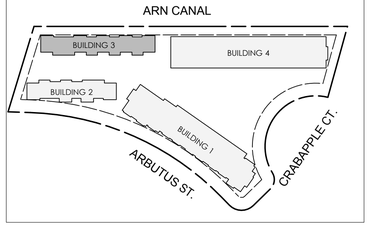
SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 22.6%
PROPOSED OPENINGS = 4.8% 29.8 sqft (2.8 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

FINISH SCHEDULE

1 FIBREGLASS SHINGLE	7 FIBRE CEMENT SHAKE	13 PAINTED 2X10 BELLY BOARD	19 FAUX CHIMNEY
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	8 FIBRE CEMENT SIDING	14 PAINTED WOODBRACKETS	20 METAL CHIMNEY CAP
3 INSULATED WOOD PANEL DOOR	9 LEDGESTONE	15 WOOD CLAD PANEL POST	21 PAINTED CONCRETE
4 PAINTED METAL PANEL ROLL UP GARAGE DOOR	10 PREFINISHED METAL FASCIA GUTTER	16 PAINTED WOODRAILING	22 WOODPLANT SHELF
5 DOUBLE PANED SEALED UNIT VINYL SLIDERS	11 PAINTED WOODTRIM	17 ALUMINUM RAILING	23 DECORATIVE GABLE
6 WOOD SHUTTERS	12 PAINTED 2X BARGE BOARD WITH 1X TRIM	18 VERTICAL WOOD SLAT PRIVACY SCREEN	24 PRIVACY FENCE

KEYPLAN



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Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

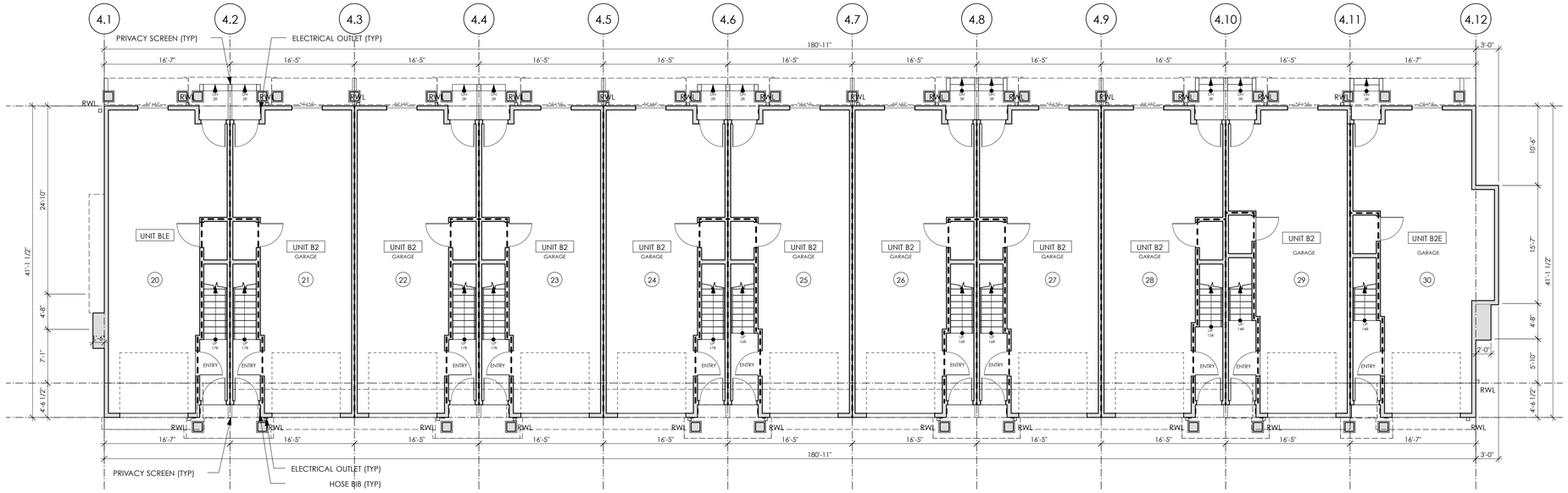
DRAWING

BUILDING 3 ELEVATIONS

SCALE 1/8"=1'-0"

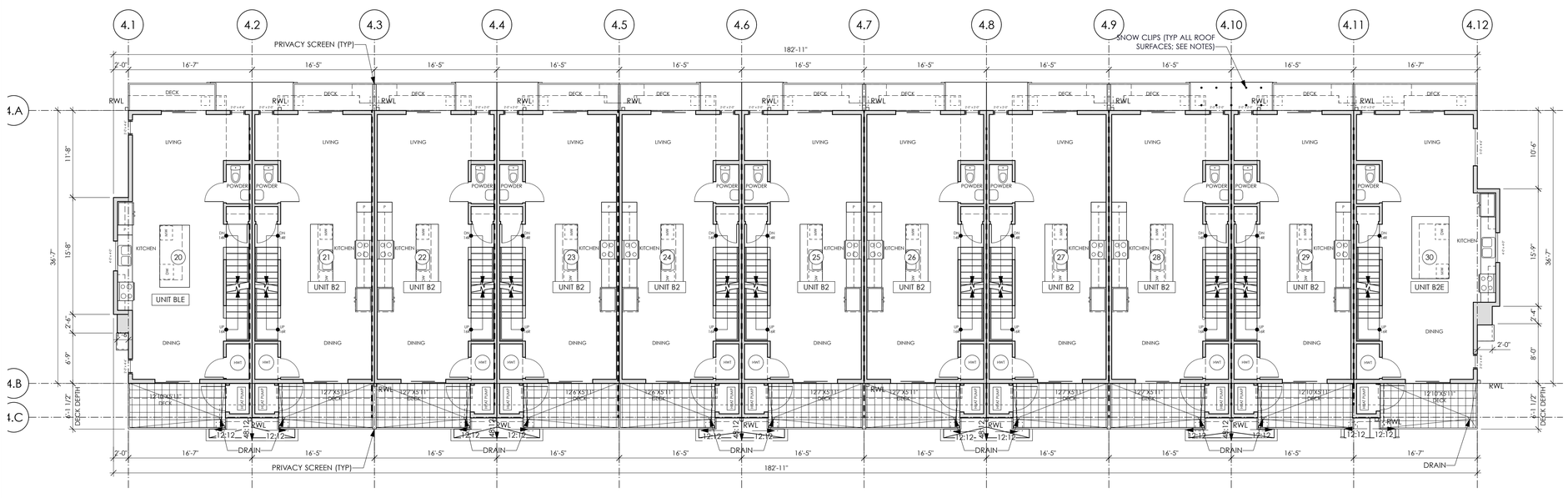
DATE NOV.23, 2020

SHEET A2.08



LEVEL 1 PLAN

BUILDING 4



LEVEL 2 PLAN

BUILDING 4

NOTES:

1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES
   SPACING: 24" HORIZONTALLY O.C. AND 28 1/8" VERTICALLY O.C. OR SPECIFIED BY ENGINEER

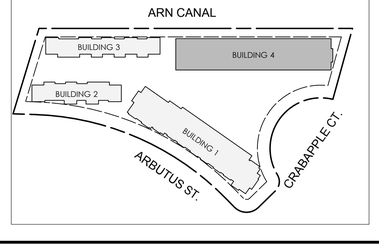
ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
UNIT A1	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
UNIT BLE	653.9 sq.ft.	313.9 sq.in.	1	45.5 sq.ft.
UNIT BRE	643.8 sq.ft.	309.0 sq.in.	1	45.5 sq.ft.
UNIT C1	580.9 sq.ft.	278.8 sq.in.	1	57.0 sq.ft.

CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

KEYPLAN



LEGEND

- 45 MIN. F.R.R.
- 1 HR. F.R.R.

NOTE: DASHED LINE DENOTES RATED ASSEMBLY LOCATION ONLY. REFER TO CONSTRUCTION TYPES FOR RATED MEMBRANE LOCATION.

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ISSUE FOR BUILDING PERMIT	NOV 23, 2020

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

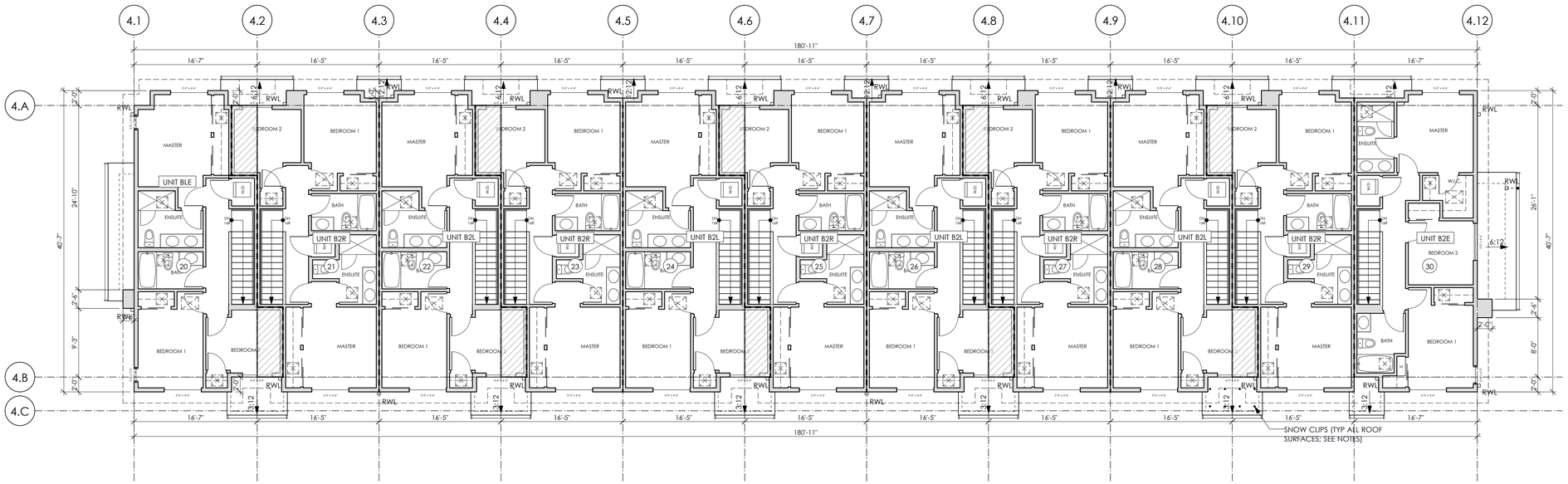
DRAWING

BUILDING 4
PLANS
LEVEL 1-2

SCALE 1/8"=1'-0"

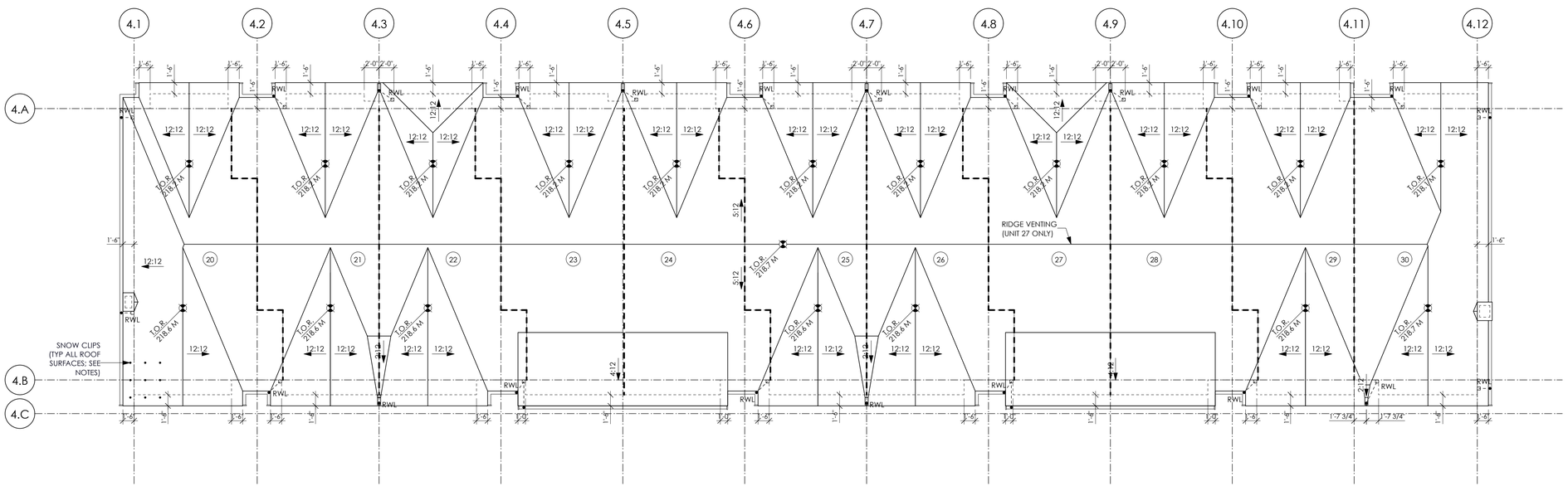
DATE NOV. 23, 2020

SHEET A2.09



LEVEL 3 PLAN

BUILDING 4



ROOF PLAN

BUILDING 4

NOTES:

1. RG7 - MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATION; APPLIED TO ALL ROOF SURFACES
   SPACING: 24" HORIZONTALLY O.C. AND 28 1/8" VERTICALLY O.C. OR SPECIFIED BY ENGINEER

ROOF VENTING CALCULATION

ROOF PORTION	ROOF AREA	VENTING AREA REQUIRED	# OF VENTS @ GABLE	SOFFIT AREA BELOW ROOF MIDPOINT
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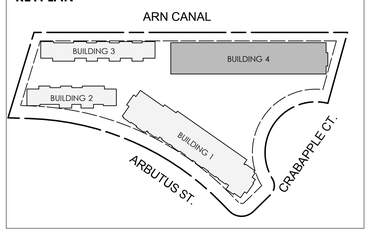
UNIT A2	581.2 sq.ft.	279.0 sq.in.	1	45.5 sq.ft.
UNIT A3	542.2 sq.ft.	260.3 sq.in.	1	57.0 sq.ft.
UNIT B	637.3 sq.ft.	305.9 sq.in.	1	123.4 sq.ft.
UNIT B1	637.3 sq.ft.	305.9 sq.in.	1	57.0 sq.ft.
UNIT B2	649.8 sq.ft.	311.9 sq.in.	1 (UNO)	57.0 sq.ft.
UNIT B2E	659.7 sq.ft.	316.7 sq.in.	1	123.4 sq.ft.
UNIT B3	638.3 sq.ft.	306.4 sq.in.	1	131.8 sq.ft.
UNIT BE+	747.3 sq.ft.	358.7 sq.in.	1	63.0 sq.ft.
UNIT BLE	653.9 sq.ft.	313.9 sq.in.	1	45.5 sq.ft.
UNIT BRE	643.8 sq.ft.	309.0 sq.in.	1	45.5 sq.ft.
UNIT C1	580.9 sq.ft.	278.8 sq.in.	1	57.0 sq.ft.

CALCULATION BASED ON 50 SQ.IN. VENTING AREA PER ROOF VENT AT RIDGE AND 5 SQ.IN. PER 1 SQ.FT. OF SOFFIT. SOFFIT AREA BASED ON MOST RESTRICTIVE CONDITION.

NOTE: ROOF VENTING SHALL BE AS PER SECTION 9.19 B.C.B.C 2012 WITH MIN. 25% OF VENTS AT THE RIDGE AND MIN. 25% AT THE SOFFIT.

KEYPLAN



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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

DRAWING

BUILDING 4
PLANS
LEVEL 3 - ROOF

SCALE 1/8" = 1'-0"

DATE NOV. 23, 2020

SHEET A2.10

LIMITING DISTANCE CALCULATION
SEE SITE PLAN FOR LIMITING DISTANCES L.D.
B.C.B.C. 2018 TABLE 3.2.3.1.-D

FRONT ELEVATION (INTERNAL ROAD)

BUILDING 4

B.C.B.C. 2018 TABLE 3.2.3.1.-D
WEST ELEVATION L.D. = 4.77 m
EXPOSED BUILDING FACE = 589.9 SF (54.8 sqm)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 70.0%
PROPOSED OPENINGS = 37.6% 221.8 sqft (20.6 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

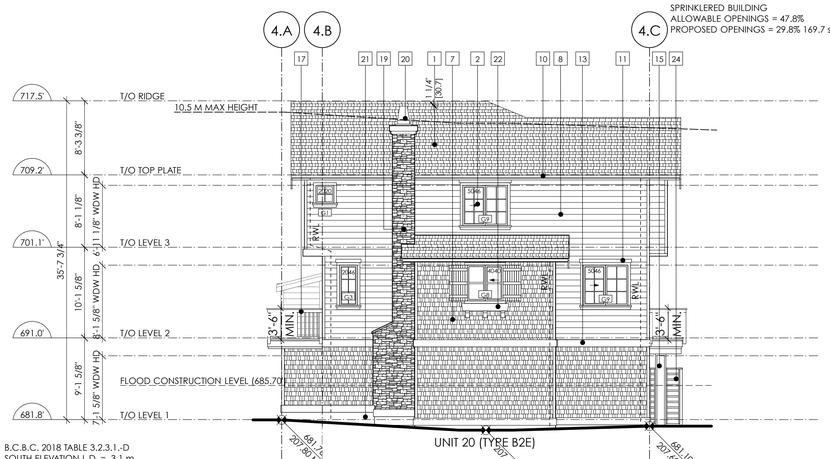
REAR ELEVATION (ARN CANAL)

BUILDING 4

B.C.B.C. 2018 TABLE 3.2.3.1.-D
EAST ELEVATION L.D. = 3.6 m
EXPOSED BUILDING FACE = 569.4 SF (52.9 sqm)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 47.8%
PROPOSED OPENINGS = 29.8% 169.7 sqft (15.8 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE



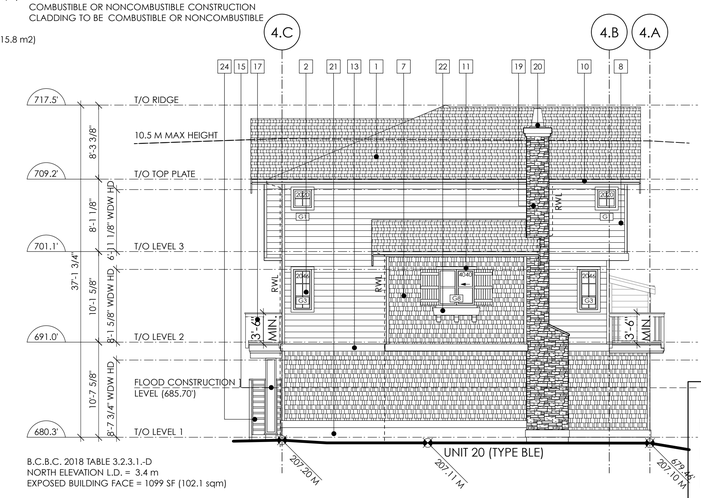
B.C.B.C. 2018 TABLE 3.2.3.1.-D
SOUTH ELEVATION L.D. = 3.1 m
EXPOSED BUILDING FACE = 1163 SF (108.1 sqm)

SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 26.3%
PROPOSED OPENINGS = 7.0% 81.41= sqft (7.6 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

SIDE ELEVATION (EXTERNAL)

BUILDING 4



B.C.B.C. 2018 TABLE 3.2.3.1.-D
NORTH ELEVATION L.D. = 3.4 m
EXPOSED BUILDING FACE = 1099 SF (102.1 sqm)

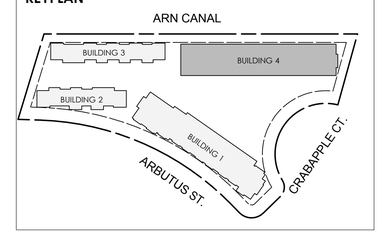
SPRINKLERED BUILDING
ALLOWABLE OPENINGS = 29.2%
PROPOSED OPENINGS = 10.5% 115.4 sqft (10.7 m2)

CONSTRUCTION OF EXPOSING BUILDING FACE
B.C.B.C. 2018 TABLE 3.2.3.7.
3/4 HOUR F.R.R. WALL
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
CLADDING TO BE COMBUSTIBLE OR NONCOMBUSTIBLE

SIDE ELEVATION (INTENRAL)

BUILDING 4

KEYPLAN



FINISH SCHEDULE

1 FIBREGLASS SHINGLE	7 FIBRE CEMENT SHAKE	13 PAINTED 2X10 BELLY BOARD	19 FAUX CHIMNEY
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	8 FIBRE CEMENT SIDING	14 PAINTED WOODBRACKETS	20 METAL CHIMNEY CAP
3 INSULATED WOOD PANEL DOOR	9 LEDGESTONE	15 WOOD CLAD PANEL POST	21 PAINTED CONCRETE
4 PAINTED METAL PANEL ROLL UP GARAGE DOOR	10 PREFINISHED METAL FASCIA GUTTER	16 PAINTED WOODRAILING	22 WOODPLANT SHELF
5 DOUBLE PANED SEALED UNIT VINYL SLIDERS	11 PAINTED WOODTRIM	17 ALUMINUM RAILING	23 DECORATIVE GABLE
6 WOOD SHUTTERS	12 PAINTED 2X BARGE BOARD WITH 1X TRIM	18 VERTICAL WOOD SLAT PRIVACY SCREEN	24 PRIVACY FENCE

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

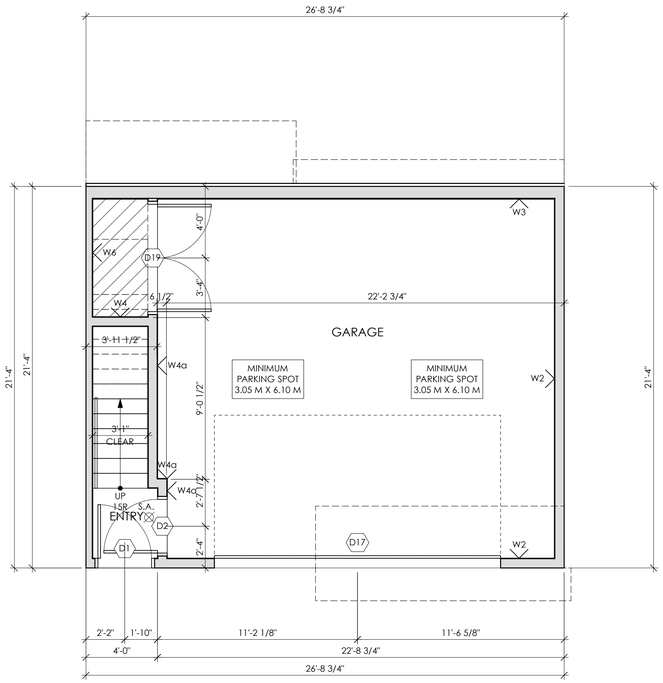
DRAWING

BUILDING 4 ELEVATIONS

SCALE 1/8"=1'-0"

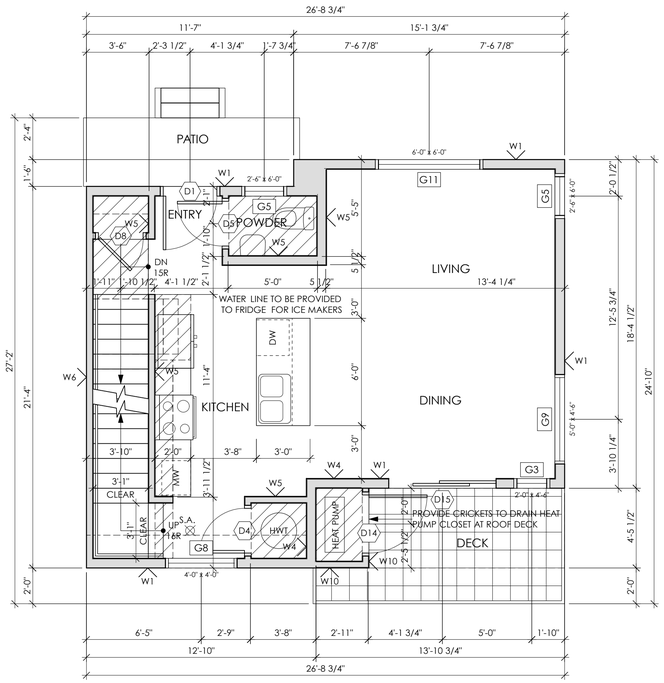
DATE NOV. 23, 2020

SHEET A2.11



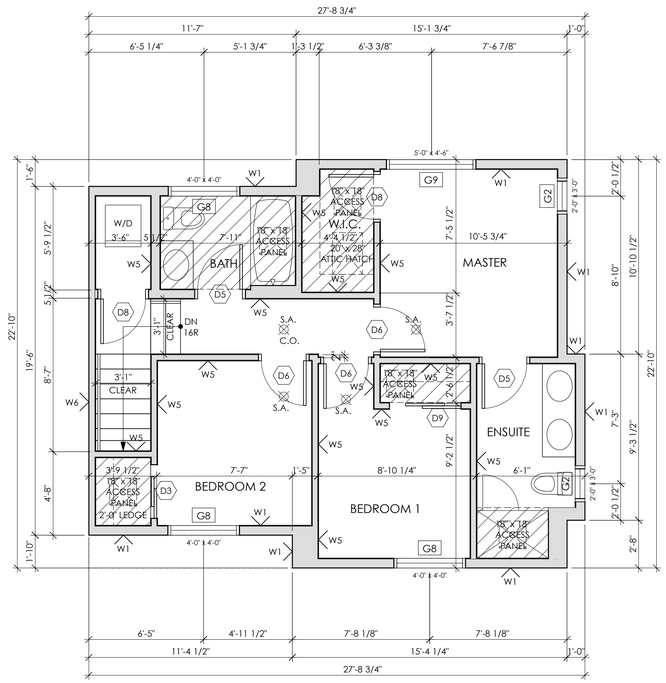
LEVEL 1 PLAN

UNIT A1



LEVEL 2 PLAN

UNIT A1



LEVEL 3 PLAN

UNIT A1

S.A. / CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:

1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
15 RISERS @ 7.71"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE A1

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	**TOTAL**
GROSS	570.2 SF	544.2 SF	581.4 SF	**1695.8 SF**
EXCLUSIONS	482.2 SF	0.0 SF	0.0 SF	**482.2 SF**
NET	88.1 SF	544.2 SF	581.4 SF	**1213.6 SF**

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

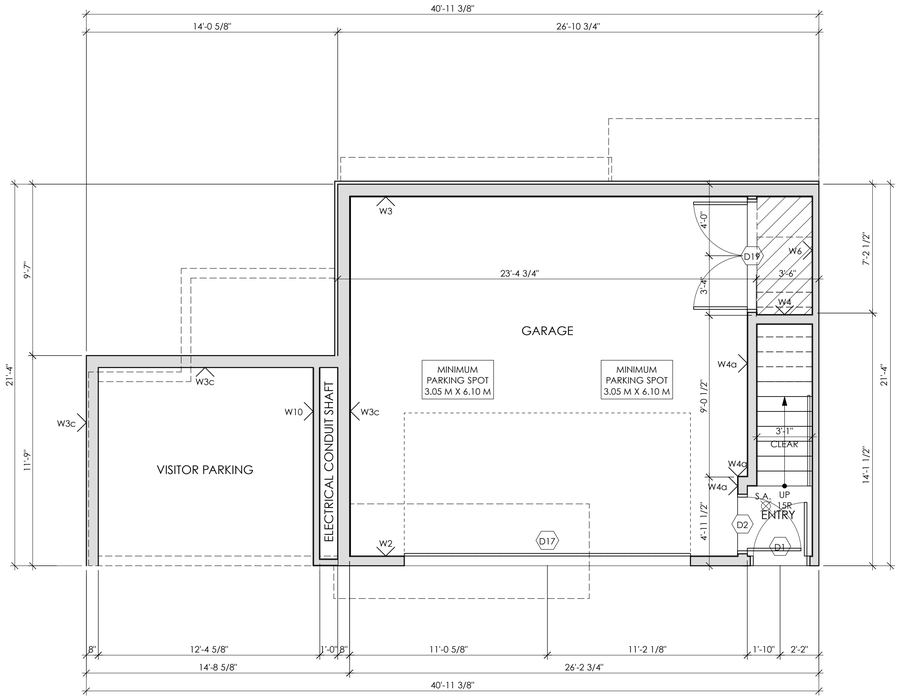
DRAWING

UNIT TYPE A1 PLANS

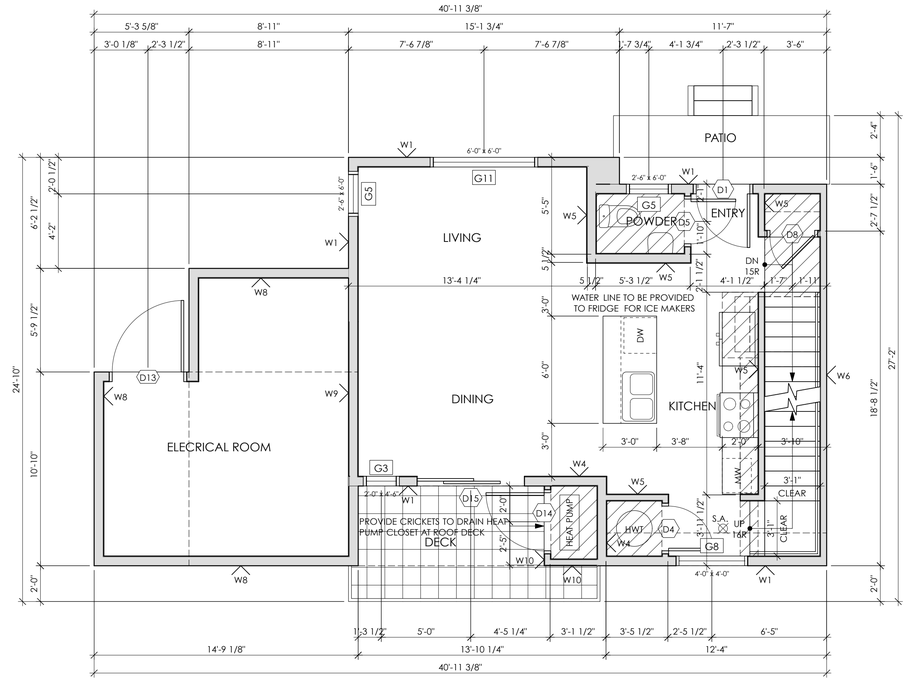
SCALE 1/4"=1'-0"

DATE NOV. 23, 2020

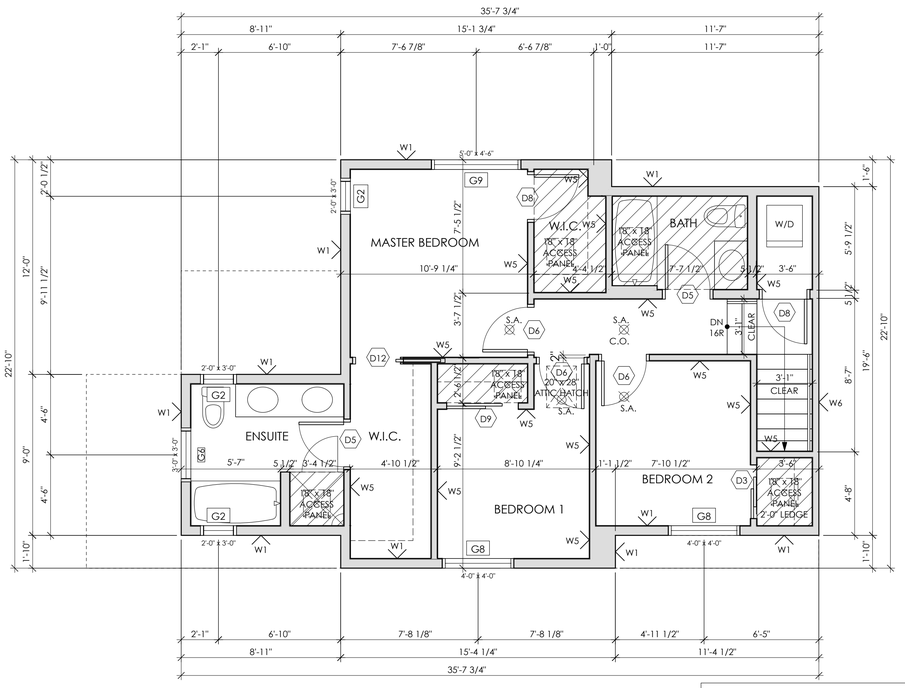
SHEET A3.00



LEVEL 1 PLAN
UNIT A1E



LEVEL 2 PLAN
UNIT A1E



LEVEL 3 PLAN
UNIT A1E

S.A. CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTIBLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
15 RISERS @ 7.71"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE A1E FLOOR AREAS

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	573.8 SF	544.2 SF	652.3 SF	**1770.3 SF**
EXCLUSIONS	485.7 SF	0.0 SF	0.0 SF	**485.7 SF**
NET	88.0 SF	544.2 SF	652.3 SF	**1284.6 SF**

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

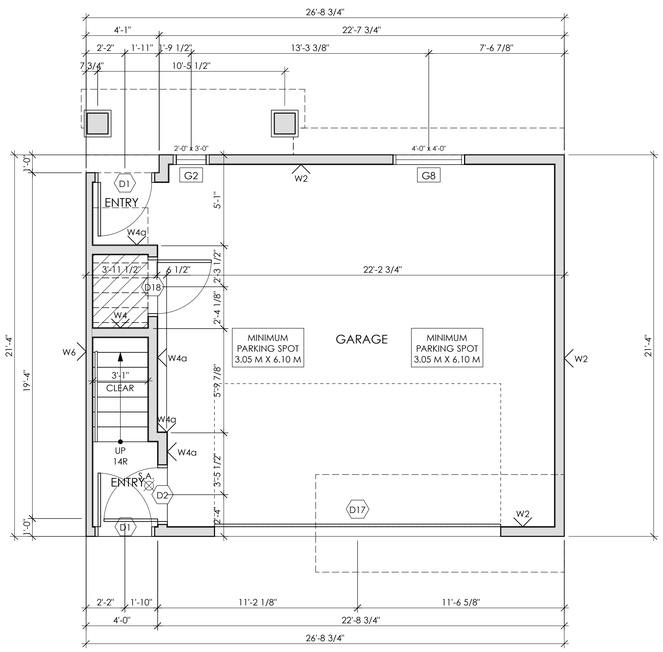
DRAWING

UNIT TYPE A1E PLANS

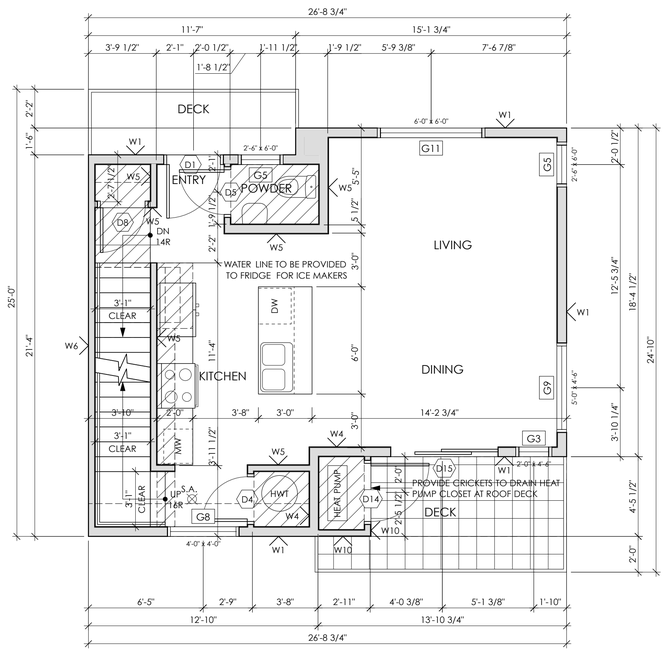
SCALE 1/4" = 1'-0"

DATE NOV. 23, 2020

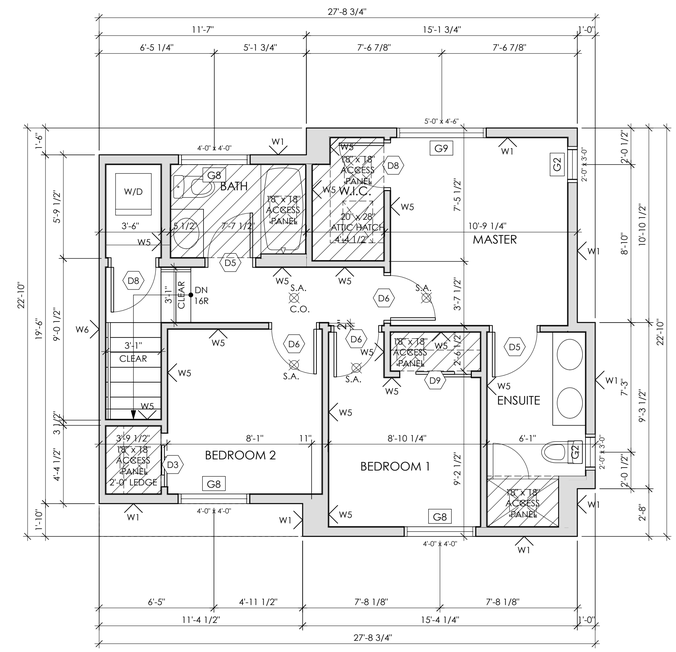
SHEET A3.01



LEVEL 1 PLAN
UNIT A2



LEVEL 2 PLAN
UNIT A2



LEVEL 3 PLAN
UNIT A2

S.A. CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTIBLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
14 RISERS @ 7.83" OR 15 R @ 7.71"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE A2

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	**TOTAL**
GROSS	566.1 SF	544.2 SF	581.4 SF	**1691.7 SF**
EXCLUSIONS	497.8 SF	0.0 SF	0.0 SF	**497.8 SF**
NET	68.3 SF	544.2 SF	581.4 SF	**1193.9 SF**

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MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

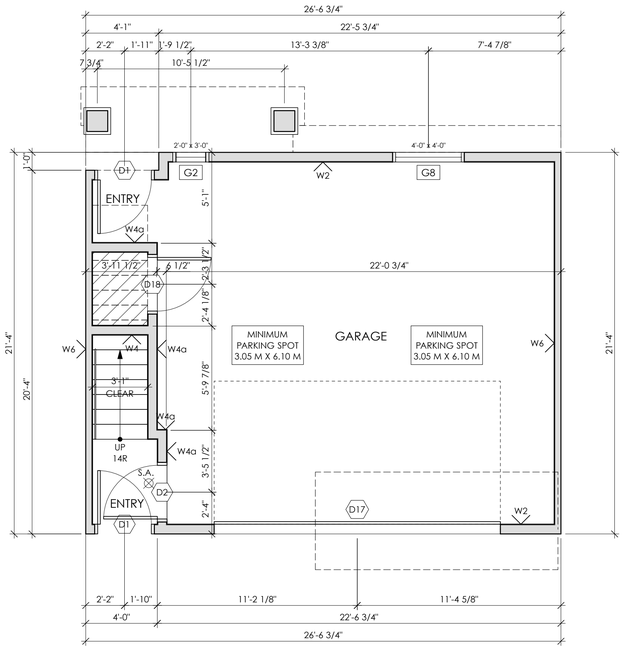
DRAWING

UNIT TYPE A2 PLANS

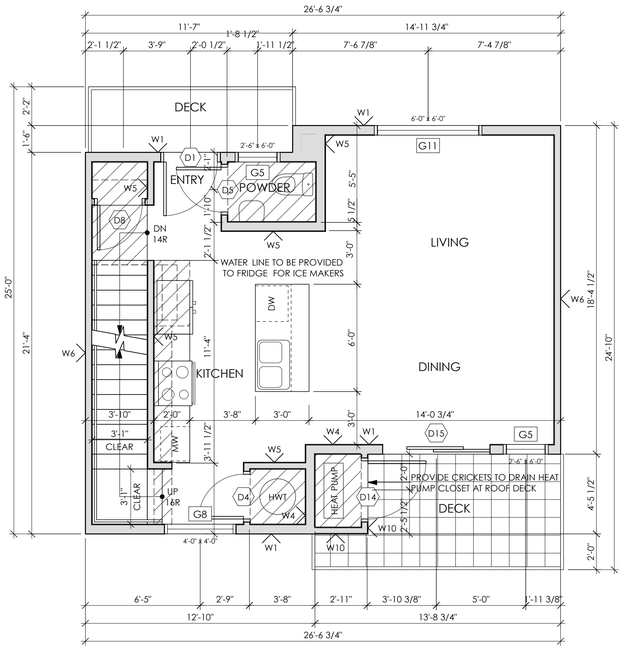
SCALE 1/4" = 1'-0"

DATE NOV. 23, 2020

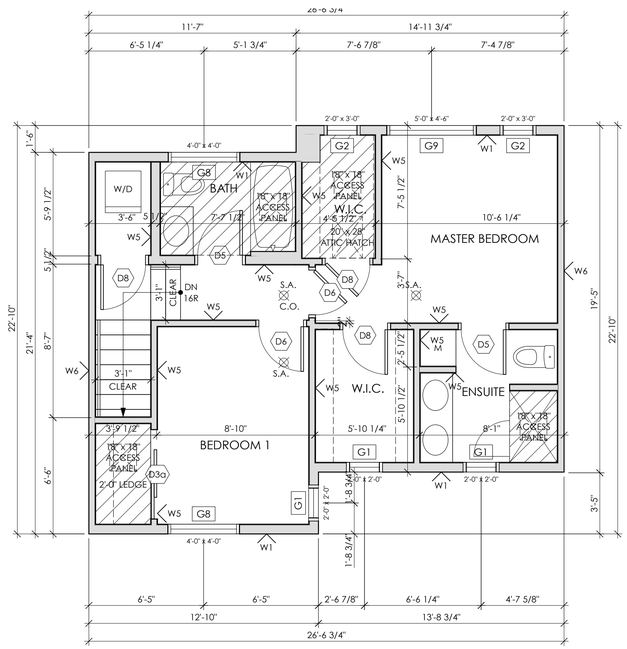
SHEET A3.02



LEVEL 1 PLAN
UNIT A3



LEVEL 2 PLAN
UNIT A3



LEVEL 3 PLAN
UNIT A3

S.A. CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
14 RISERS @ 7.83" OR 15 R @ 7.71"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE A3

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	**TOTAL**
GROSS	562.6 SF	541.1 SF	541.7 SF	**1645.4 SF**
EXCLUSIONS	494.3 SF	0.0 SF	0.0 SF	**494.3 SF**
NET	68.3 SF	541.1 SF	541.7 SF	**1151.1 SF**

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REVISIONS

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RE-ISSUE FOR DEVELOPMENT PERMIT	AUG 5, 2020
ISSUE FOR BUILDING PERMIT	NOV 23, 2020

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

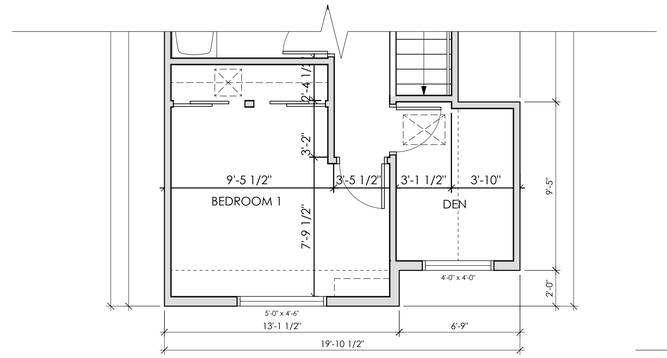
DRAWING

UNIT TYPE A3 PLANS

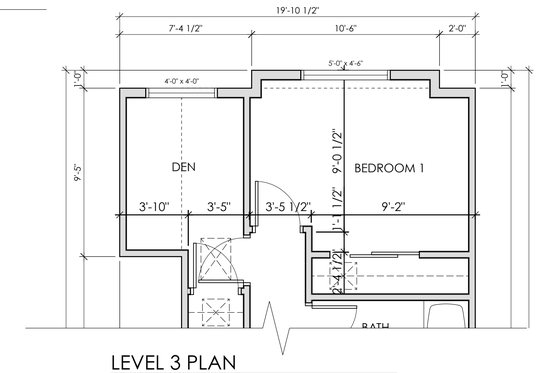
SCALE 1/4" = 1'-0"

DATE NOV. 23, 2020

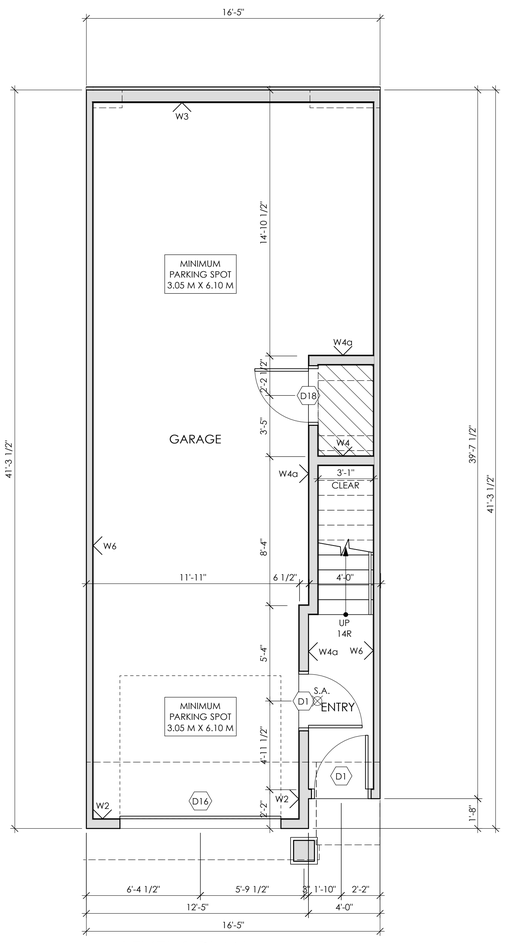
SHEET A3.03



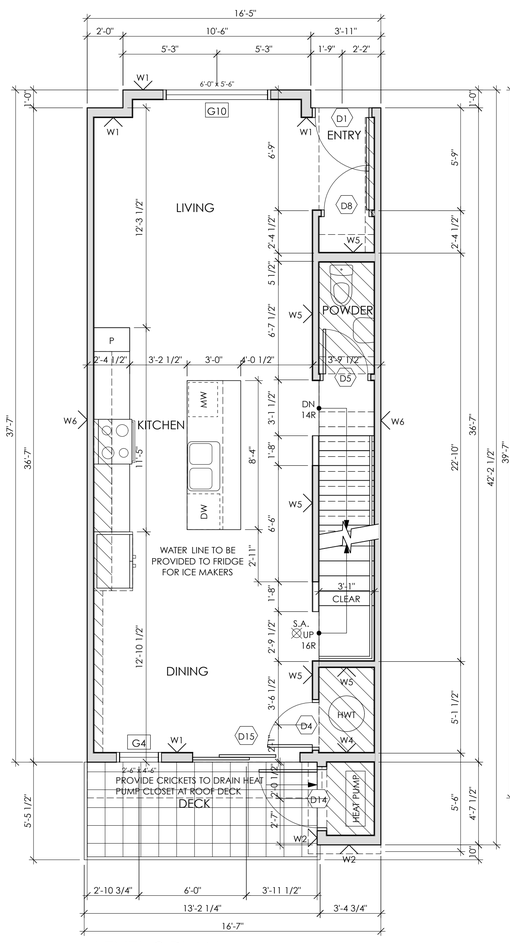
LEVEL 3 PLAN
UNIT B1L (ALTERNATE LAYOUT: 2 BED + DEN)



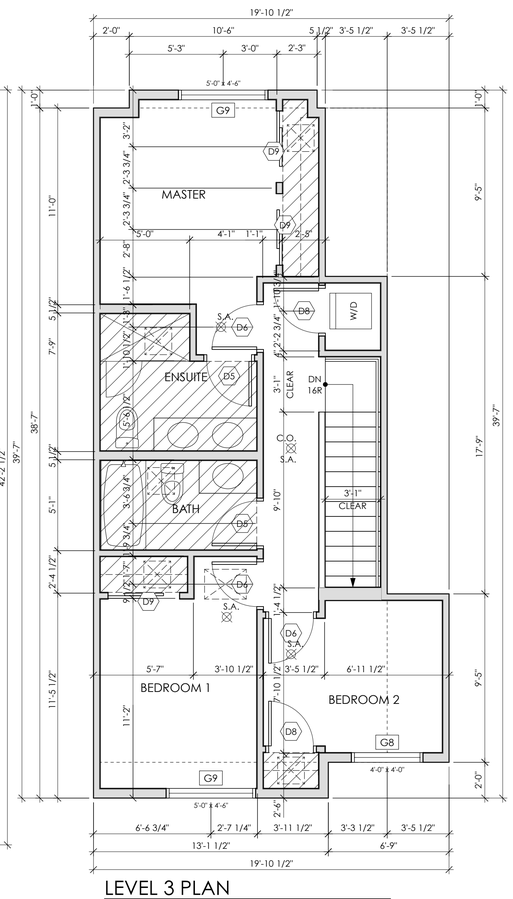
LEVEL 3 PLAN
UNIT B1R (ALTERNATE LAYOUT: 2 BED + DEN)



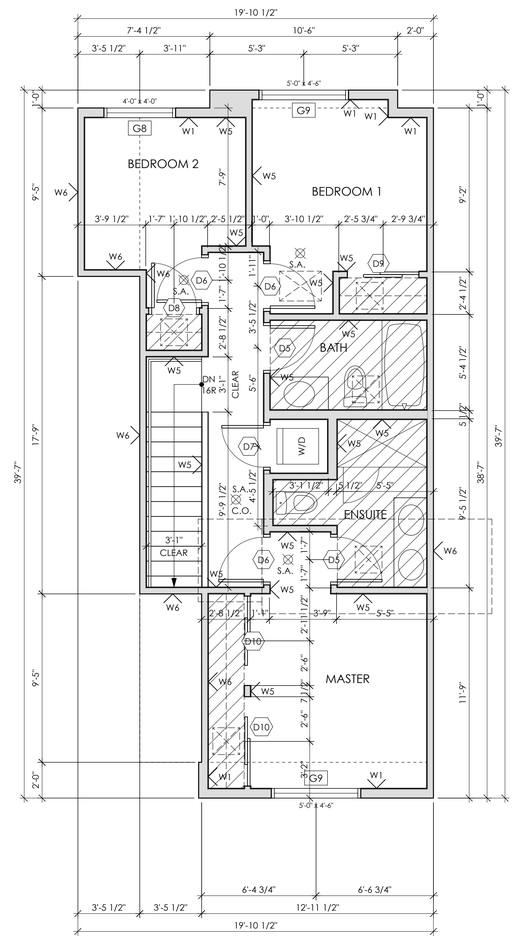
LEVEL 1 PLAN
UNIT B1 (MIRRORED B1R)



LEVEL 2 PLAN
UNIT B1 (MIRRORED B1R)



LEVEL 3 PLAN
UNIT B1L



LEVEL 3 PLAN
UNIT B1R

S.A. = SMOKE AND CARBON MONOXIDE ALARM

CO

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
14 RISERS @ 7.83" OR 15 R @ 7.71"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE B1

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	671.2 SF	627.6 SF	637.3 SF	**1936.1 SF**
EXCLUSIONS	566.1 SF	0.0 SF	0.0 SF	**566.1 SF**
NET	105.2 SF	627.6 SF	637.3 SF	**1370.0 SF**

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MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

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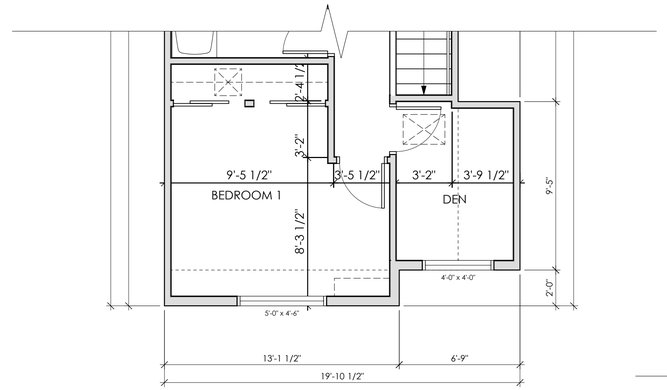
UNIT TYPE B1 PLANS

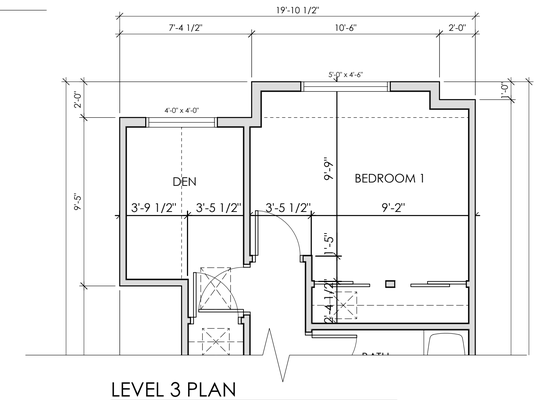
SCALE 1/4" = 1'-0"

DATE NOV. 23, 2020

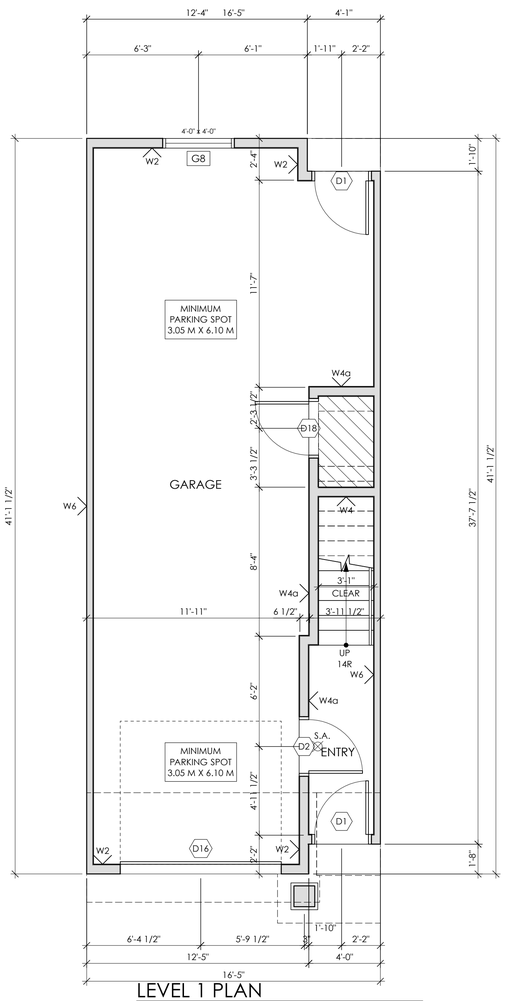
SHEET A3.04



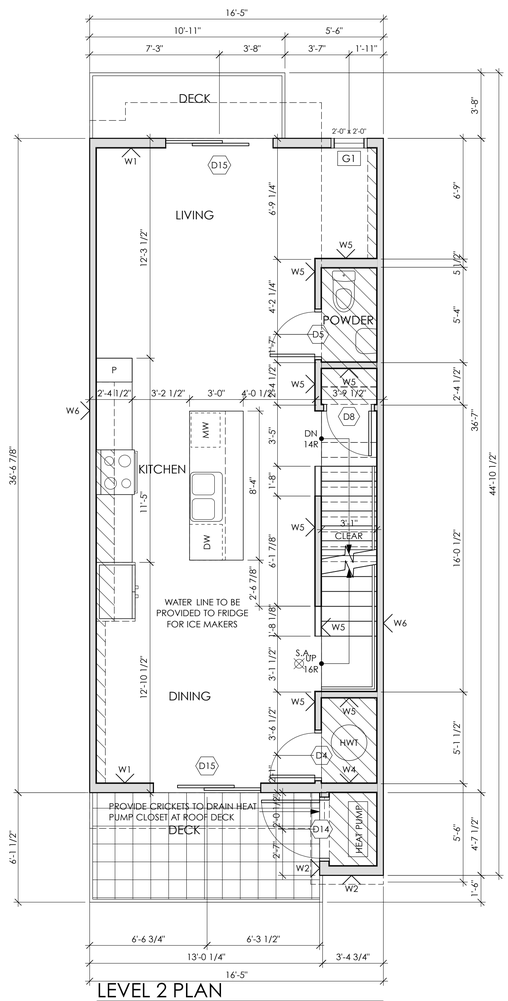
LEVEL 3 PLAN
UNIT B2L (ALTERNATE LAYOUT: 2 BED + DEN)



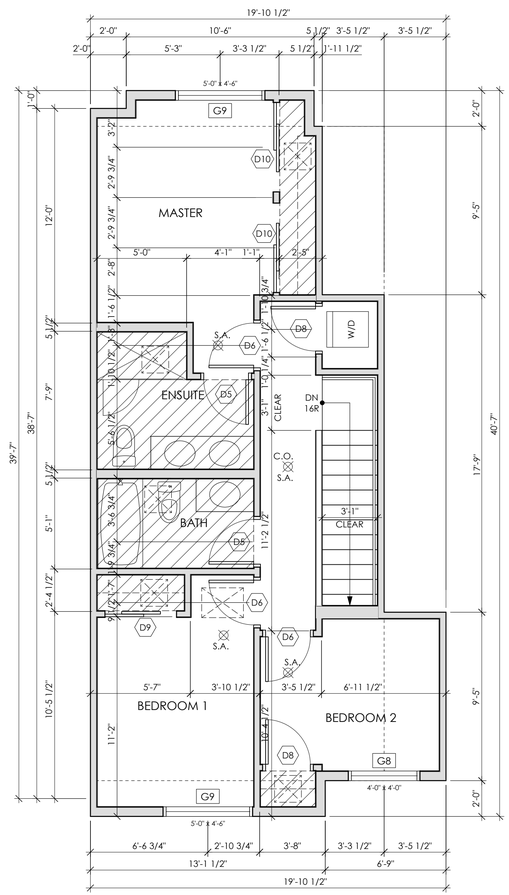
LEVEL 3 PLAN
UNIT B2R (ALTERNATE LAYOUT: 2 BED + DEN)



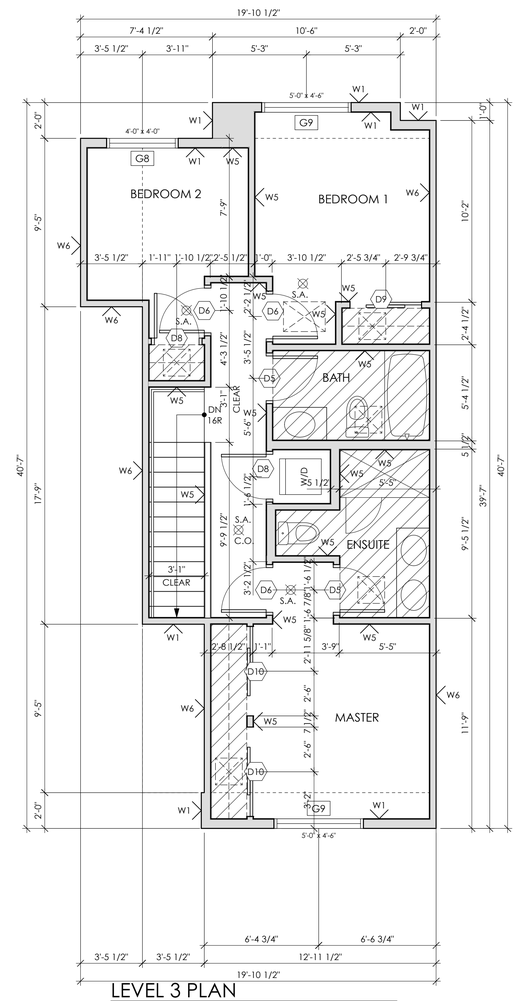
LEVEL 1 PLAN
UNIT B2 (MIRRORED B2R)



LEVEL 2 PLAN
UNIT B2 (MIRRORED B2R)



LEVEL 3 PLAN
UNIT B2L



LEVEL 3 PLAN
UNIT B2R

= SMOKE AND CARBON MONOXIDE ALARM

= SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTIBLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
14 RISERS @ 7.83", 15 R @ 7.71"
16R @7.60", OR 17R @ 7.51"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE B2

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	661.0 SF	617.1 SF	649.8 SF	**1927.9 SF**
EXCLUSIONS	552.3 SF	0.0 SF	0.0 SF	**552.3 SF**
NET	108.7 SF	617.1 SF	649.8 SF	**1375.5 SF**

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

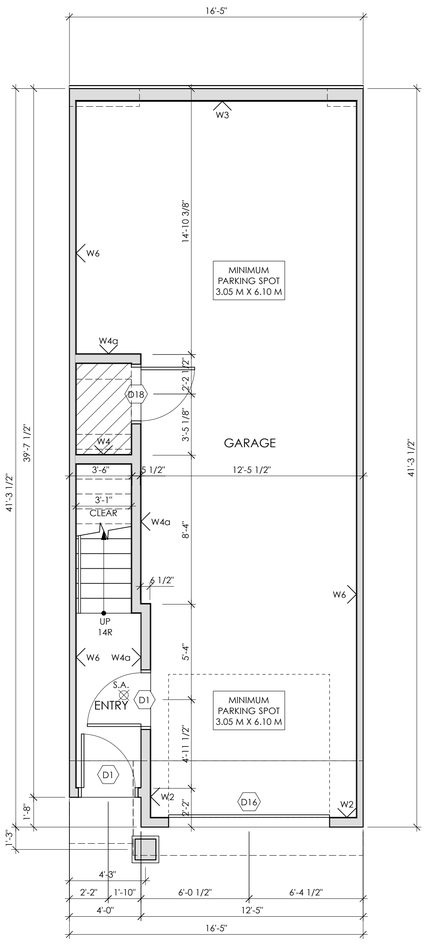
DRAWING

UNIT TYPE B2 PLANS

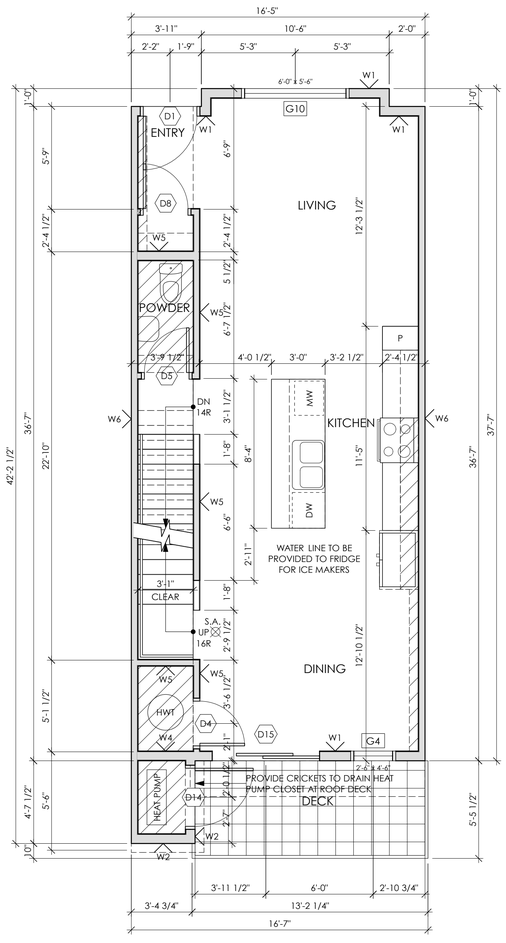
SCALE 1/4"=1'-0"

DATE NOV. 23, 2020

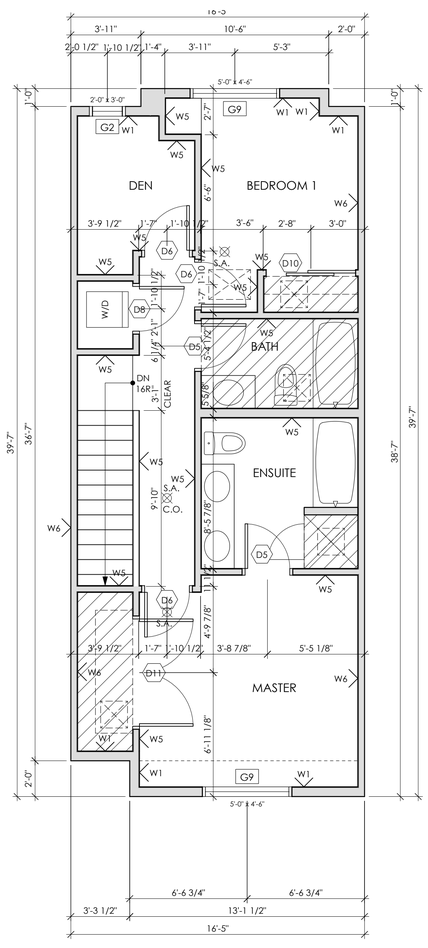
SHEET A3.05



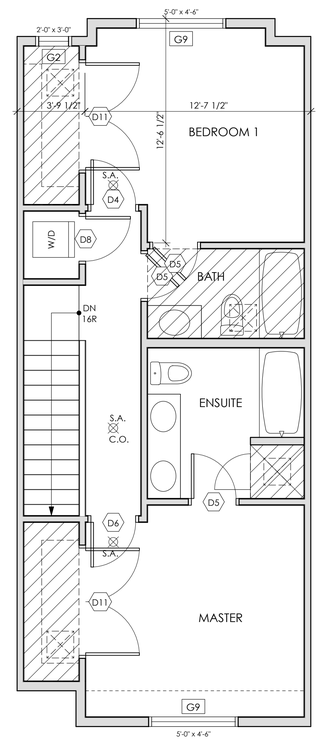
LEVEL 1 PLAN
UNIT B3



LEVEL 2 PLAN
UNIT B3



LEVEL 3 PLAN
UNIT B3



LEVEL 3 PLAN
ALTERNATE LAYOUT (2 BED)

S.A. CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
14 RISERS @ 7.83" OR 15 R @ 7.71"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE B3

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	**TOTAL**
GROSS	671.2 SF	627.6 SF	637.3 SF	**1936.1 SF**
EXCLUSIONS	566.1 SF	0.0 SF	0.0 SF	**566.1 SF**
NET	105.2 SF	627.6 SF	637.3 SF	**1370.0 SF**

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PEMBERTON, BC

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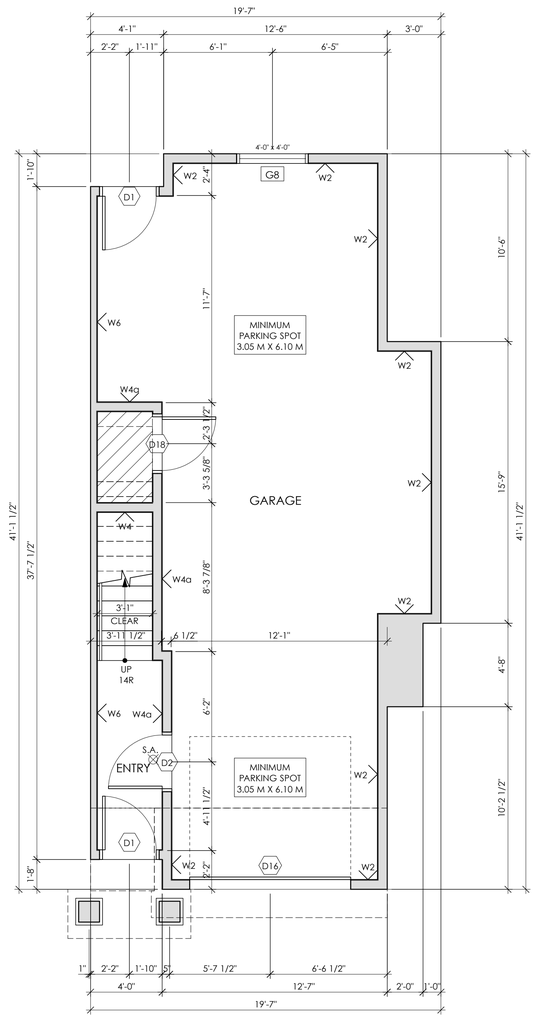
UNIT TYPE B3 PLANS

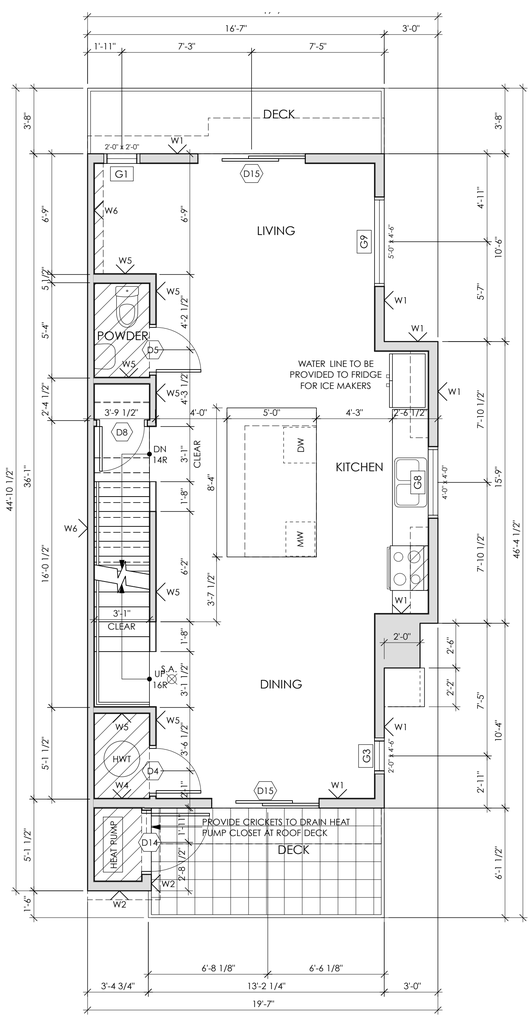
SCALE 1/4"=1'-0"

DATE NOV. 23, 2020

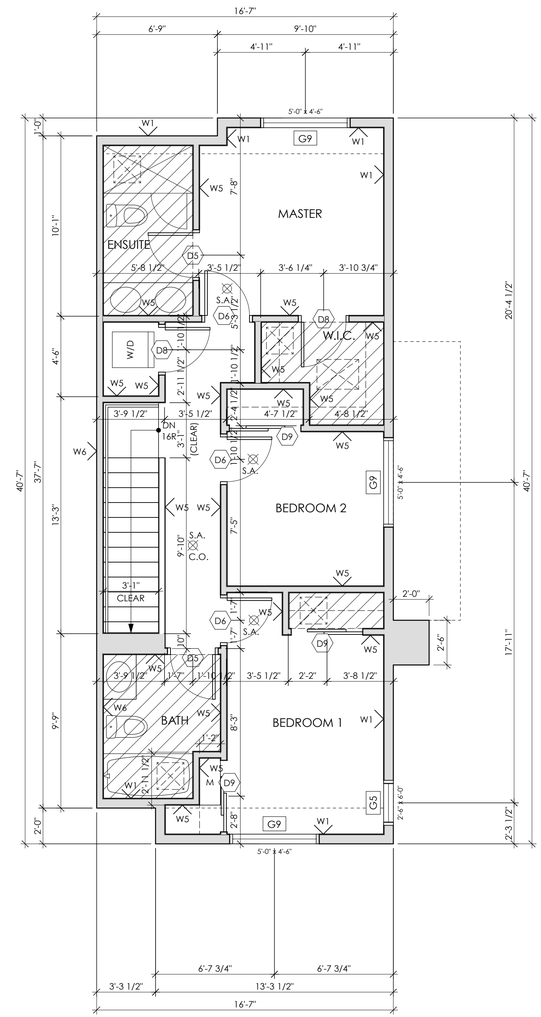
SHEET A3.06



LEVEL 1 PLAN
UNIT B2E



LEVEL 2 PLAN
UNIT B2E



LEVEL 3 PLAN
UNIT B2E

S.A. CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
14 RISERS @ 7.83"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE B2E

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	715.1 SF	670.4 SF	659.7 SF	**2045.2 SF**
EXCLUSIONS	606.4 SF	0.0 SF	0.0 SF	**606.4 SF**
NET	108.7 SF	670.4 SF	659.7 SF	**1438.7 SF**

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

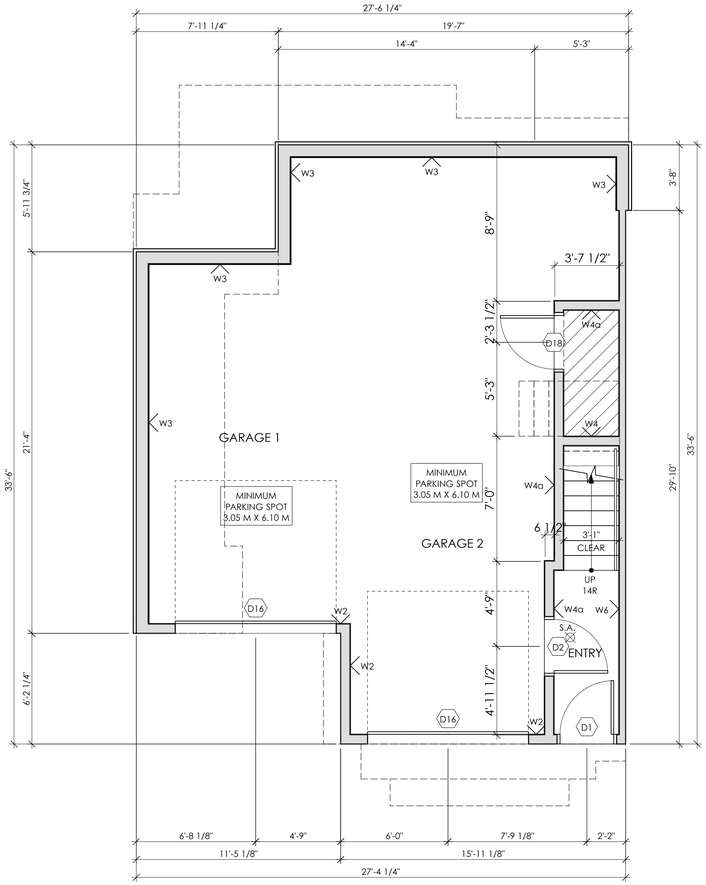
DRAWING

UNIT TYPE B2E PLANS

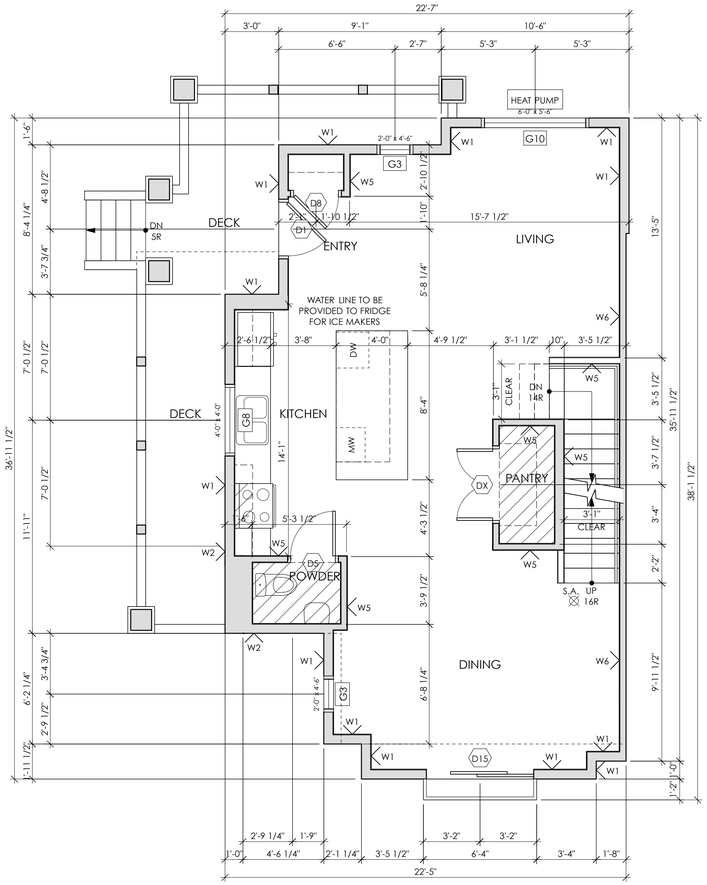
SCALE 1/4" = 1'-0"

DATE NOV. 23, 2020

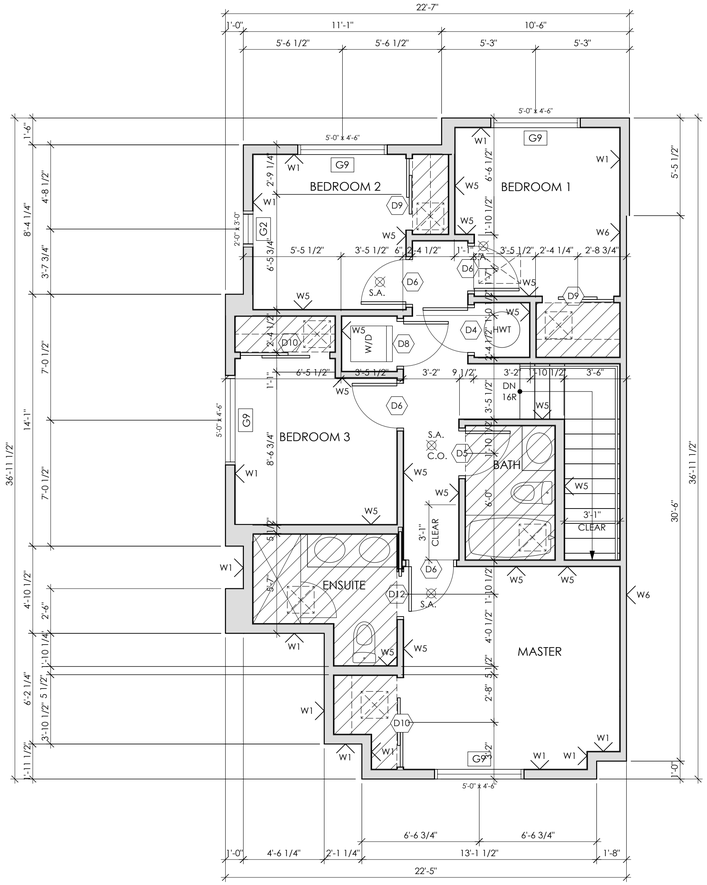
SHEET A3.07



LEVEL 1 PLAN
UNIT B1E



LEVEL 2 PLAN
UNIT B1E



LEVEL 3 PLAN
UNIT B1E

S.A. CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
14 RISERS @ 7.83"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE B1E

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	798.8 SF	731.8 SF	747.3 SF	**2277.9 SF**
EXCLUSIONS	694.1 SF	0.0 SF	0.0 SF	**694.1 SF**
NET	104.7 SF	731.8 SF	747.3 SF	**1583.8 SF**

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7360 CRABAPPLE COURT
PEMBERTON, BC

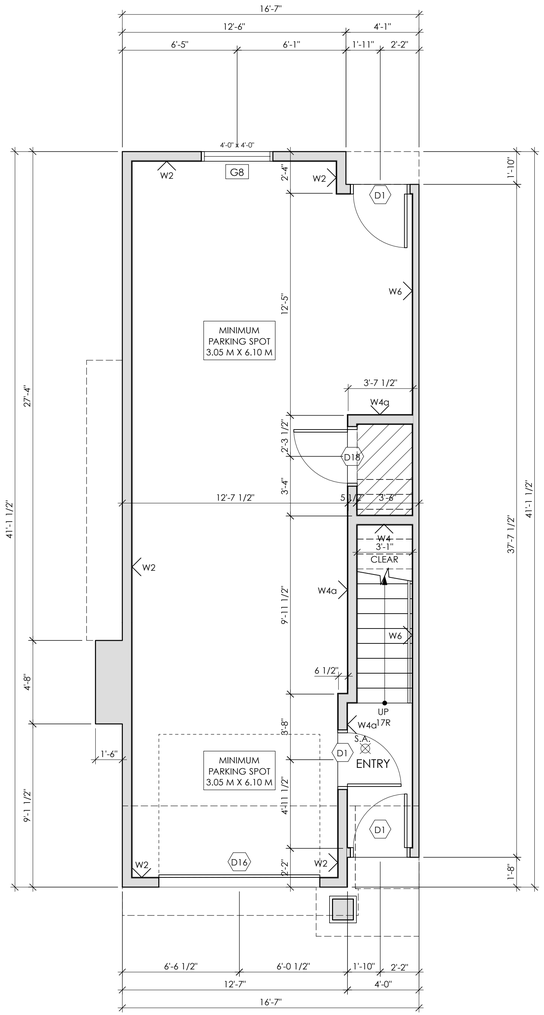
DRAWING

UNIT TYPE B1E PLANS

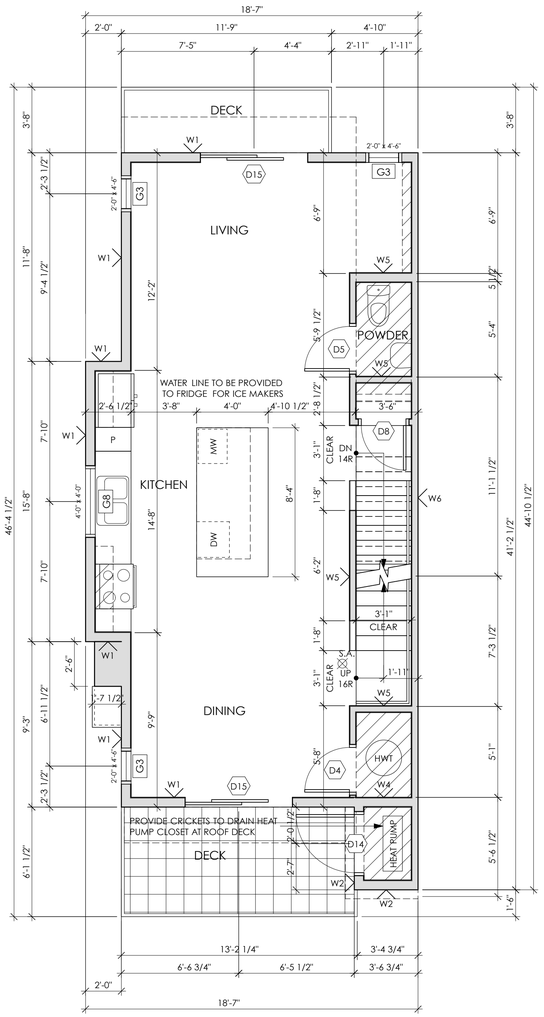
SCALE 1/4" = 1'-0"

DATE NOV. 23, 2020

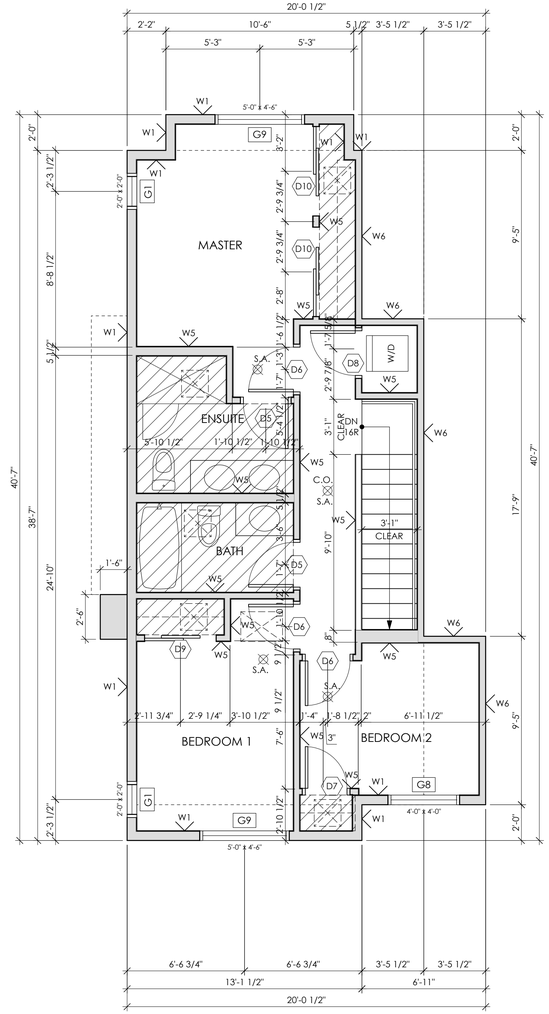
SHEET A3.08



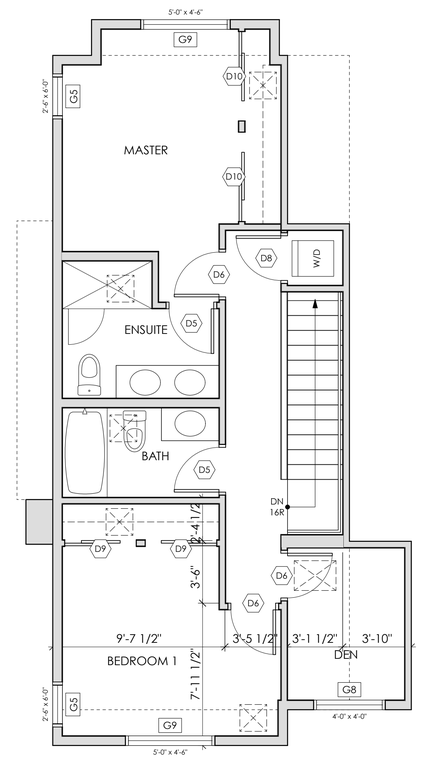
LEVEL 1 PLAN
UNIT BLE



LEVEL 2 PLAN
UNIT BLE



LEVEL 3 PLAN
UNIT BLE



LEVEL 3 PLAN
ALTERNATE LAYOUT (2 BED + DEN)

S.A. / CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
17 RISERS @ 7.51"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE BLE

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	**TOTAL**
GROSS	668.5 SF	654.3 SF	653.9 SF	**1976.8 SF**
EXCLUSIONS	563.8 SF	0.0 SF	0.0 SF	**563.8 SF**
NET	104.7 SF	654.3 SF	653.9 SF	**1413.0 SF**

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PEMBERTON , BC

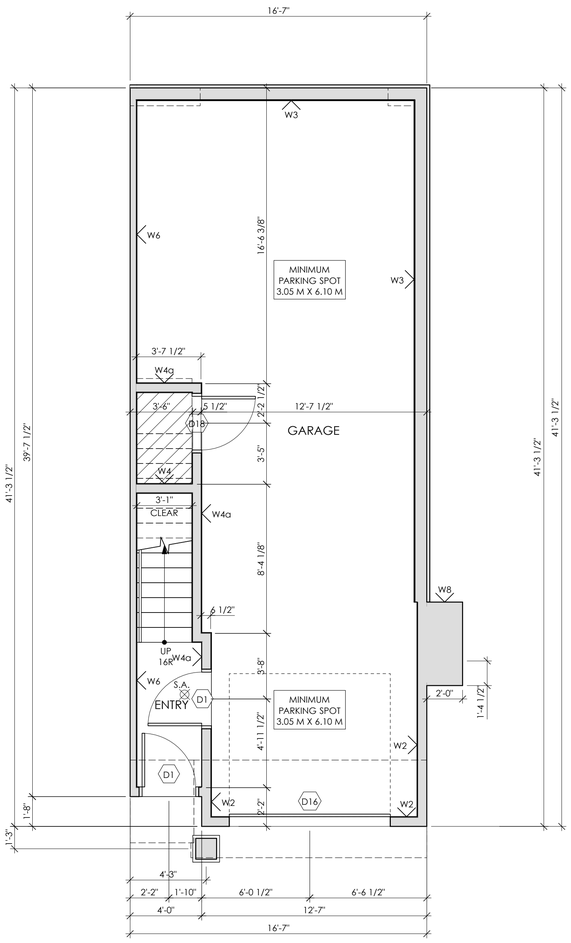
DRAWING

UNIT TYPE BLE PLANS

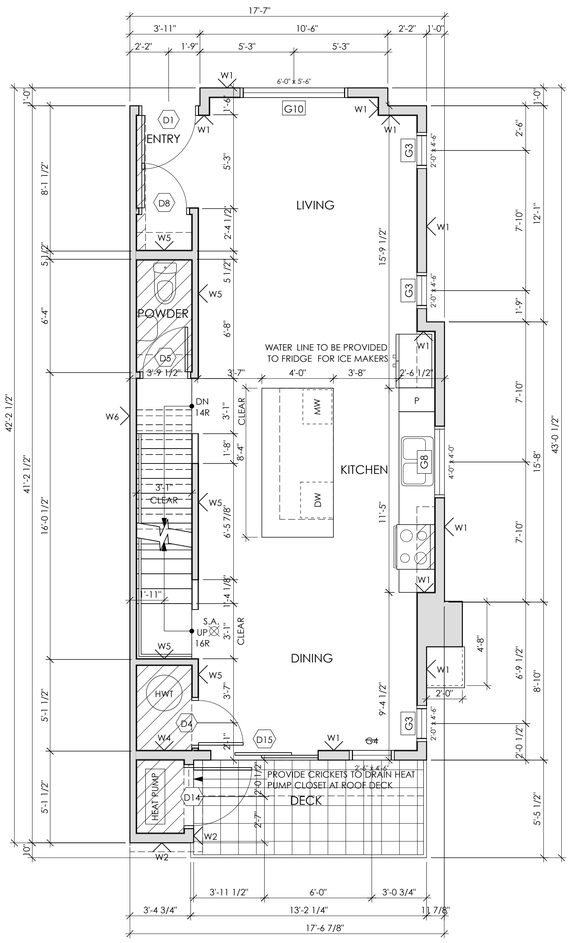
SCALE 1/4"=1'-0"

DATE NOV. 23, 2020

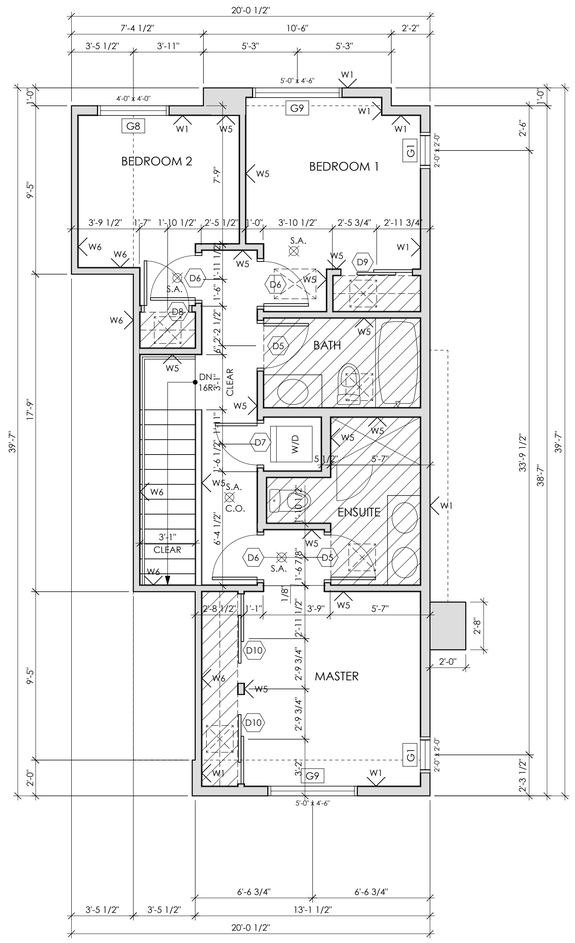
SHEET A3.09



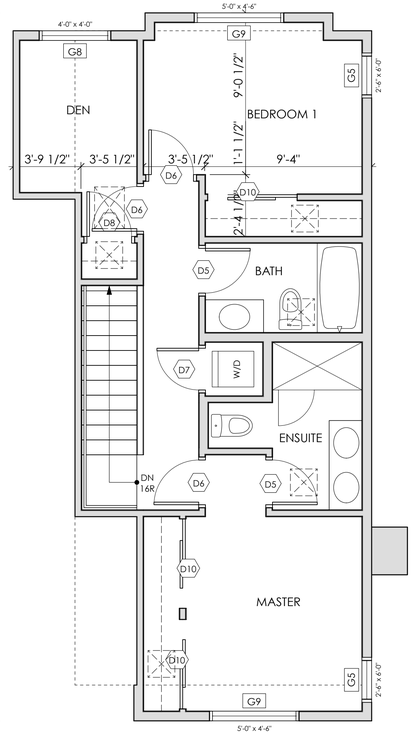
LEVEL 1 PLAN
UNIT BRE



LEVEL 2 PLAN
UNIT BRE



LEVEL 3 PLAN
UNIT BRE



LEVEL 3 PLAN
ALTERNATE LAYOUT (2 BED + DEN)

S.A. CO = SMOKE AND CARBON MONOXIDE ALARM

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
2. REFER TO ELEVATIONS FOR EXTENT OF EXTERIOR CLADDING

STAIR INFORMATION

LEVEL 1 TO LEVEL 2
16 RISERS @ 7.60"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT BRE

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	678.1 SF	649.3 SF	643.8 SF	**1971.2 SF**
EXCLUSIONS	579.7 SF	0.0 SF	0.0 SF	**579.7 SF**
NET	98.4 SF	649.3 SF	643.8 SF	**1391.5 SF**

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REVISIONS

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ISSUE FOR BUILDING PERMIT	NOV 23, 2020

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

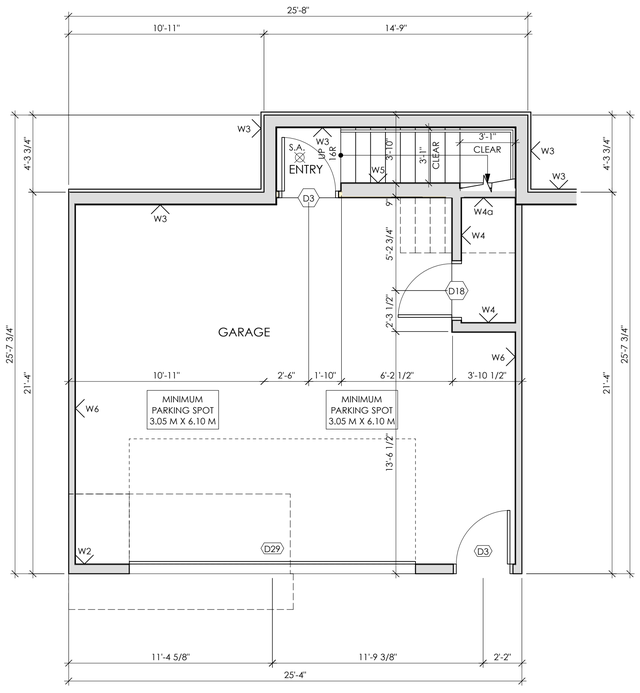
DRAWING

UNIT TYPE BRE PLANS

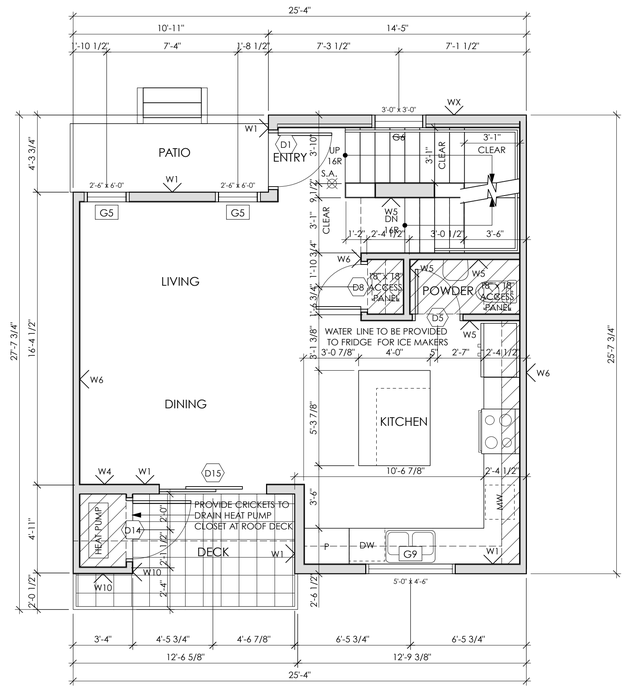
SCALE 1/4" = 1'-0"

DATE NOV. 23, 2020

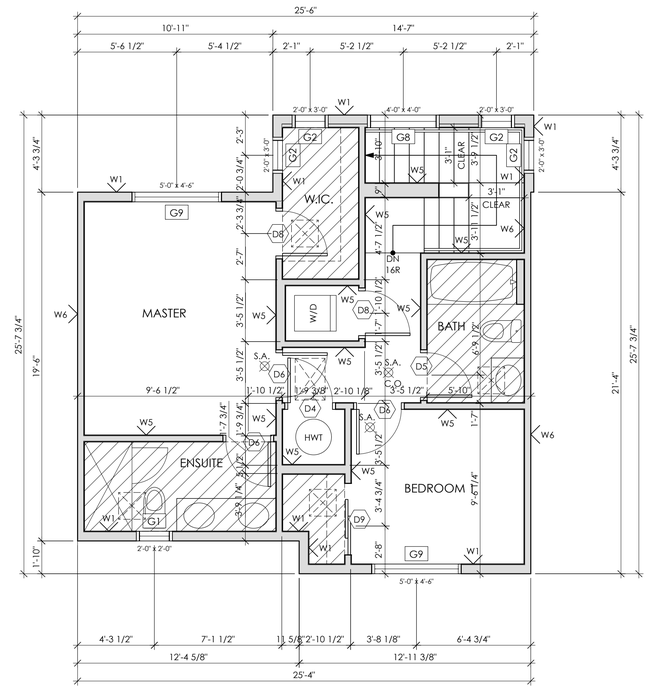
SHEET A3.10



LEVEL 1 PLAN
UNIT C1



LEVEL 2 PLAN
UNIT C1



LEVEL 3 PLAN
UNIT C1

S.A. = SMOKE AND CARBON MONOXIDE ALARM

CO

S.A. = SMOKE ALARM

NOTES:
1. MAINTAIN A MINIMUM CLEARANCE OF 18" TO RANGE FROM COMBUSTABLE SURFACES
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STAIR INFORMATION

LEVEL 1 TO LEVEL 2
16 RISERS @ 7.60"
10" RUN + 1" NOSING

LEVEL 2 TO LEVEL 3
16 RISERS @ 7.60"
10" RUN + 1" NOSING

STAIRS, HANDRAILS, AND GUARDS TO COMPLY WITH B.C.B.C.

UNIT TYPE C1

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	**TOTAL**
GROSS	604.3 SF	562.3 SF	580.6 SF	**1747.2 SF**
EXCLUSIONS	506.5 SF	0.0 SF	0.0 SF	**506.5 SF**
NET	97.8 SF	562.3 SF	580.6 SF	**1240.7 SF**

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

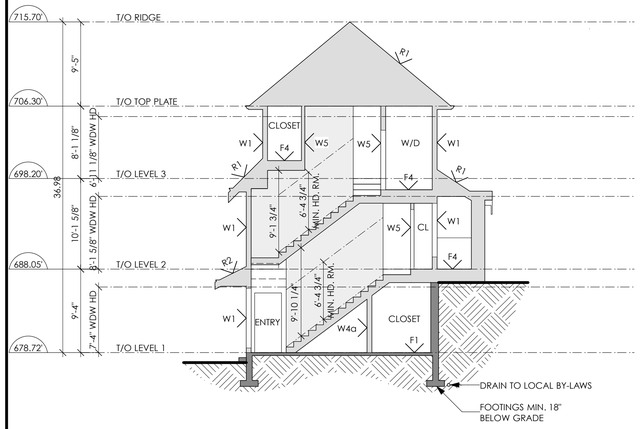
DRAWING

UNIT TYPE C1 PLANS

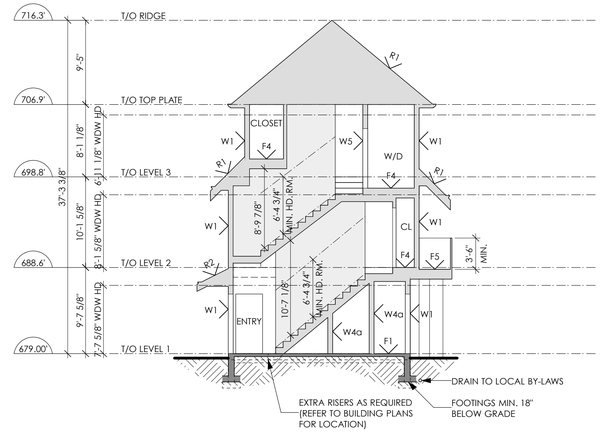
SCALE 1/4"=1'-0"

DATE NOV. 23, 2020

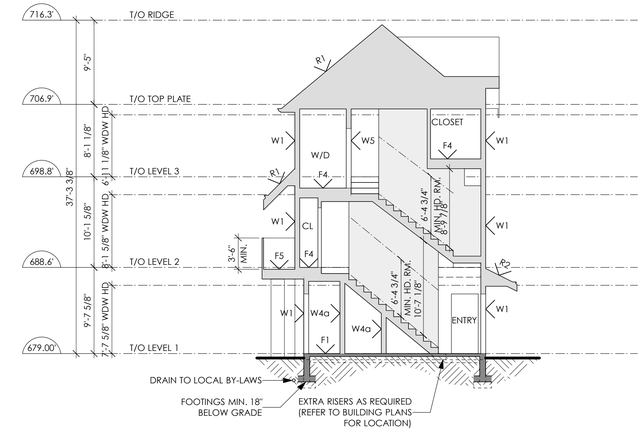
SHEET A3.11



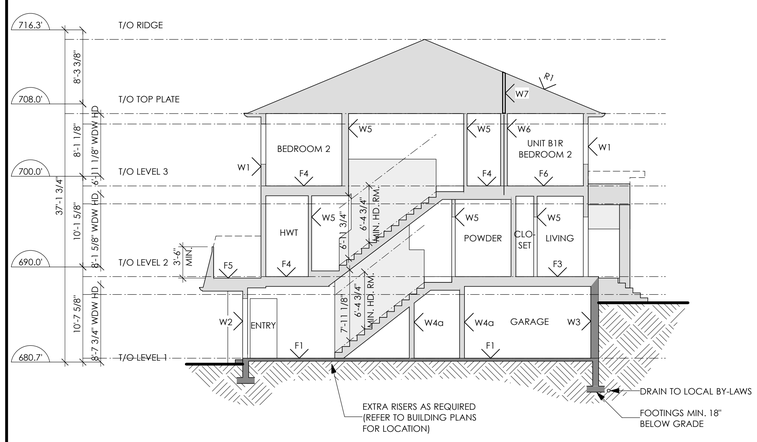
UNIT SECTION
UNIT A1 (15 RISERS)



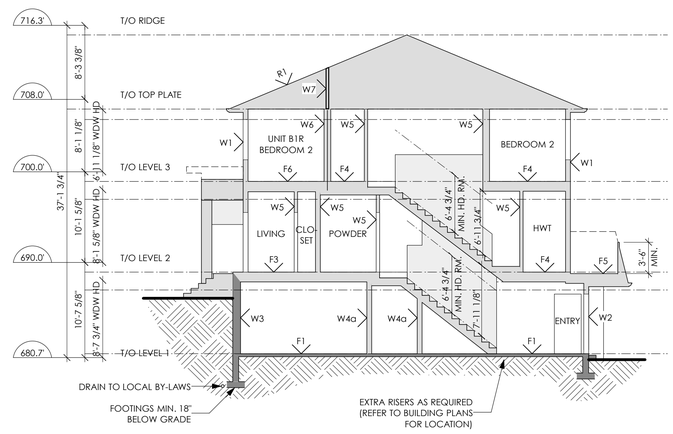
UNIT SECTION
UNIT A2 (14-15 RISERS)



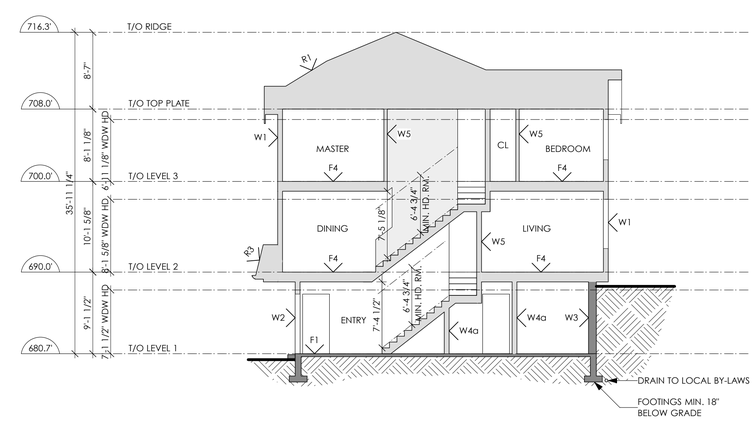
UNIT SECTION
UNIT A3 (14-15 RISERS)



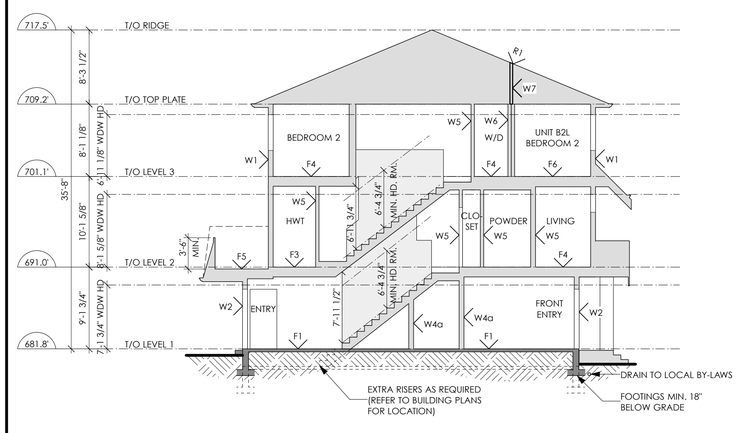
UNIT SECTION
UNIT B1L/BIR (14-15 RISERS)



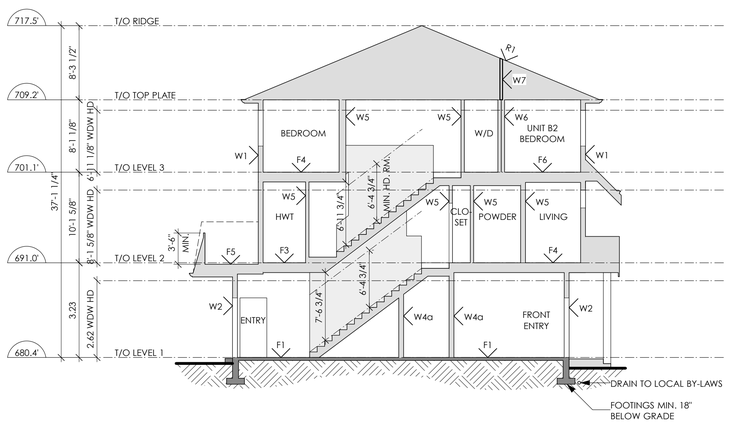
UNIT SECTION
UNIT B3/BRE (14-15 RISERS)



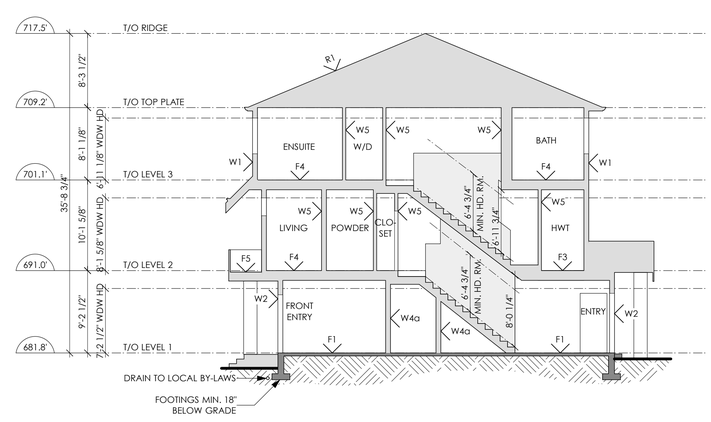
UNIT SECTION
UNIT BE+ (14 RISERS)



UNIT SECTION
UNIT B2L/B2R (14-17 RISERS)



UNIT SECTION
UNIT BLE (17 RISERS)



UNIT SECTION
UNIT B2E (14 RISERS)

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

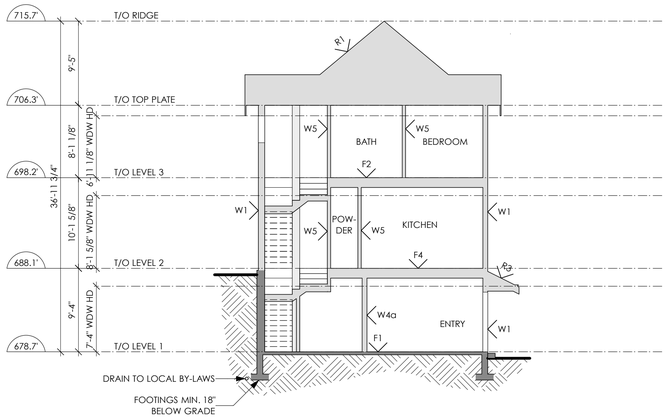
DRAWING

UNIT SECTIONS

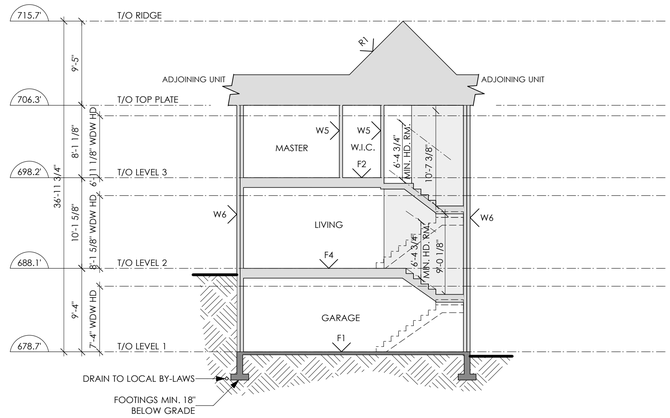
SCALE 1/8"=1'-0"

DATE NOV. 23, 2020

SHEET A4.00



UNIT SECTION
UNIT C1 (16 RISER)



UNIT SECTION
UNIT C1 (16 RISER)

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MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

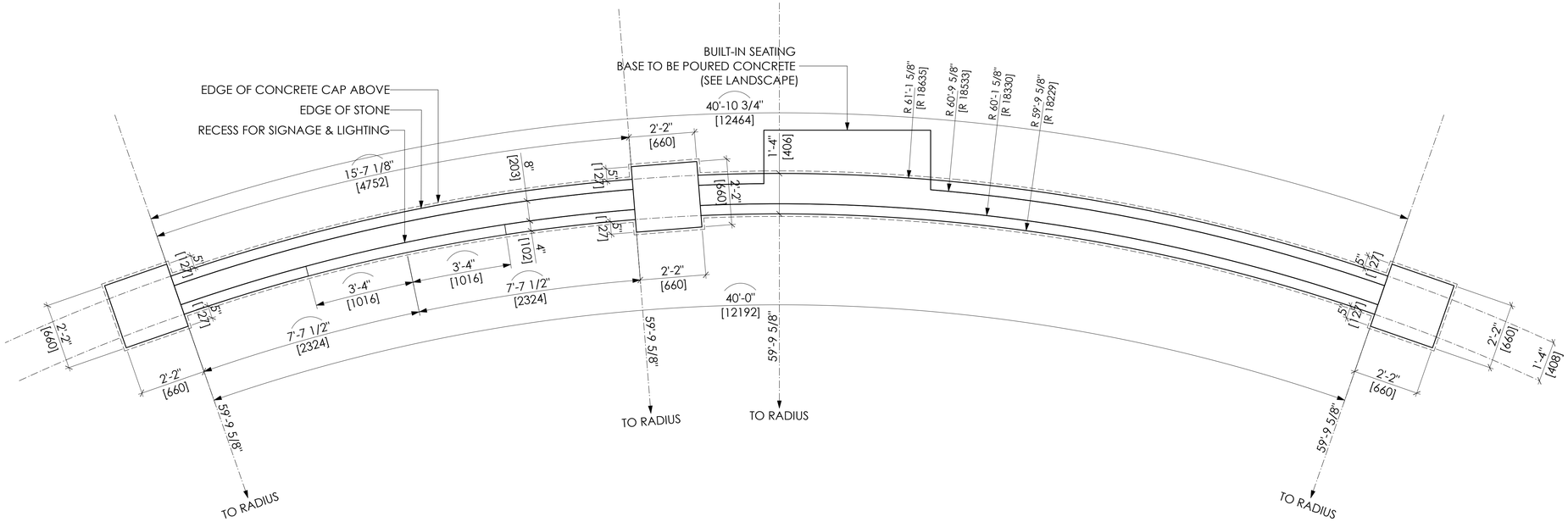
DRAWING

UNIT
SECTIONS

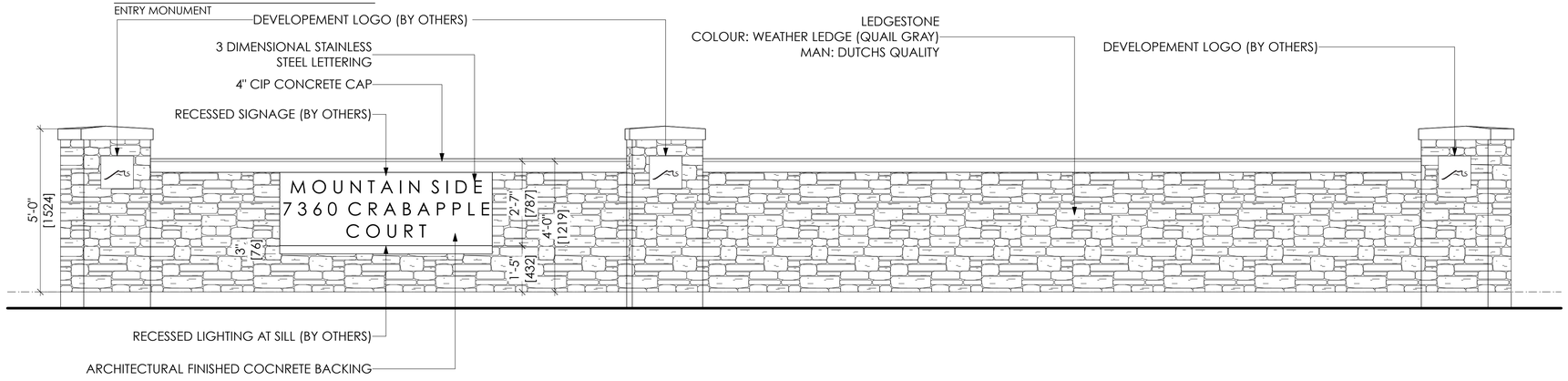
SCALE
1" = 1 / 8"

DATE
NOV. 23, 2020

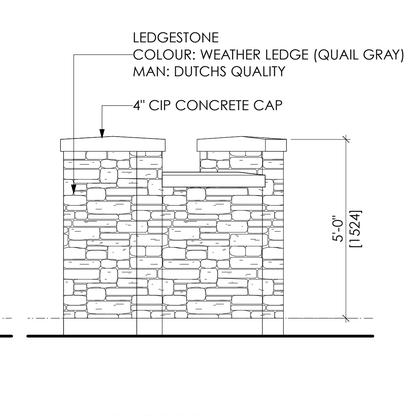
SHEET
A4.01



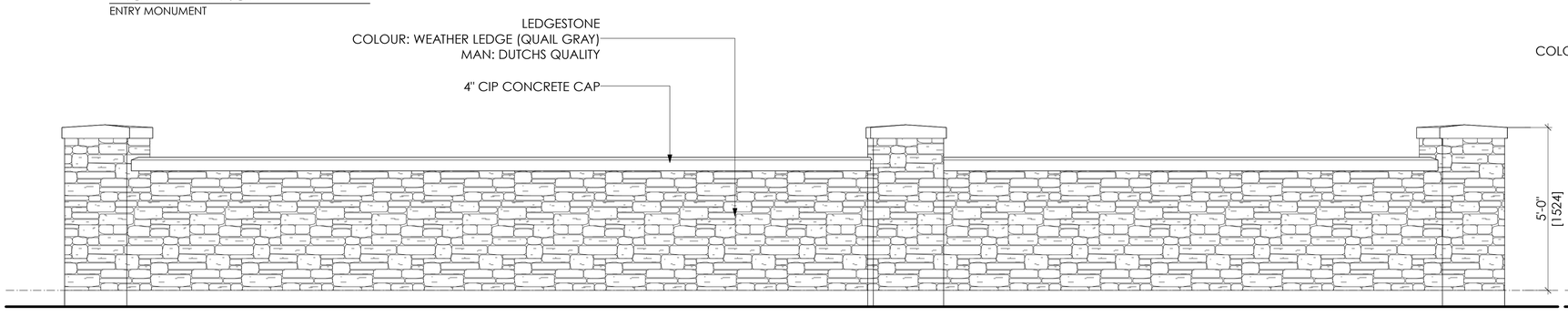
LEVEL 1 PLAN



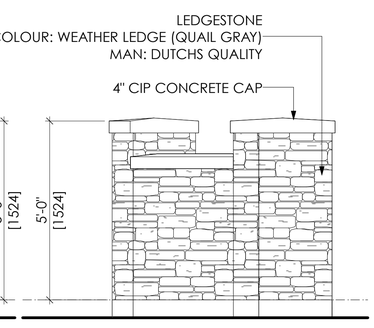
FRONT ELEVATION
ENTRY MONUMENT



RIGHT SIDE ELEVATION
ENTRY MONUMENT



REAR ELEVATION
ENTRY MONUMENT



LEFT SIDE ELEVATION
ENTRY MONUMENT

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MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

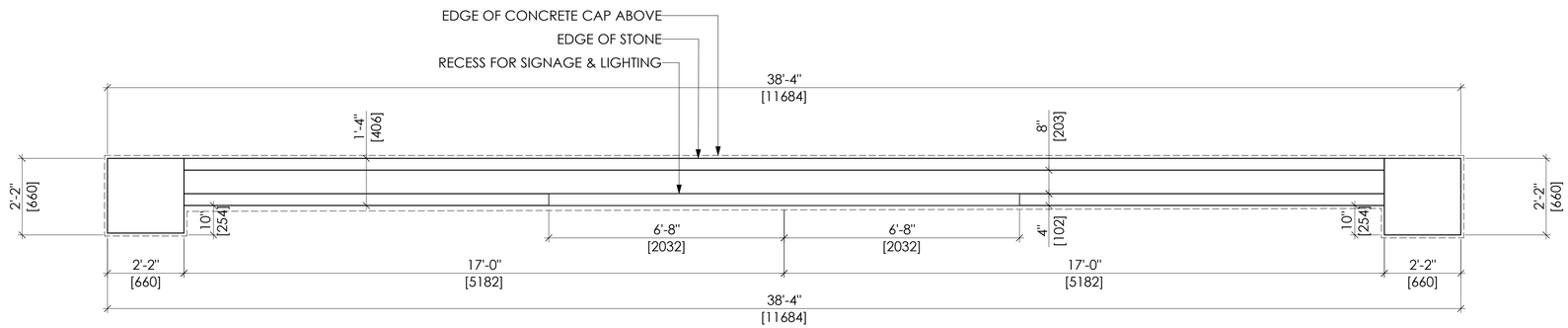
DRAWING

ENTRY MONUMENT

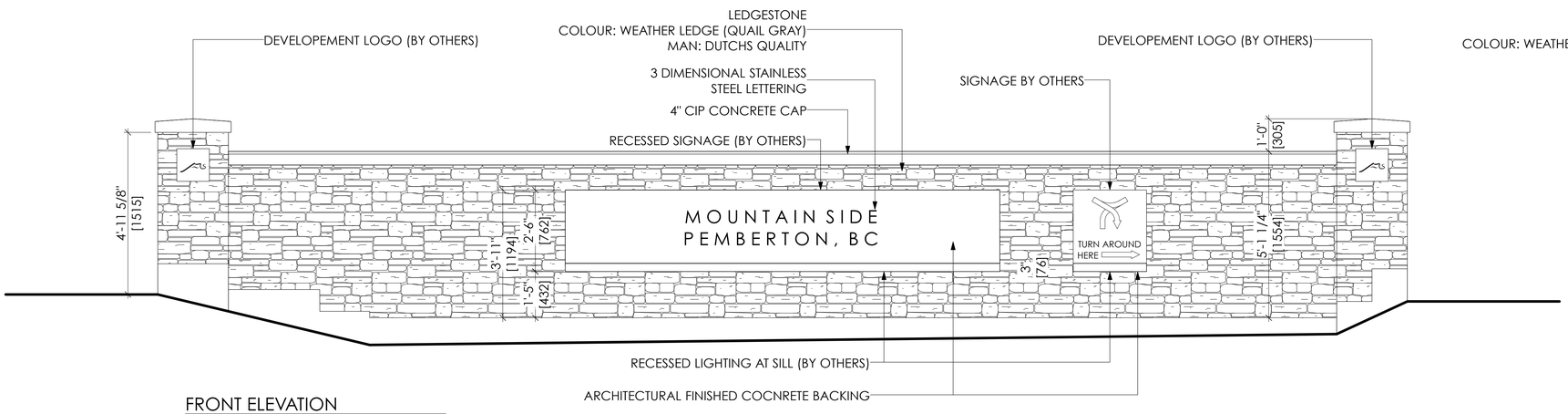
SCALE 1/2"=1'-0"

DATE NOV. 23, 2020

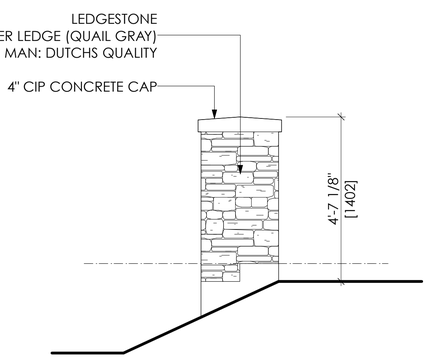
SHEET A5.00



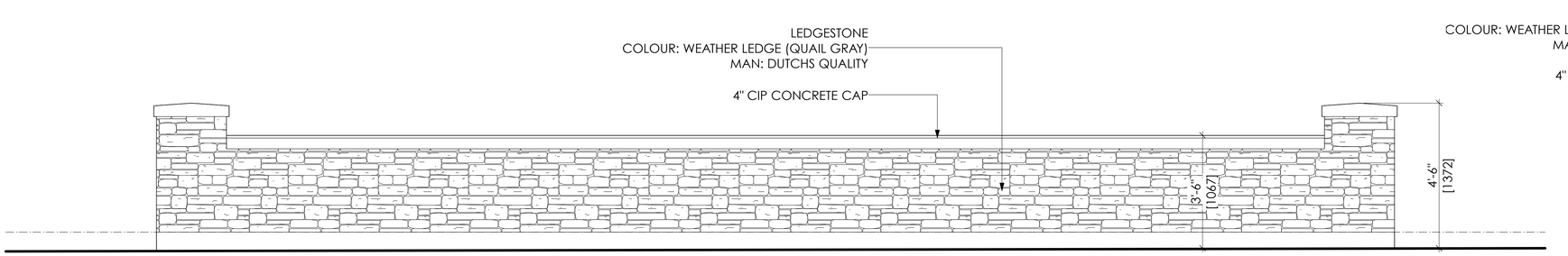
LEVEL 1 PLAN
SITE MONUMENT



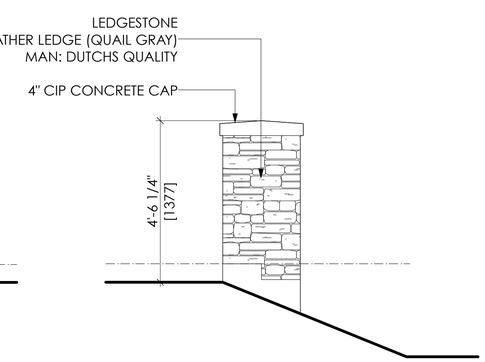
FRONT ELEVATION
SITE MONUMENT



RIGHT SIDE ELEVATION
SITE MONUMENT



REAR ELEVATION
SITE MONUMENT



LEFT SIDE ELEVATION
SITE MONUMENT

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

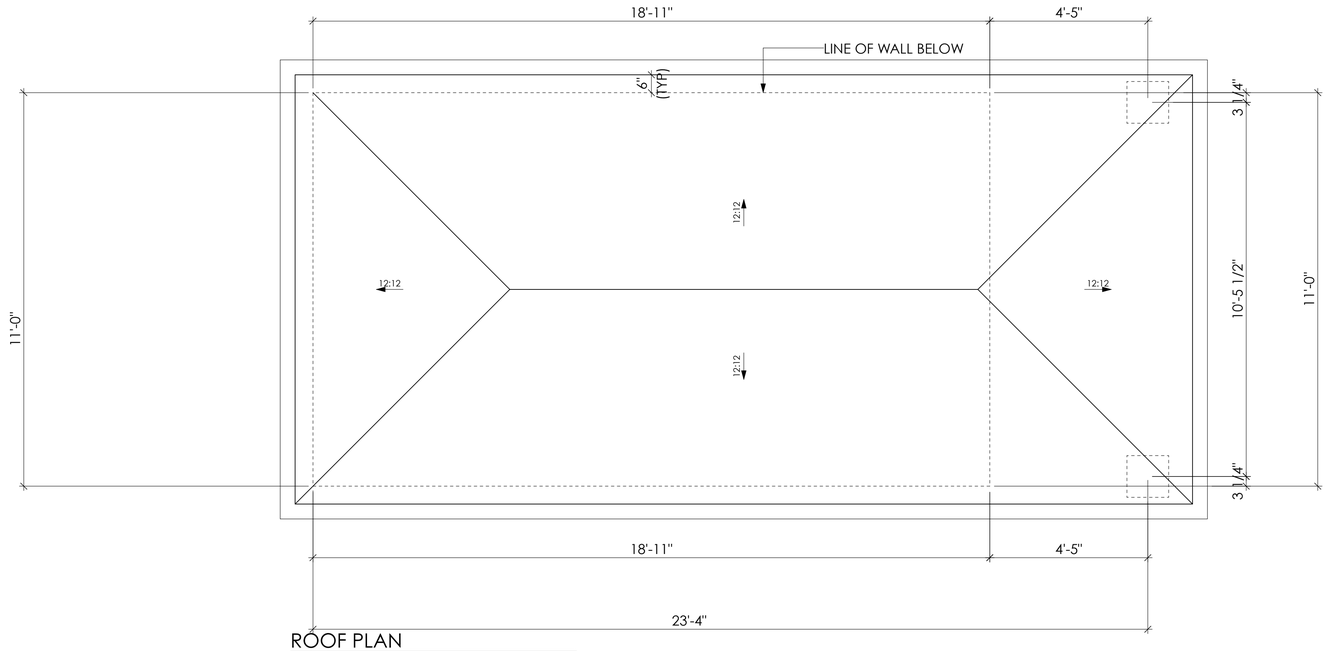
DRAWING

SITE MONUMENT

SCALE 1/2"=1'-0"

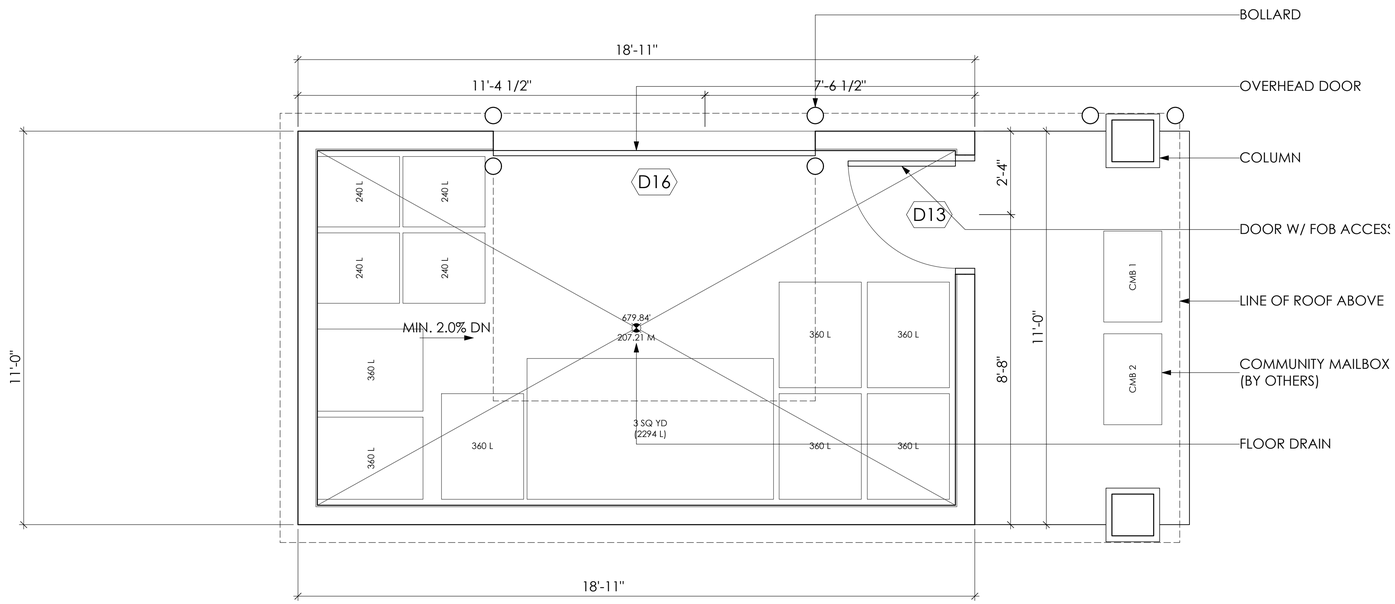
DATE NOV. 23, 2020

SHEET A5.01



ROOF PLAN

SERVICE BUIDLING PLANS (AD-01)



LEVEL 1 PLAN

SERVICE BUIDLING PLANS (AD-02)

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7360 CRABAPPLE COURT
PEMBERTON, BC

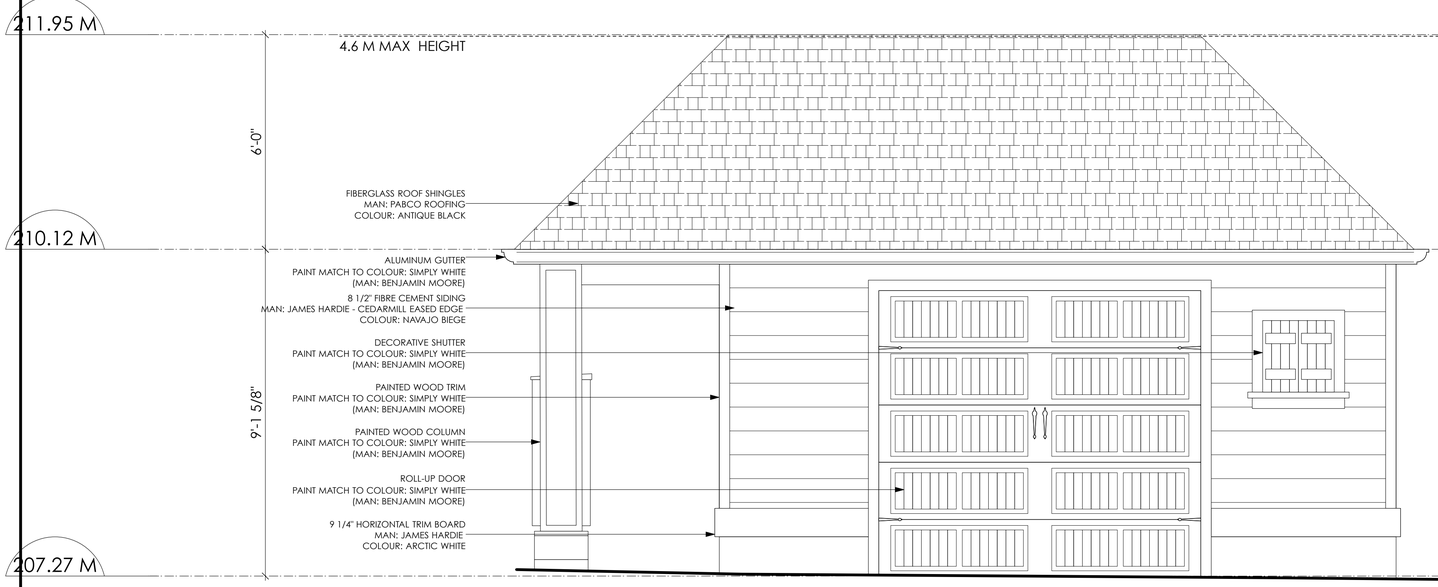
DRAWING

SERVICE BUILDING PLANS

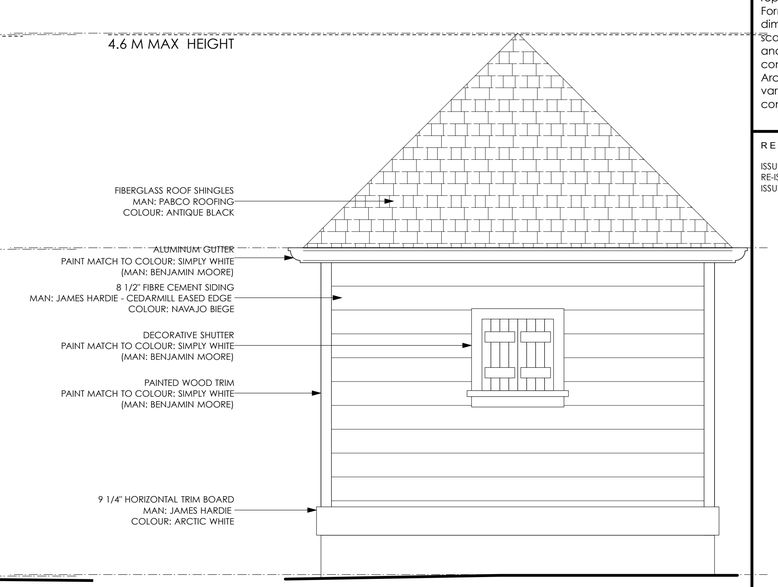
SCALE 1/2"=1'-0"

DATE NOV.23, 2020

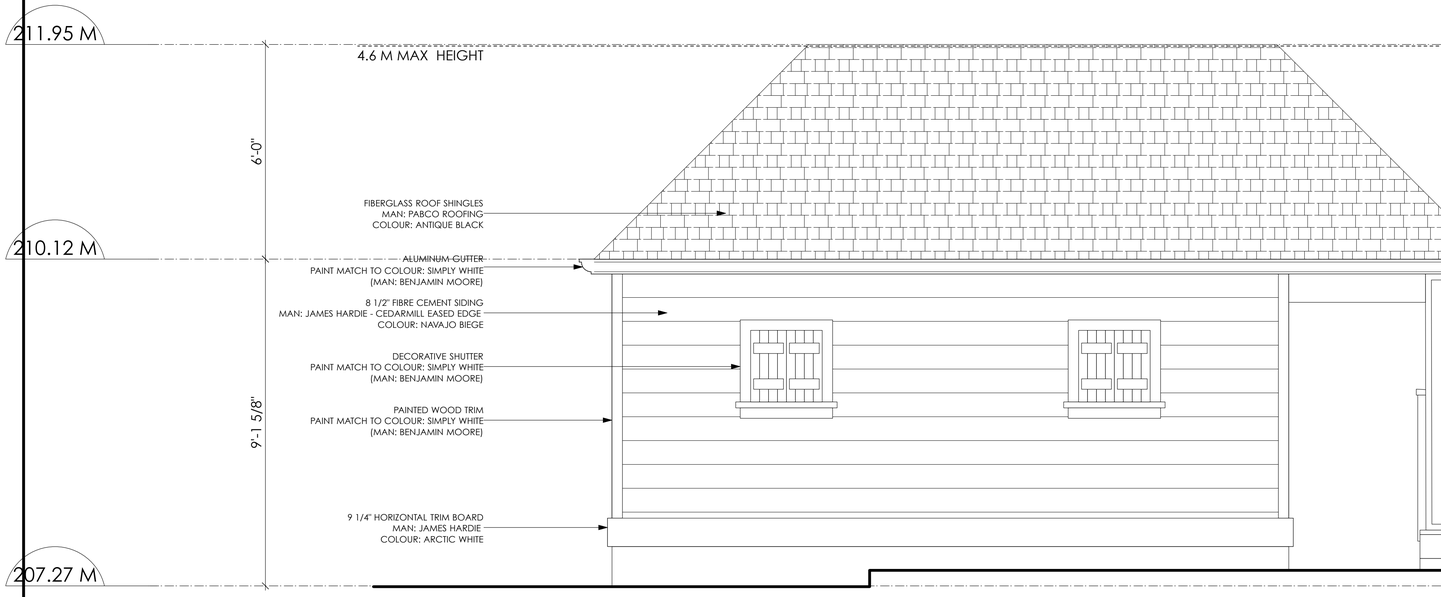
SHEET A5.02



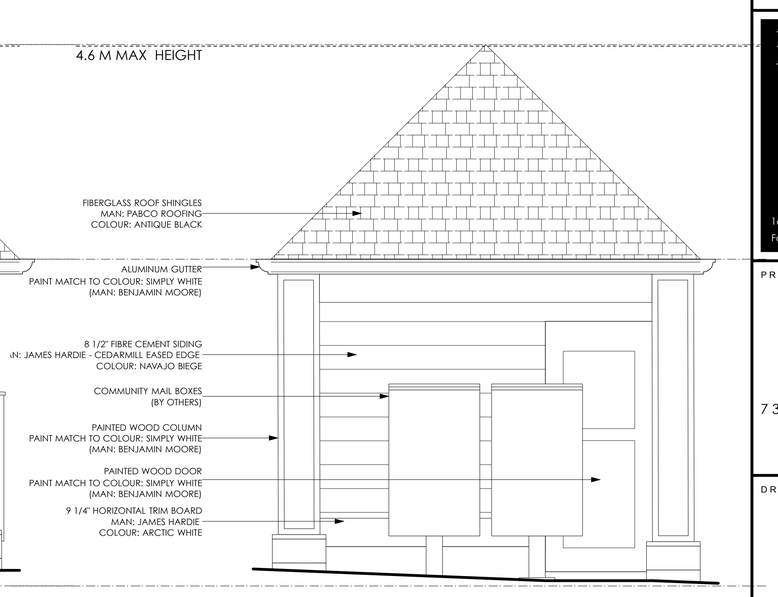
FRONT ELEVATION
SERVICE BUIDLING ELEVATIONS



RIGHT SIDE ELEVATION
SERVICE BUIDLING ELEVATIONS



REAR ELEVATION
SERVICE BUIDLING ELEVATIONS



LEFT SIDE ELEVATION
SERVICE BUIDLING ELEVATIONS

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

DRAWING

SERVICE BUILDING ELEVATIONS

SCALE 1/2"=1'-0"

DATE NOV. 23, 2020

SHEET A5.03

DOOR SCHEDULE

NO.	LOCATION	SIZE	TYPE	DOOR: Solid Core Wood	Hollow Core Wood	Hollow Metal	Metal Clad Solid Core	Metal Clad Hollow Core	Aluminum	Open Metal Grille	Vinyl w/ Glass	w/ Glass Panel	w/ Wire Glass Panel	w/ Sidelight *	w/ Transom Panel *	French Door	Aluminum Panel	FRAME: Wood Frame	Pressed Steel	Welded Steel	Thermally Broken	Aluminum	RATING: 2 Hr Fire Rating	1 1/2 Hr Fire Rating	1 Hr Fire Rating	45 Minute Fire Rating	20 Minute Fire Rating	Sprinkler Protection	TYPE: Swing	Bi-Fold	Pocket	Bi-Pass w/ Mirror face	Bi-Pass	Overhead	Sliding	HARDWARE: Pairs Butt Hinges (per door)	Self Latch Overhead-Closer	Self-Closing Hinges	Mortise Set	Privacy Set	Passage Set	Dummy Lever	Dead Bolt	Roller Latch	Complete Hardware	Viewer	Aluminum Threshold	Weather Stripping	Panic Hardware	Wood Threshold	Door Stop	Astragal	Coordinator	Automatic Flush Bolts	REMARKS
D1	ENTRY	3'0 X 6'8	A1/A2*				X					X							X											X							1.5			X				X				X	X							ONE-WAY PEEPHOLE
D2	GARAGE TO SUITE	3'0 X 6'8	A3				X												X											X							1.5		X	X				X				X	X							
D3	MECHANICAL (HWT)	2'6 X 5'6	B				X												X											X							1.5		X			X						X		X						
D4	MECHANICAL (HWT)	2'6 X 6'8	B				X												X											X							1.5		X			X						X		X						
D5	BATH/ENSUITE/POWDER	2'6 X 6'8	B		X														X											X							1.5				X															SMOOTH FINISH
D6	TYP. INTERIOR	2'6 X 6'8	B		X														X											X							1.5					X														SMOOTH FINISH
D7	CLOSET	2'4 X 6'8	B		X														X											X							1.5						X		X											SMOOTH FINISH
D8	CLOSET	2'6 X 6'8	B		X														X											X							1.5						X		X											SMOOTH FINISH
D9	CLOSET	4'0 X 6'8	C		X																														X																					SMOOTH FINISH
D10	CLOSET	5'0 X 6'8	C		X																														X																					SMOOTH FINISH
D11	CLOSET	(2) 3'0 X 6'8	D		X																								X																											SMOOTH FINISH
D12	CLOSET	2'6 X 6'8	E		X																											X																									SMOOTH FINISH
D13	ELECTRICAL ROOM	3'0 X 7'0	F				X													X						X			X								1.5		X					X								X				
D14	MECHANICAL ROOM	3'0 X 7'0	G				X													X									X								1.5		X													X				
D15	EXTERIOR SLIDER	(2) 3'0 X 6'8	H								X											X													X																					
D16	GARAGE/SERVICE BUILDING	9'0 X 8'0	J				X											X																X																					
D17	GARAGE	16'0 X 7'6	K				X											X																X																					
D18	GARAGE TO MECH	3'0 X 6'8	A3				X											X											X							1.5		X	X								X	X							
D19	GARAGE TO MECH	(2) 3'0 X 6'8	A3				X											X											X							1.5		X	X								X	X							
D20	SERVICE BUILDING	3'0 X 7'0	F				X													X									X							1.5		X									X	X				X			FOB ACCESS

NOTE: DOOR FRAME AND CLOSURE TO BE RATED IN CONFORMANCE TO B.C.B.C. 2018.

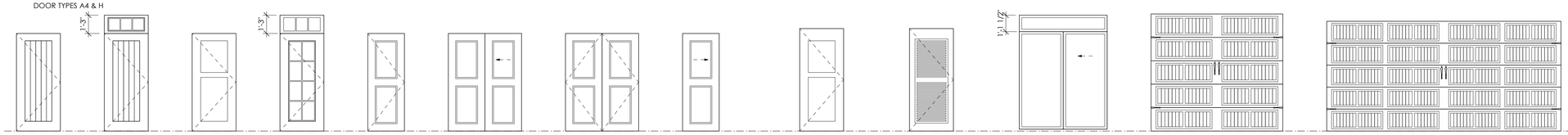
NOTE: ALL HIDGES TO BE MATTE BLACK

NOTE: SCREENS TO BE INSTALLED FOR ALL EXTERIOR SLIDING DOORS

* REFER TO ELEVATIONS FOR TRANSOM TYPES

DOOR TYPES

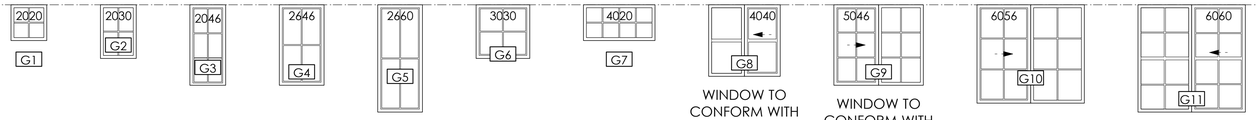
NOTE: SCREENS TO BE INSTALLED FOR DOOR TYPES A4 & H



TYPE A1 | TYPE A2 SAFETY GLASS | TYPE A3 | TYPE A4 SAFETY GLASS | TYPE B INTERIOR | TYPE C INTERIOR SLIDER | TYPE D INTERIOR SWING BY-PART | TYPE E POCKET | TYPE F ELECTRICAL ROOM | TYPE G MECHANICAL ROOM | TYPE H EXTERIOR SLIDER | TYPE J GARAGE | TYPE K GARAGE

WINDOW SCHEDULE

NOTE: SCREENS TO BE INSTALLED FOR ALL OPERABLE WINDOWS



WINDOW TO CONFORM WITH B.C.B.C. 9.9.10.1.

WINDOW TO CONFORM WITH B.C.B.C. 9.9.10.1.

NOTE: WINDOWS AND DOORS MUST COMPLY WITH NAFS AAMA/WDWA/CSA 101/I.S.2/A440S1-09 WITH THE FOLLOWING SPECIFICATIONS:

PERFORMANCE CLASS: R
PERFORMANCE GRADE: 30
WATER TEST PRESSURE: 330 Pa
U-FACTOR OVERALL: USI 1.4
SOLAR HEAT GAIN: SHGC 0.19
MINIMUM POSITIVE PRESSURE DESIGN: 1200 Pa
MINIMUM NEGATIVE PRESSURE DESIGN: 1200 Pa
MINIMUM AIR INFILTRATION: A2

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REVISIONS

ISSUE FOR DEVELOPMENT PERMIT	FEB 13, 2020
RE-ISSUE FOR DEVELOPMENT PERMIT	AUG 5, 2020
ISSUE FOR BUILDING PERMIT	NOV 17, 2020

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

DRAWING

SCHEDULES

SCALE: NTS

DATE: NOV.23, 2020

SHEET: A6.00

WALL SCHEDULE *plan section

WALL ASSEMBLY				REQUIRED	PROVIDED	LISTING REF.	NOTES
EXTERIOR WOOD FRAMED WALL - FIBRE CEMENT HORIZONTAL LAP SIDING	W1 FIBRE CEMENT HOR. SIDING; 1 HR. F.R.R.; - S.T.C.; 12.95 - 17.83* EFF. R VALUE	EXTERIOR / INTERIOR	FIBRE CEMENT HOR. PLANK SIDING W/ FIBRE CEMENT TRIM 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R24 F.G. BATT INSULATION 6 MIL. POLY AIR/VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION) * SEE ENERGY REPORT FOR LOCATIONS
				S.T.C.	N/A	N/A	N/A	
EXTERIOR WOOD FRAMED WALL - FIBRE CEMENT SHINGLE	W1a FIBRE CEMENT SIDING; 1 HR. F.R.R.; - S.T.C.; 12.95 - 17.83* EFF. R VALUE	EXTERIOR / INTERIOR	PAINTED FIBRE CEMENT SHINGLE 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R22 F.G. BATT INSULATION 6 MIL. POLY AIR/VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION) * SEE ENERGY REPORT FOR LOCATIONS
				S.T.C.	N/A	N/A	N/A	
EXTERIOR WOOD FRAMED WALL - STONE	W1b Stone; 1 HR. F.R.R.; - S.T.C.; 12.95 - 17.83* EFF. R VALUE	EXTERIOR / INTERIOR	1.5" NOMINAL STONE VENEER W/ CONCAVE JOINTS EXPANDED METAL LATH WITH BACKER BOARD 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R20 F.G. BATT INSULATION 6 MIL. POLY AIR/VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	N/A	1. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION) * SEE ENERGY REPORT FOR LOCATIONS
				S.T.C.	N/A	N/A	N/A	
EXTERIOR WOOD FRAMED WALL - SIDING VARIES	W1c SIDING VARIES; - F.R.R.; - S.T.C.; 12.95 - 17.83* EFF. R VALUE	EXTERIOR / INTERIOR	FIBRE CEMENT HOR. PLANK SIDING W/ FIBRE CEMENT TRIM 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R22 F.G. BATT INSULATION 1/2" PWF OR CCA PLYWOOD STRAPPING FOR BUILD-OUT 2 x 4 STUDS @ 16" O.C. FOR BUILD-OUT 6 MIL. POLY AIR/VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	RSI	1 HR.	1 HR.	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION) * SEE ENERGY REPORT FOR LOCATIONS
				F.R.R.	N/A	N/A	N/A	
				S.T.C.	N/A	N/A	N/A	
EXTERIOR WOOD FRAMED WALL - PANEL	W2 FIBRE CEMENT HOR. SIDING; 1 HR. F.R.R.; - S.T.C.; - EFF. R VALUE	EXTERIOR / INTERIOR	FIBRE CEMENT HOR. PLANK SIDING W/ FIBRE CEMENT TRIM 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)
				S.T.C.	N/A	N/A	N/A	
EXTERIOR WOOD FRAMED WALL - PANEL	W2a FIBRE CEMENT SIDING; 1 HR. F.R.R.; - S.T.C.; - EFF. R VALUE	EXTERIOR / INTERIOR	PAINTED FIBRE CEMENT SHINGLE 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)
				S.T.C.	N/A	N/A	N/A	
EXTERIOR WOOD FRAMED WALL - STONE	W1b Stone; 1 HR. F.R.R.; - S.T.C.; 17.44 EFF. R VALUE	EXTERIOR / INTERIOR	1.5" NOMINAL STONE VENEER W/ CONCAVE JOINTS EXPANDED METAL LATH WITH BACKER BOARD 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) 6 MIL. POLY AIR/VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	N/A	1. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)
				S.T.C.	N/A	N/A	N/A	
EXTERIOR CAVITY WOOD FRAMED WALL - STONE	W2c BRICK; - F.R.R.; - S.T.C.; - EFF. R VALUE	EXTERIOR / PUCK VENTS / FIRE BLOCK VOID WITH 1/2" PLYWOOD AT EACH LEVEL / INTERIOR	1.5" NOMINAL STONE VENEER W/ CONCAVE JOINTS EXPANDED METAL LATH WITH BACKER BOARD 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) VOID SPACE WITH PUCK VENTS EACH STUD SPACE TOP AND BOTTOM 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R22 F.G. BATT INSULATION 6 MIL. POLY AIR/VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	N/A	1. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION) 2. 1/2" PLYWOOD FIRESTOP AT EVERY FLOOR LEVEL AND AT TOP PLATE UNDER ROOF.
				S.T.C.	N/A	N/A	N/A	

WALL SCHEDULE *plan section

WALL ASSEMBLY				R_{FRAME}	R_{CAVITY}		REQUIRED	PROVIDED	LISTING REF.	NOTES
CONCRETE WALL AT GARAGE (RAISED YARD)	W3a - F.R.R.; - S.T.C.; 11.98 EFF. R VALUE	EXTERIOR / INTERIOR GARAGE	DELTA DRAIN MAT TO OUTSIDE BELOW GRADE R10 RIGID INSULATION TO FROST LINE BELOW GRADE 2 LAYERS OF BITUMINOUS DAMPROOFING BELOW GRADE 8" CONCRETE WALL (REFER TO STRUCTURAL FOR REQ'D REINFORCING)			F.R.R.	N/A	N/A	N/A	1. REFER TO STRUCTURAL FOR WALL THICKNESS
						S.T.C.	N/A	N/A	N/A	
CONCRETE WALL AT GARAGE (RAISED YARD)	W3b - F.R.R.; - S.T.C.; 11.98 EFF. R VALUE	EXTERIOR ABOVE GRADE / INTERIOR GARAGE	FIBRE CEMENT PANEL 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY R10 RIGID INSULATION TO FROST LINE BELOW GRADE 2 LAYERS OF BITUMINOUS DAMPROOFING BELOW GRADE 8" CONCRETE WALL (REFER TO STRUCTURAL FOR REQ'D REINFORCING)			F.R.R.	N/A	N/A	N/A	1. REFER TO STRUCTURAL FOR WALL THICKNESS
						S.T.C.	N/A	N/A	N/A	
CONCRETE WALL AT GARAGE	W3c - F.R.R.; - S.T.C.; - EFF. R VALUE	EXTERIOR / COVERED GARAGE	CEMENTITIOUS PANEL SIDING ELASTROMERIC WATERPROOF PAINT ABOVE GRADE 1/2" EXTERIOR GYPSUM BOARD (FOAM PLASTIC THERMAL BARRIER) 2 LAYERS OF BITUMINOUS DAMPROOFING BELOW GRADE 8" CONCRETE WALL (REFER TO STRUCTURAL FOR REQ'D REINFORCING) PATCH AND FILL PRIOR TO FINISHING WITH - WATERPROOF PAINT			F.R.R.	N/A	N/A	N/A	1. REFER TO STRUCTURAL FOR WALL THICKNESS
						S.T.C.	N/A	N/A	N/A	
INTERIOR WOOD FRAMED WALL AT GARAGE	W4 - F.R.R.; - S.T.C.; 12.95 - 17.83* EFF. R VALUE	GARAGE / INTERIOR	1/2" GYPSUM WALL BOARD 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R22 F.G. BATT INSULATION 6 MIL. POLY AIR/VAPOUR / GAS FUMES BARRIER 1/2" GYPSUM WALL BOARD **W4a SAME AS W4 EXCEPT REPLACE 1/2" GYPSUM WALL BOARD WITH 5/8" TYPE 'X' GYPSUM WALL BOARD (AT GARAGE SIDE)			F.R.R.	N/A	N/A	N/A	1. FOR GYPSUM IN GARAGE: MUD JOINTS & SCREW HEADS, TAPE JOINTS FOR GAS SEAL. 2. STUD SIZES WILL BE 2 x 6 UNLESS OTHERWISE NOTED. 3. WHERE FRAMING IS BUILT-UP FOR PLUMBING, PLUMBING SHALL BE ON THE WARM SIDE OF INSULATION. * SEE ENERGY REPORT FOR LOCATIONS
						S.T.C.	N/A	N/A	N/A	
TYPICAL INTERIOR WOOD FRAMED WALL	W5 - F.R.R.; - S.T.C.; - EFF. R VALUE	INTERIOR / INTERIOR	1/2" GYPSUM WALL BOARD 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) 1/2" GYPSUM WALL BOARD			F.R.R.	N/A	N/A	N/A	1. STUD SIZES WILL BE 2 x 4 UNLESS OTHERWISE NOTED
						S.T.C.	N/A	N/A	N/A	
INTERIOR WOOD FRAMED WALL	W5a SIDING VARIES; 1 HR. F.R.R.; - S.T.C.; - EFF. R VALUE	(REFER TO W5)	SAME AS W5 EXCEPT REPLACE 1/2" GYPSUM WALL BOARD WITH 5/8" TYPE 'X' GYPSUM WALL BOARD.			F.R.R.	45 MIN.	45 MIN.	B.C.B.C. TBL. A-9.10.3.1.A NO. EW1b (REV.)	(REFER TO W1 FOR NOTES.)
						S.T.C.	N/A	N/A	N/A	
INTERIOR PARTY WALL	W6 1 HR. F.R.R.; 57+ S.T.C.; - EFF. R VALUE	INTERIOR / INTERIOR	1/2" GYPSUM WALL BOARD 5/8" TYPE 'X' GYPSUM WALL BOARD 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ F.G. BATT INSULATION TO FILL CAVITY 1" AIR SPACE 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ F.G. BATT INSULATION TO FILL CAVITY 5/8" TYPE 'X' GYPSUM WALL BOARD			F.R.R.	1 HR.	1 HR.	B.C.B.C. TBL. D-2.3.4.-A/E/G	1. WHERE REQUIRED FOR STRUCTURAL, 1/2" PLYWOOD MAY REPLACE 1/2" GYPSUM WALL BOARD EXCEPT PLYWOOD IS PLACED DIRECTLY AGAINST OUTSIDE FACE OF PARTY WALL FRAMING (NOT IN 1" AIR SPACE). 2. PROVIDE METAL FIRESTOP OR CONTINUOUS PLYWOOD AT EACH FLOOR THROUGH AIR SPACE.
						S.T.C.	50	57+	B.C.B.C. TBL. A-9.10.3.1.A NO. 13a (REV.)	
INTERIOR PARTY WALL IN ATTIC	W7 1 HR. F.R.R.; - S.T.C.; - EFF. R VALUE	ATTIC / ATTIC	5/8" TYPE 'X' GYPSUM WALL BOARD NON-STRUCTURAL ENGINEERED WOOD PARTY TRUSS (REFER TO STRUCT.) 5/8" TYPE 'X' GYPSUM WALL BOARD			F.R.R.	1 HR.	1 HR.	cUL U338	1. STAGGER, TAPE, & MUD JOINTS ON EITHER SIDE OF DRYWALL.
						S.T.C.	N/A	N/A	N/A	

NOTE FOR ALL WALL ASSEMBLIES: ADD PLYWOOD ON EITHER ONE OR BOTH SIDES OF STUDS WHERE REQUIRED (REFER TO STRUCTURAL)

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REVISIONS

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RE-ISSUE FOR DEVELOPMENT PERMIT	AUG 5, 2020
ISSUE FOR BUILDING PERMIT	NOV 17, 2020

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

DRAWING

ASSEMBLIES

SCALE NTS

DATE NOV. 23, 2020

SHEET A6.01

WALL SCHEDULE *plan section

WALL ASSEMBLY				REQUIRED	PROVIDED	LISTING REF.	NOTES
EXTERIOR WOOD FRAMED WALL AT ELECTRICAL ROOM	W8	EXTERIOR / INTERIOR ELECTRICAL ROOM	F.R.R.	1 HR.	1 HR.	B.C.B.C. TBL. A-9.10.3.1.A NO. EW1a (REV.)	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION) * SEE ENERGY REPORT FOR LOCATIONS
	1 HR. F.R.R. - S.T.C. 12.95 - 17.83* EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
INTERIOR WOOD FRAMED WALL AT ELECTRICAL ROOM	W9	GARAGE / INTERIOR ELECTRICAL ROOM	F.R.R.	1 HR.	1 HR.	B.C.B.C. TBL. A-9.10.3.1.A NO. W1a (REV.)	* SEE ENERGY REPORT FOR LOCATIONS
	1 HR. F.R.R. - S.T.C. 12.95 - 17.83* EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
EXTERIOR WOOD FRAMED WALL AT SHAFT / MECHANICAL ENCLOSURE	W10	EXTERIOR / MECHANICAL SHAFT	F.R.R.	N/A	N/A	N/A	1. STUD SIZES WILL BE 2 x 4 UNLESS OTHERWISE NOTED
	- F.R.R. - S.T.C. - EFF. R VALUE		S.T.C.	N/A	N/A	N/A	

W8	5/8" TYPE 'X' GYPSUM WALL BOARD 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R20 F.G. BATT INSULATION 6 MIL. POLY AIR/VAPOUR / GAS FUMES BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD
W9	1 LAYERS 1/2" EXTERIOR GYPSUM WALL BOARD TYVEK HOME WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) 1 LAYER 1/2" EXTERIOR GYPSUM WALL BOARD
W10	PAINTED FIBRE CEMENT SHINGLE 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY APPROVED BUILDING WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R20 F.G. BATT INSULATION 6 MIL. POLY AIR/VAPOUR / GAS FUMES BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD

NOTE FOR ALL WALL ASSEMBLIES: ADD PLYWOOD ON EITHER ONE OR BOTH SIDES OF STUDS WHERE REQUIRED (REFER TO STRUCTURAL)

ROOF SCHEDULE

ROOF ASSEMBLY				REQUIRED	PROVIDED	LISTING REF.	NOTES
TYPICAL TRUSS ROOF	R1		F.R.R.	N/A	N/A	N/A	1. PROVIDE EAVES PROTECTION AS PER B.C.B.C. 9.26.5. * SEE ENERGY REPORT FOR LOCATIONS
	- F.R.R. - S.T.C. 32.42 - 50.31* EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
TYPICAL TRUSS ROOF AT ELECTRICAL ROOM	R2		F.R.R.	1 HR.	1 HR.	B.C.B.C. TBL. A-9.10.3.1.B NO. M2	1. PROVIDE EAVES PROTECTION AS PER B.C.B.C. 9.26.5. * SEE ENERGY REPORT FOR LOCATIONS
	1 HR. F.R.R. - S.T.C. 32.42 - 50.31* EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
TYPICAL TRUSS ROOF AT ELECTRICAL ROOM	R3		F.R.R.	1 HR.	1 HR.	B.C.B.C. TBL. A-9.10.3.1.B NO. M2	1. PROVIDE EAVES PROTECTION AS PER B.C.B.C. 9.26.5.
	- F.R.R. - S.T.C. EFF. R VALUE		S.T.C.	N/A	N/A	N/A	

R1	LAMINATED FIBREGLASS SHINGLES NO. 15 NON-PERFORATED ROOFING FELT AS REQUIRED PER SHINGLE MANUFACTURER'S SPECIFICATIONS 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) ENGINEERED ROOF TRUSSES @ 24" O.C. W/ R40 F.G. LOOSE-FILL INSULATION 6 MIL POLY AIR/VAPOUR BARRIER 5/8" GYPSUM WALL BOARD
R2	LAMINATED FIBREGLASS SHINGLES NO. 15 NON-PERFORATED ROOFING FELT AS REQUIRED PER SHINGLE MANUFACTURER'S SPECIFICATIONS 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) ENGINEERED ROOF TRUSSES @ 24" O.C. W/ R40 F.G. LOOSE-FILL INSULATION 6 MIL POLY AIR/VAPOUR BARRIER 2 LAYERS 5/8" TYPE 'X' GYPSUM WALL BOARD
R3	LAMINATED FIBREGLASS SHINGLES NO. 15 NON-PERFORATED ROOFING FELT AS REQUIRED PER SHINGLE MANUFACTURER'S SPECIFICATIONS 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) ENGINEERED ROOF TRUSSES @ 24" O.C. 6 MIL POLY AIR/VAPOUR BARRIER 2 LAYERS 5/8" TYPE 'X' GYPSUM WALL BOARD

NOTE PROVIDE FOR ALL ROOFS SHEDDING TOWARDS PAVED PATHS OR DRIVEWAYS: RG7 MECHANICALLY FASTENED SNOW GUARD OR EQUIVALENT INSTALLED PER MANUFACTURERS WRITTEN SPECIFICATIONS.

FLOOR SCHEDULE

FLOOR ASSEMBLY				REQUIRED	PROVIDED	LISTING REF.	NOTES
SLAB ON GRADE AT CONDITIONED SPACE	F1		F.R.R.	N/A	N/A	N/A	
	- F.R.R. - S.T.C. 11.98 EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
SLAB ON GRADE AT UNCONDITIONED SPACE	F2		F.R.R.	N/A	N/A	N/A	1. PROVIDE MIN. SLOPE OF 2 % TO DRAIN AS PER ARCHITECTURAL PLAN.
	- F.R.R. - S.T.C. - EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
INTERIOR WOOD FRAMED FLOOR AT GARAGE	F3	INTERIOR / GARAGE	F.R.R.	1 HR	1 HR	B.C.B.C. 2018 APPENDIX D COMPONENT ADDITIVE TABLES D-2.3.4.-B/F/G	1. FOR GYPSUM IN GARAGE: TAPE & FILL JOINTS & SCREW HEADS. 2. *R_{csi} VALUE INCLUDES 3/4" AIR SPACE ABOVE INSULATION * SEE ENERGY REPORT FOR LOCATIONS
	1 HR. F.R.R. - S.T.C. 28.96 - 32.65* EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
TYPICAL INTERIOR RATED WOOD FRAMED FLOOR	F4	INTERIOR / INTERIOR	F.R.R.	3/4 HR	3/4 HR	B.C.B.C. 2018 APPENDIX D COMPONENT ADDITIVE TABLES D-2.3.4.-B/F/G	
	3/4 HR. F.R.R. - S.T.C.		S.T.C.	-	-	-	
WOOD FRAMED ROOF DECK AT GARAGE	F5	EXTERIOR / GARAGE	F.R.R.	1 HR	1 HR	B.C.B.C. 2018 APPENDIX D COMPONENT ADDITIVE TABLES D-2.3.4.-B/F/G	1. FOR GYPSUM IN GARAGE: TAPE & FILL JOINTS & SCREW HEADS. 2. *R_{csi} VALUE INCLUDES 3/4" AIR SPACE ABOVE INSULATION 3. SEE LETTER OF RECOMMENDATION FROM ENVELOPE CONSULTANT. * SEE ENERGY REPORT FOR LOCATIONS
	1 HR. F.R.R. - S.T.C. 28.96 - 32.65* EFF. R VALUE		S.T.C.	N/A	N/A	N/A	
INTERIOR WOOD FRAMED PARTY FLOOR AT INTERLOCKING UNITS	F6		F.R.R.	1 HR.	1 HR.	B.C.B.C. 2018 APPENDIX D COMPONENT ADDITIVE TABLES D-2.3.4.-B/F/G	
	1 HR. F.R.R. 53+ S.T.C. - EFF. R VALUE		S.T.C.	50	53+	B.C.B.C. TBL. A-9.10.3.1.B NO. F9h	
TYPICAL WOOD FRAMED FLOOR OVER EXTERIOR	F7	INTERIOR / EXTERIOR	F.R.R.	N/A	N/A	N/A	1. FOR GYPSUM IN GARAGE: MUD JOINTS & SCREW HEADS. TAPE JOINTS FOR GAS SEAL. 2. *R_{csi} VALUE INCLUDES 3/4" AIR SPACE ABOVE INSULATION * SEE ENERGY REPORT FOR LOCATIONS
	1 HR. F.R.R. - S.T.C. 28.96 - 32.65* EFF. R VALUE		S.T.C.	N/A	N/A	N/A	

F1	FINISHED FLOORING CONCRETE SLAB (REFER TO STRUCTURAL FOR THICKNESS AND REQUIRED REINFORCING) 10 MIL U.V. POLY R12 RIGID INSULATION DOWN TO FOOTING VERT. OR 1.2 M VERT. OR 1.2 M HOR. (PER B.C.B.C. 9.36.2.8.(4)) 6" COMPACTED GRANULAR FILL (AS PER SOILS REPORT) UNDISTURBED SOIL
F2	CONCRETE SLAB (REFER TO STRUCTURAL FOR THICKNESS AND REQUIRED REINFORCING) 10 MIL U.V. POLY 6" COMPACTED GRANULAR FILL (AS PER SOILS REPORT) UNDISTURBED SOIL
F3	FINISHED FLOORING 5/8" T & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 11 7/8" WOOD I - JOISTS (REFER TO STRUCTURAL) CROSS BRIDGING AS REQUIRED (REFER TO STRUCTURAL) W/ R28 F.G. BATT INSULATION, HELD ABOVE CEILING BY WIRE RETAINING SYTEM 6 MIL. POLY VAPOUR / GAS FUMES BARRIER 2 LAYERS 1/2" TYPE X GYPSUM WALL BOARD
F4	FINISHED FLOORING 5/8" T & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 11 7/8" WOOD I - JOISTS (REFER TO STRUCTURAL) 1 LAYER 5/8" TYPE X GYPSUM WALL BOARD
F5	1 1/2" CONCRETE UNIT PAVERS (PAVERS NOT REQUIRED IN HEAT PUMP ENCLOSURE) NEOPRENE OR ADJUSTABLE LEVELING SHIMS 2 PLY SBS TORCH ON MEMBRANE 3/4" EXTERIOR GRADE PLYWOOD (REFER TO STRUCTURAL) 2x TAPER PURLINS FOR SLOPE 7 1/4" WOOD I - JOISTS (REFER TO STRUCTURAL) CROSS BRIDGING AS REQUIRED (REFER TO STRUCTURAL) W/ 2LB MIN. R28 SPRAY FOAM INSULATION TO FILL CAVITY 6 MIL. POLY VAPOUR / GAS FUMES BARRIER 2 LAYERS 1/2" TYPE X GYPSUM WALL BOARD
F6	FINISHED FLOORING 5/8" T & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 2 LAYERS 5/8" TYPE 'X' GYPSUM WALL BOARD, GLUED AND SCREWED TO U/S OF SUBFLOOR, BETWEEN JOISTS, FOR FULL AREA OF INTERLOCKING UNITS 11 7/8" WOOD I - JOIST (REFER TO STRUCTURAL) W/ R28 F.G. BATT INSULATION 1/2" 25 GA. SINGLE WEB RESILIENT FURRING SPACED @ 600 mm, PERPENDICULAR TO JOISTS 2 LAYERS 1/2" TYPE 'X' GYPSUM WALL BOARD
F7	FINISHED FLOORING 5/8" T & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) TAPED AT SEAMS 2 x 10 TJI OR WOOD JOISTS (REFER TO STRUCTURAL) W/ 2X2 CROSS BRIDGING (REFER TO STRUCTURAL) AND W/ R32 F.G. BATT INSULATION (ROCKWOOL OR EQUIVALENT) VENTED FIBRE CEMENT SOFFIT OR CEDAR SOFFIT

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REVISIONS

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RE-ISSUE FOR DEVELOPMENT PERMIT	AUG 5, 2020
ISSUE FOR BUILDING PERMIT	NOV 17, 2020

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

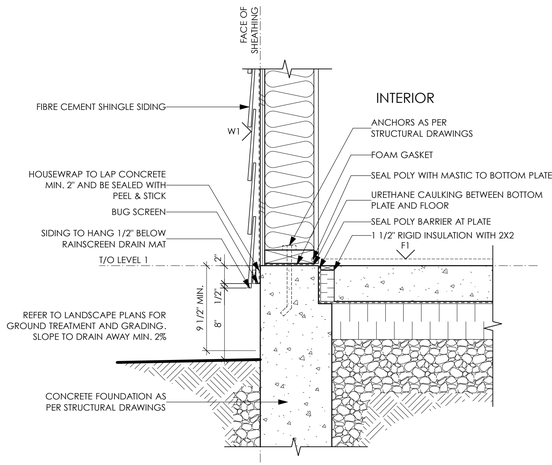
DRAWING

ASSEMBLIES

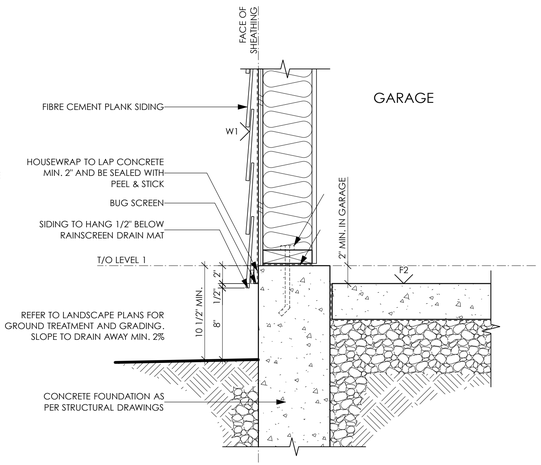
SCALE NTS

DATE NOV. 23, 2020

SHEET A6.02



AD-01 / A7.00 TYP. T/O FDN WALL (FIBRE CEMENT SHINGLE)
SCALE: 1 1/2" = 1'-0"



AD-02 / A7.00 TYP. T/O FDN WALL (FIBRE PLANK SHINGLE)
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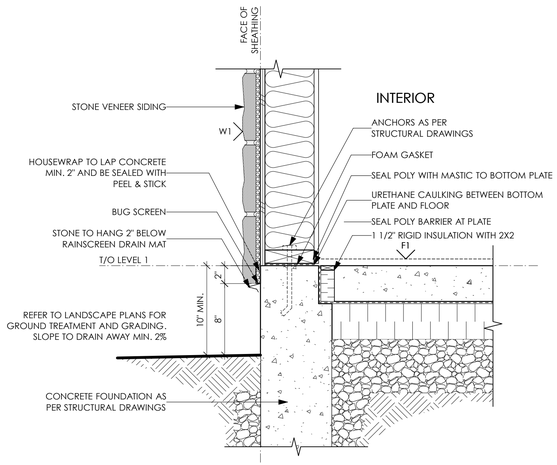
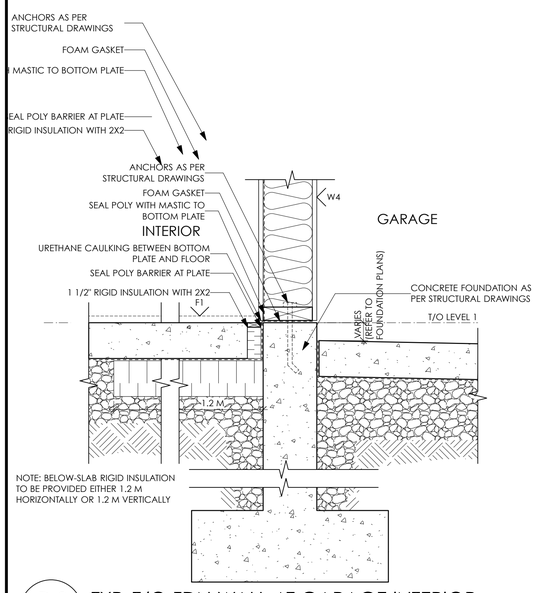
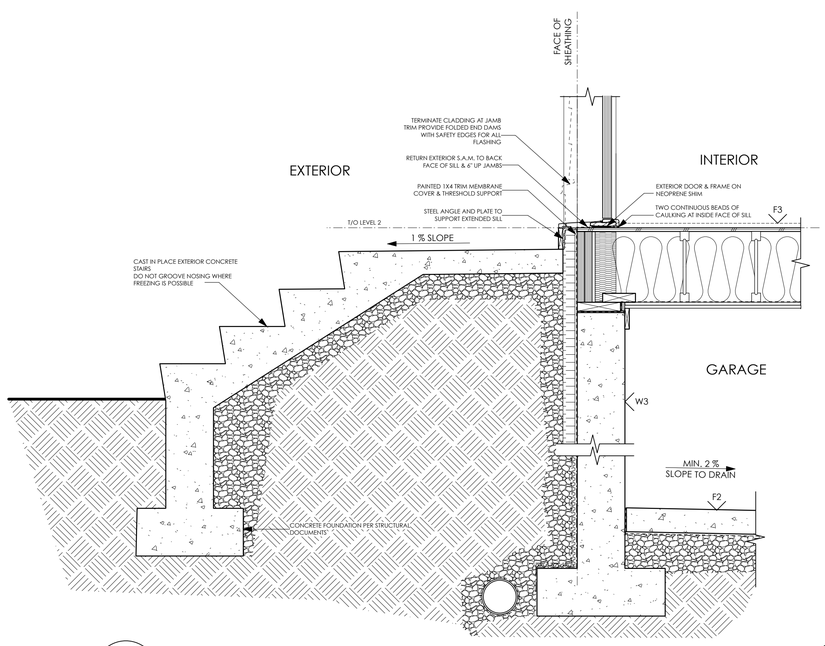


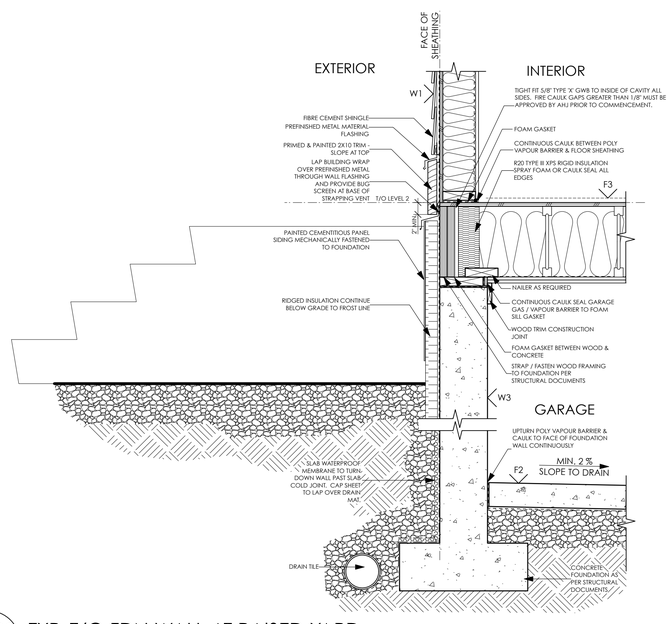
AD-03 / A7.00 TYP. T/O FDN WALL (STONE)
SCALE: 1 1/2" = 1'-0"



AD-06 / A7.00 TYP. T/O FDN WALL AT GARAGE INTERIOR
SCALE: 1 1/2" = 1'-0"



AD-06 / A7.07 TYP. T/O FDN WALL AT RAISED YARD (ENTRYS)
SCALE: 1 1/2" = 1'-0"



AD-08 / A7.07 TYP. T/O FDN WALL AT RAISED YARD
SCALE: 1" = 1'-0"

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FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

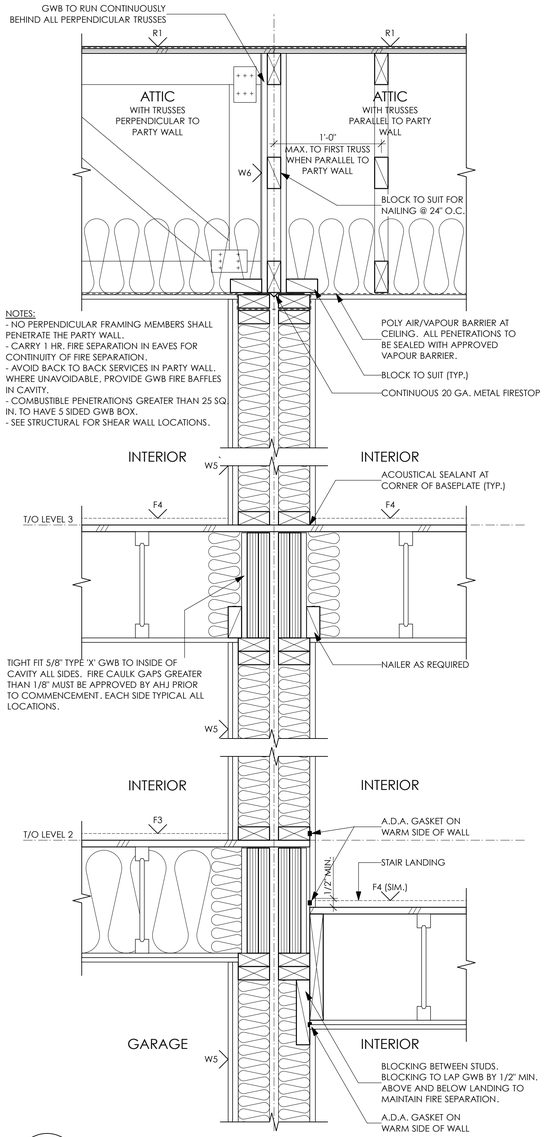
DRAWING

ARCHITECTURAL DETAILS

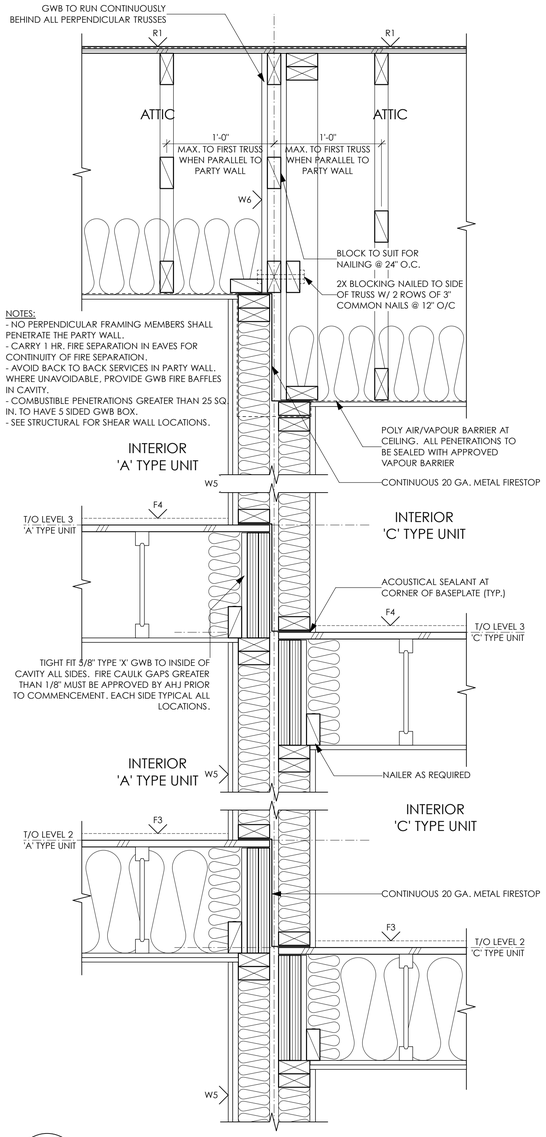
SCALE: AS NOTED

DATE: NOV. 23, 2020

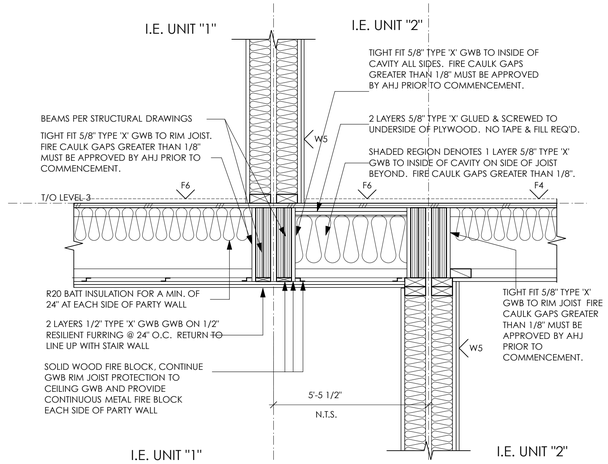
SHEET: A7.00



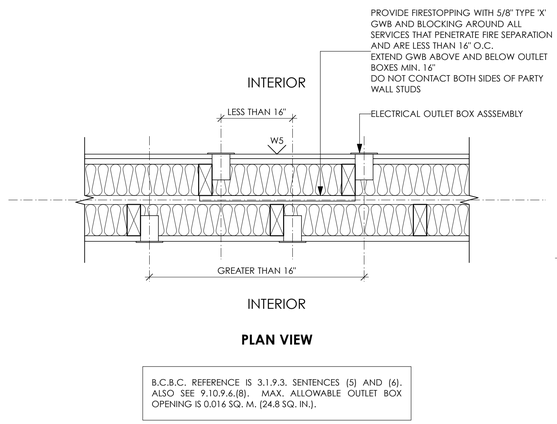
AD-01 / A7.01 TYP. PARTY WALL SECTION
SCALE: 1 1/2" = 1'-0"



AD-02 / A7.01 TYP. PARTY WALL SECTION BETWEEN A & C UNITS
SCALE: 1 1/2" = 1'-0"

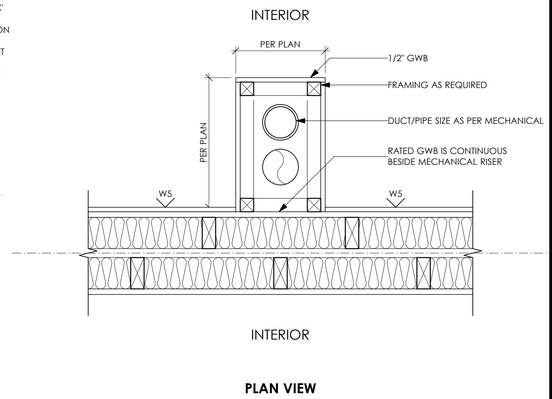


AD-01 / A7.01 FIREBLOCKING @ INTERLOCKING UNITS
SCALE: 1" = 1'-0"

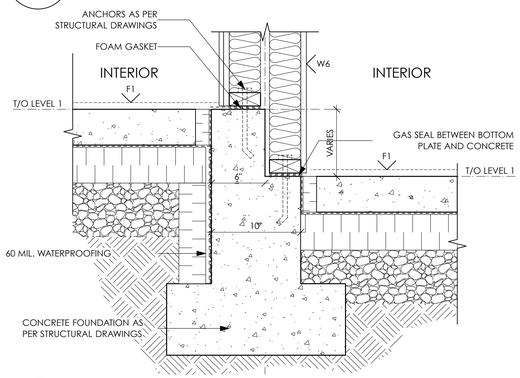


B.C.B.C. REFERENCE IS 3.1.9.3. SENTENCES (5) AND (6). ALSO SEE 9.10.9.6.(8). MAX. ALLOWABLE OUTLET BOX OPENING IS 0.016 SQ. M. (24.8 SQ. IN.).

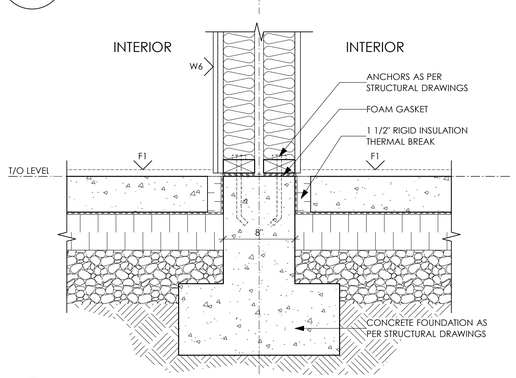
AD-03 / A7.01 TYP. OUTLET BOX IN PARTY WALL
SCALE: 1 1/2" = 1'-0"



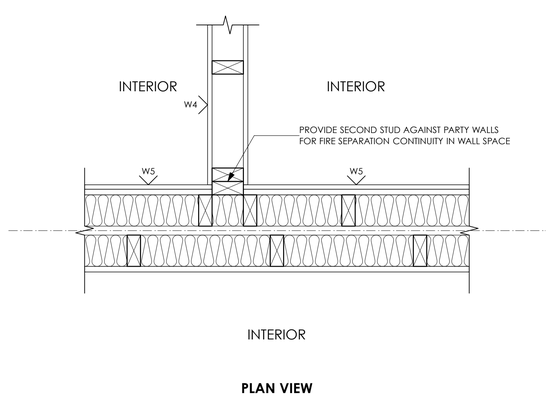
AD-04 / A7.01 TYP. MECH. RISER @ PARTY WALL
SCALE: 1 1/2" = 1'-0"



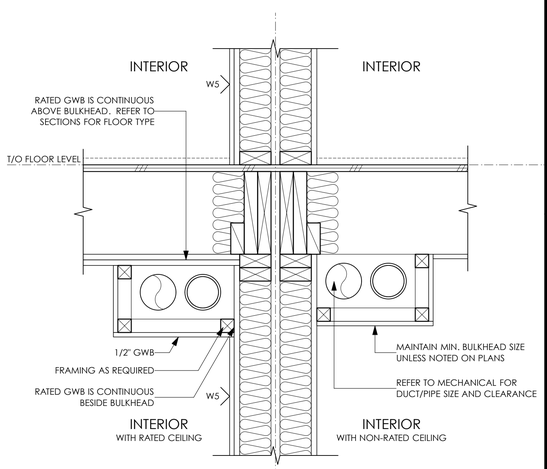
AD-05 / A7.01 TYP. PARTY WALL SECTION (AT STEP)
SCALE: 1 1/2" = 1'-0"



AD-06 / A7.01 TYP. PARTY WALL SECTION
SCALE: 1 1/2" = 1'-0"



AD-07 / A7.01 TYP. WALL AGAINST PARTY WALL
SCALE: 1 1/2" = 1'-0"



AD-08 / A7.01 TYP. MECH. BULKHEAD @ PARTY WALL
SCALE: 1 1/2" = 1'-0"

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REVISIONS

ISSUED FOR BUILDING PERMIT	MAY. 25, 1989

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1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

DRAWING

ARCHITECTURAL DETAILS

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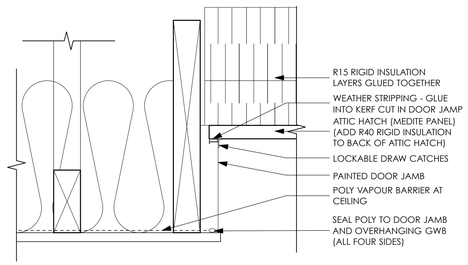
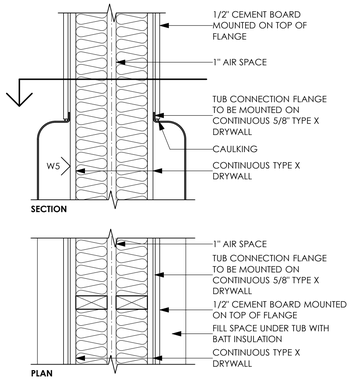
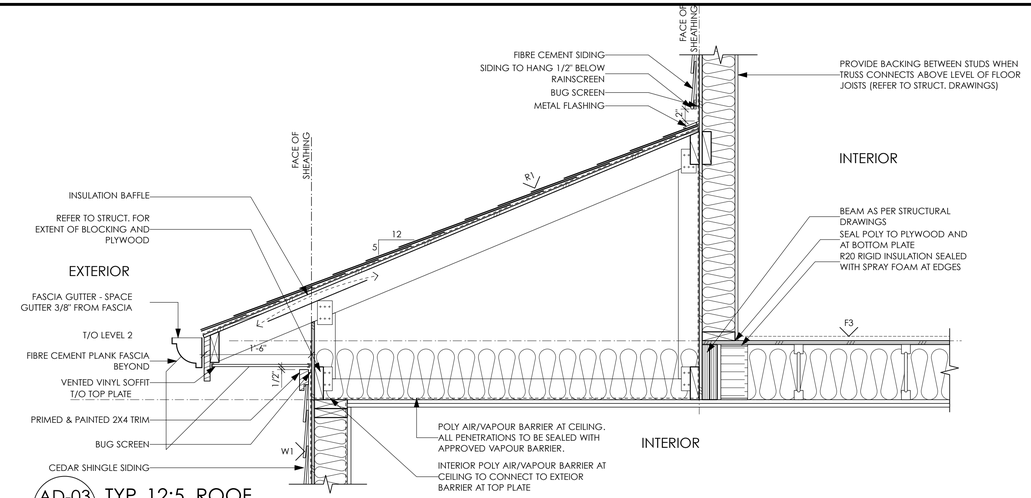
SHEET: A7.01



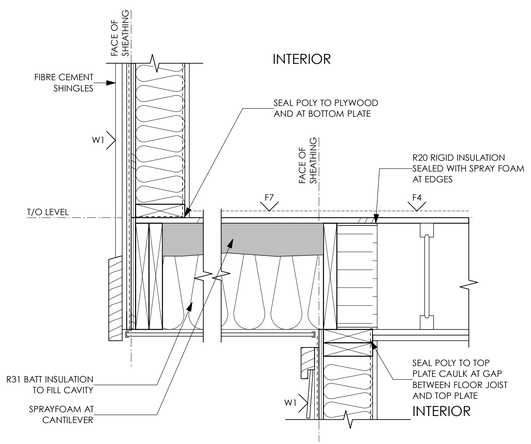
AD-01 A7.02 ATTIC HATCH
SCALE: 3" = 1'-0"



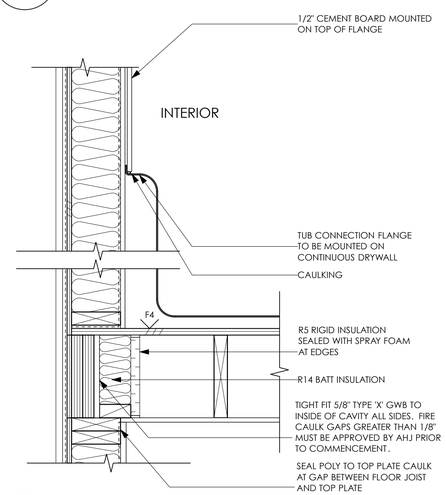
AD-02 A7.02 TYP. TUB AT PARTY WALL
SCALE: 1 1/2" = 1'-0"



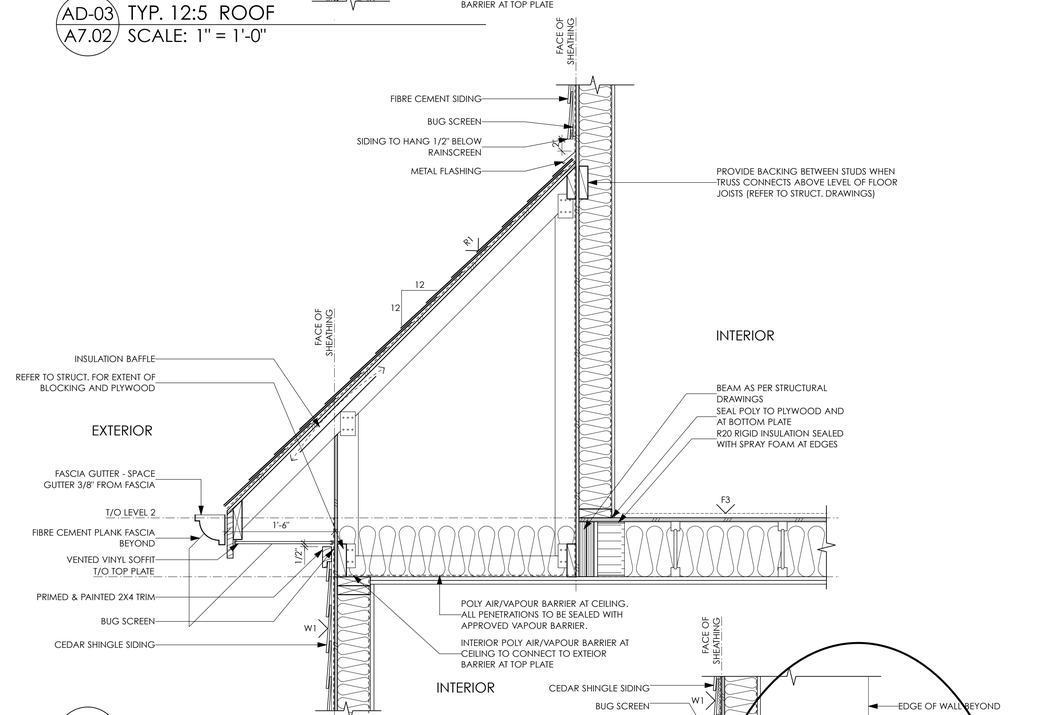
AD-03 A7.02 TYP. 12:5 ROOF
SCALE: 1" = 1'-0"



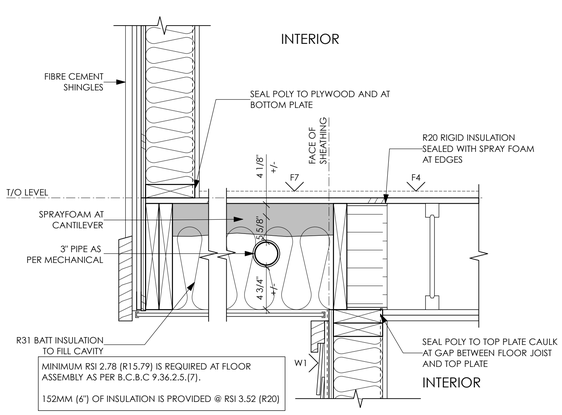
AD-04 A7.02 CANTILEVERED BAY
SCALE: 1 1/2" = 1'-0"



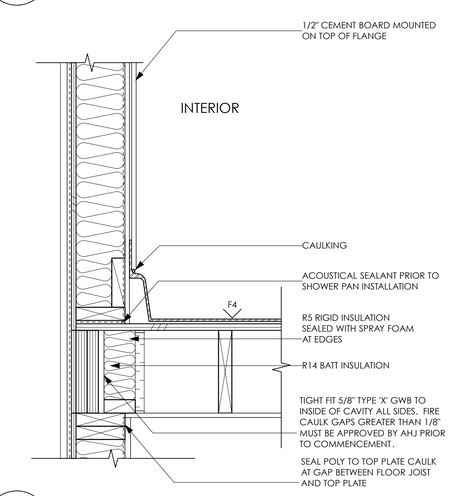
AD-05 A7.02 TYP. TUB AT EXTERIOR WALL
SCALE: 1 1/2" = 1'-0"



AD-06 A7.02 TYP. 12:12 ROOF
SCALE: 1" = 1'-0"



AD-07 A7.02 CANTILEVERED BAY (PIPE IN FLOOR)
SCALE: 1 1/2" = 1'-0"



AD-08 A7.02 TYP. SHOWER PAN AT EXTERIOR WALL
SCALE: 1 1/2" = 1'-0"

AD-09 A7.02 ROOF OVER ELEC. RM. (NONCOMBUST. CLADDING)
SCALE: 1" = 1'-0"

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ARCHITECTURAL DETAILS

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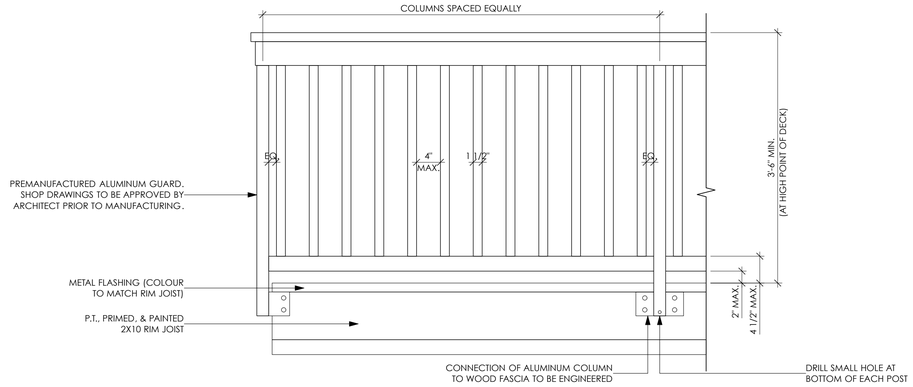
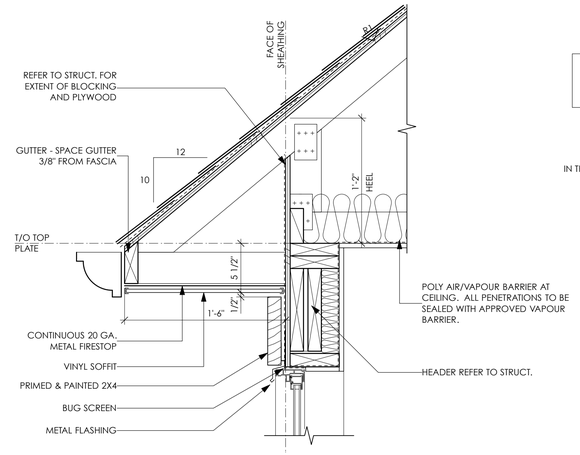
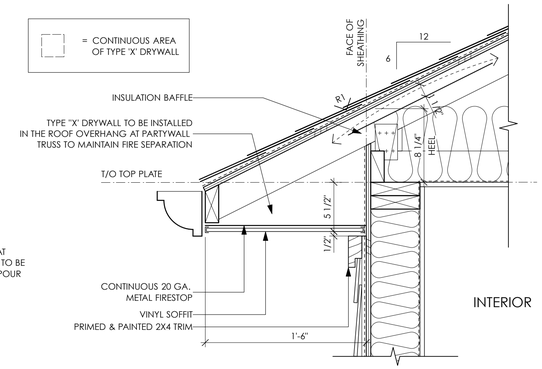
SHEET: A7.02



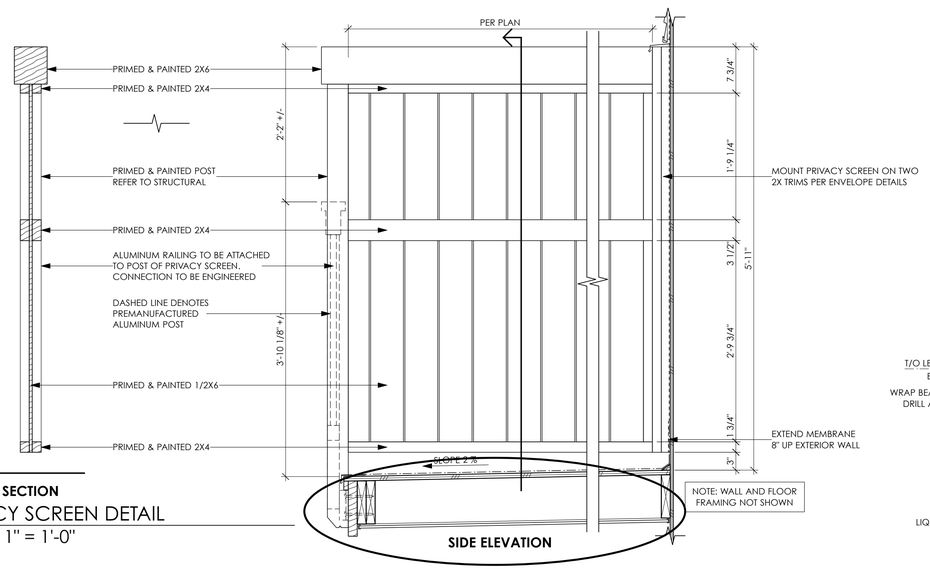
AD-01 A7.03 DECK RAILING ASSEMBLY
SCALE: 1" = 1'-0"



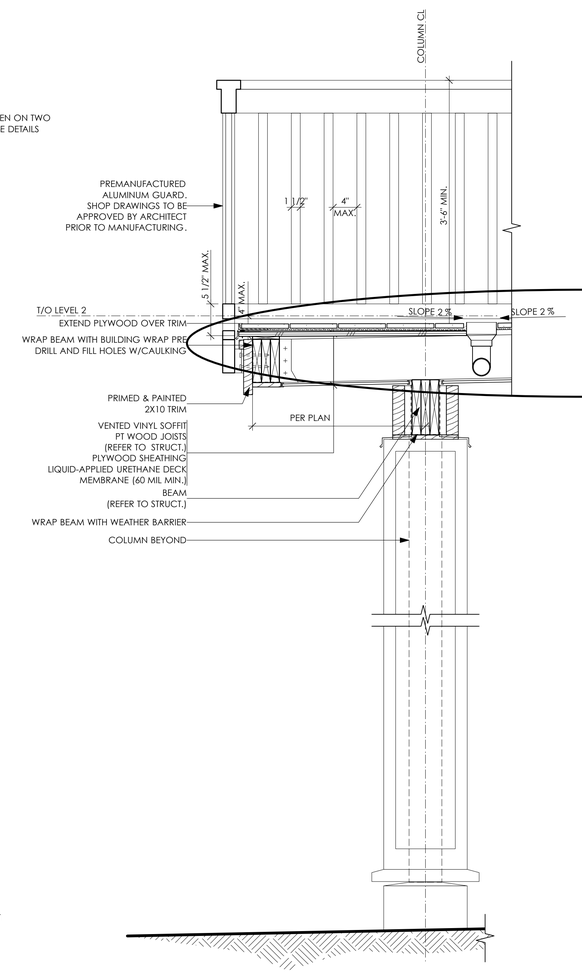
AD-03 A7.03 TYP. NON-COMBUSTIBLE ROOF SOFFIT
SCALE: 1 1/2" = 1'-0"



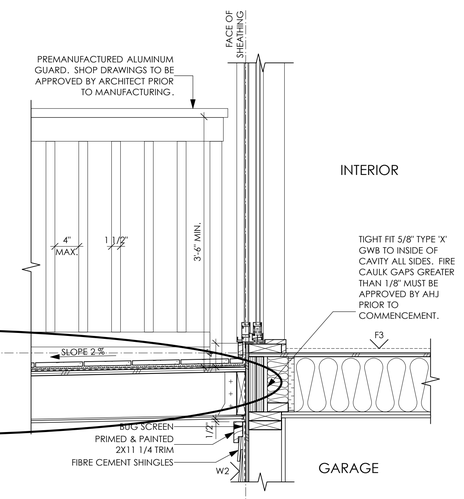
AD-04 A7.03 FIRE SPEARATION @ PARTY WALL OVERHANG
SCALE: 1 1/2" = 1'-0"



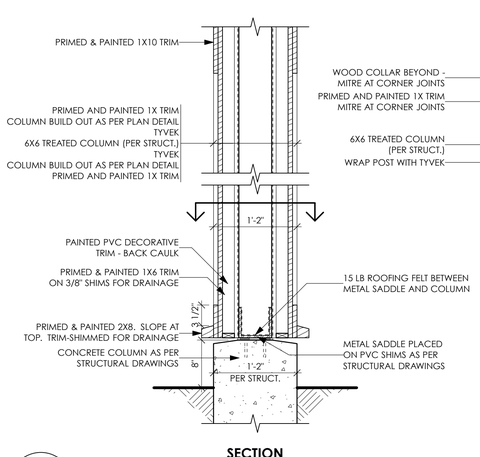
AD-05 A7.03 PRIVACY SCREEN DETAIL
SCALE: 1" = 1'-0"

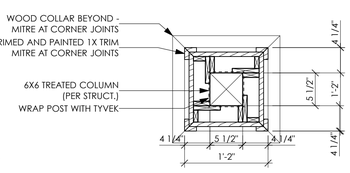


AD-11 A7.03 EDGE OF DECK DETAIL
SCALE: 1" = 1'-0"

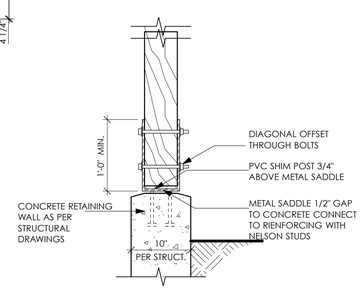


AD-08 A7.03 THRESHOLD @ TYP. DECK
SCALE: 1" = 1'-0"





AD-09 A7.03 DECK COLUMNS
SCALE: 1" = 1'-0"



AD-10 A7.04 RETAINING WALL GUARD POST BASE
SCALE: 1" = 1'-0"

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REVISIONS

ISSUED FOR BUILDING PERMIT MAY. 25, 1989

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

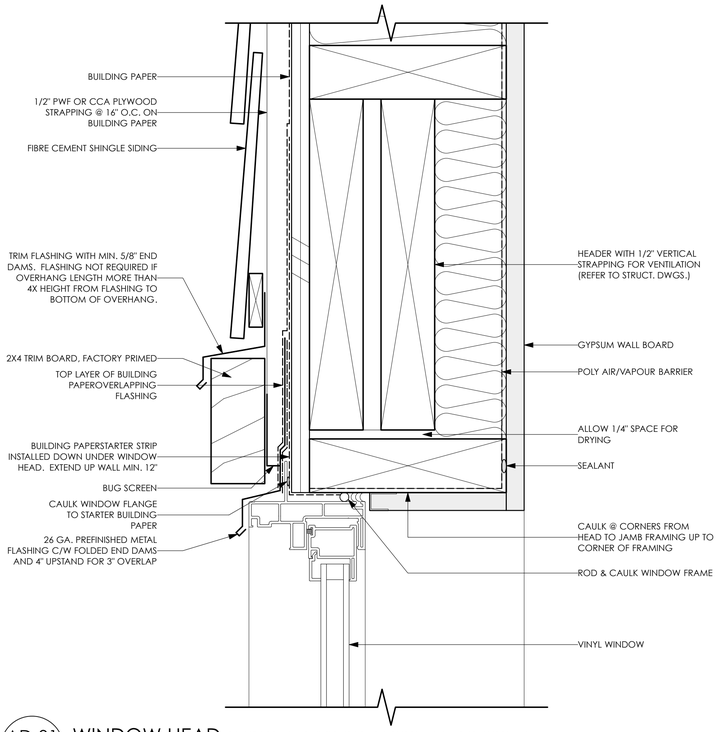
DRAWING

ARCHITECTURAL DETAILS

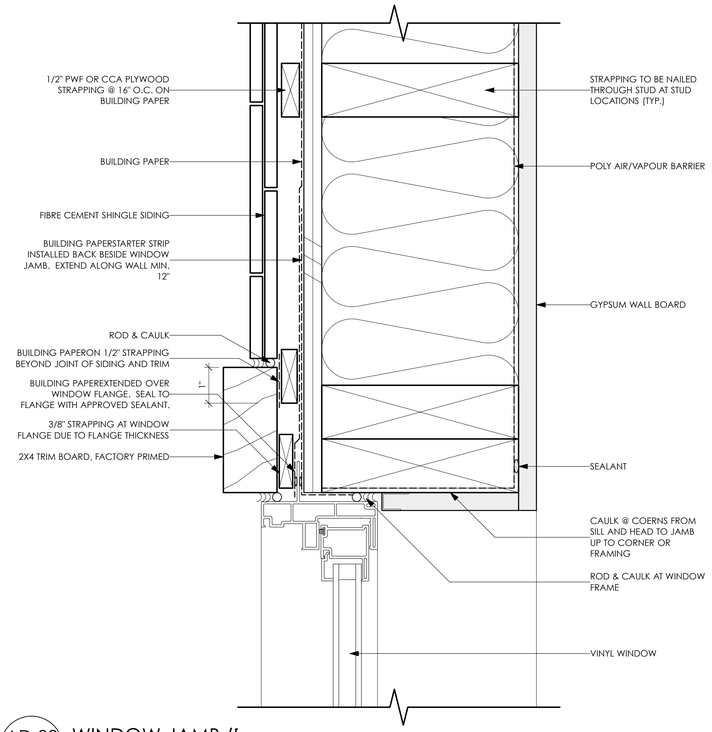
SCALE: AS NOTED

DATE: NOV. 23, 2020

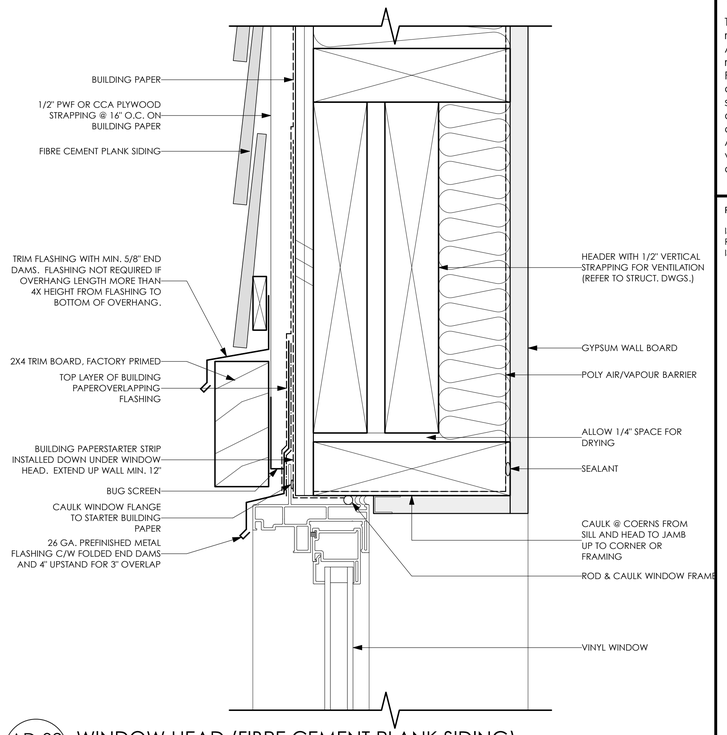
SHEET: A7.03



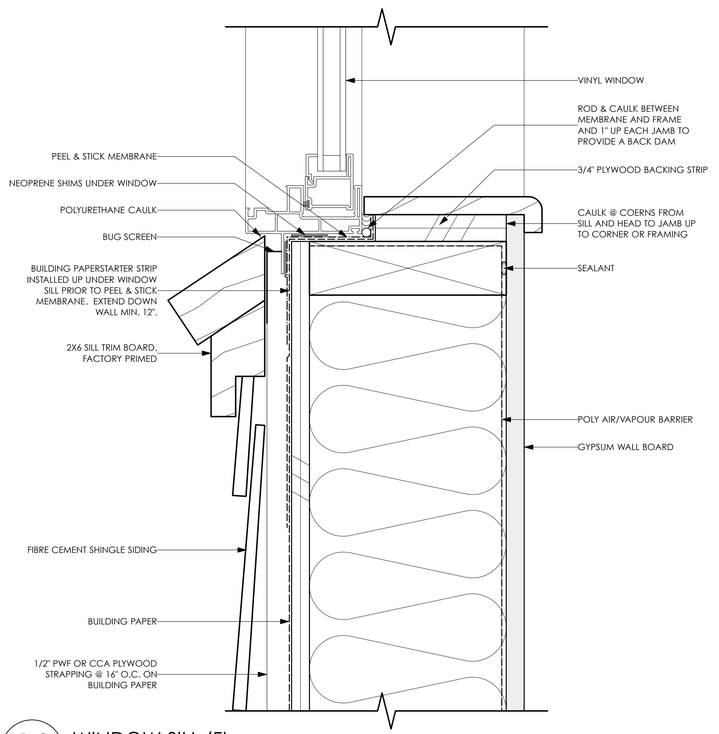
AD-01 A8.01 WINDOW HEAD (FIBRE CEMENT SHINGLE SIDING)
SCALE: 6" = 1'-0"



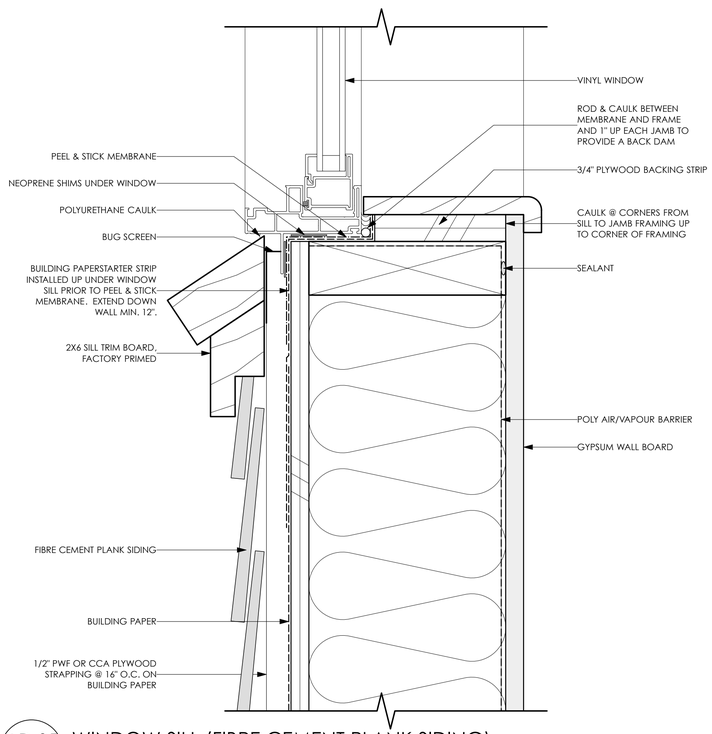
AD-02 A8.01 WINDOW JAMB (FIBRE CEMENT SHINGLE SIDING)
SCALE: 6" = 1'-0"



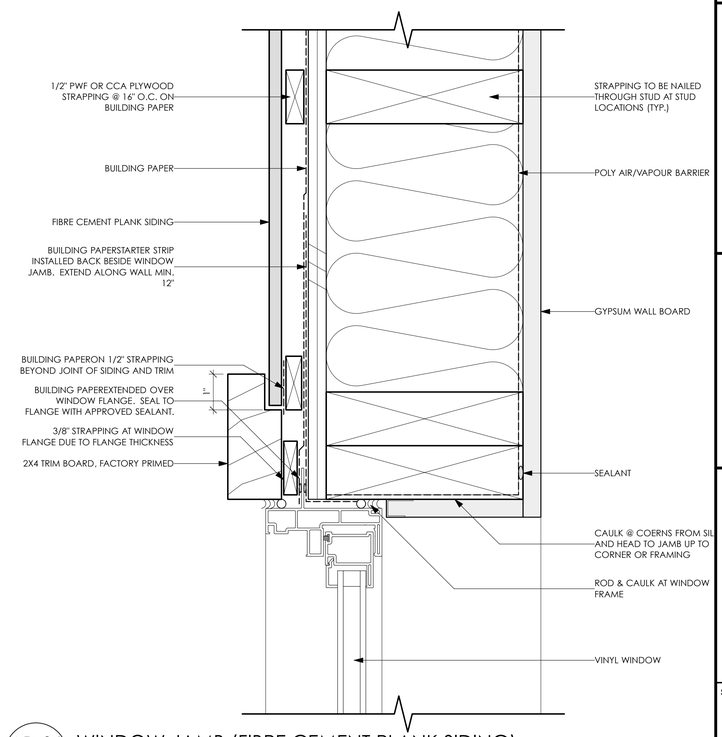
AD-02 A8.01 WINDOW HEAD (FIBRE CEMENT PLANK SIDING)
SCALE: 6" = 1'-0"



AD-04 A8.01 WINDOW SILL (FI
SCALE: 6" = 1'-0"



AD-05 A8.01 WINDOW SILL (FIBRE CEMENT PLANK SIDING)
SCALE: 6" = 1'-0"



AD-06 A8.01 WINDOW JAMB (FIBRE CEMENT PLANK SIDING)
SCALE: 6" = 1'-0"

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FORMWERKS ARCHITECTURAL

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

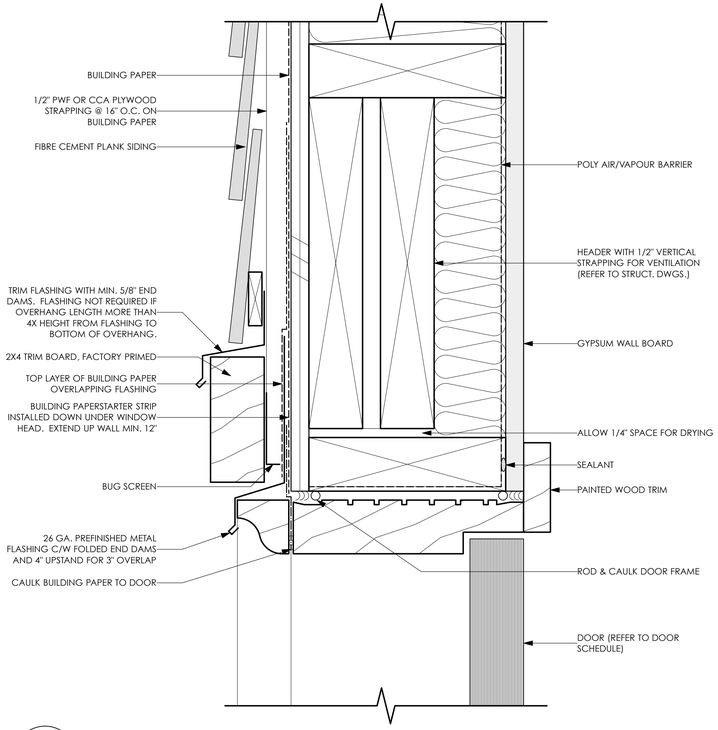
DRAWING

BUILDING ENVELOPE DETAILS

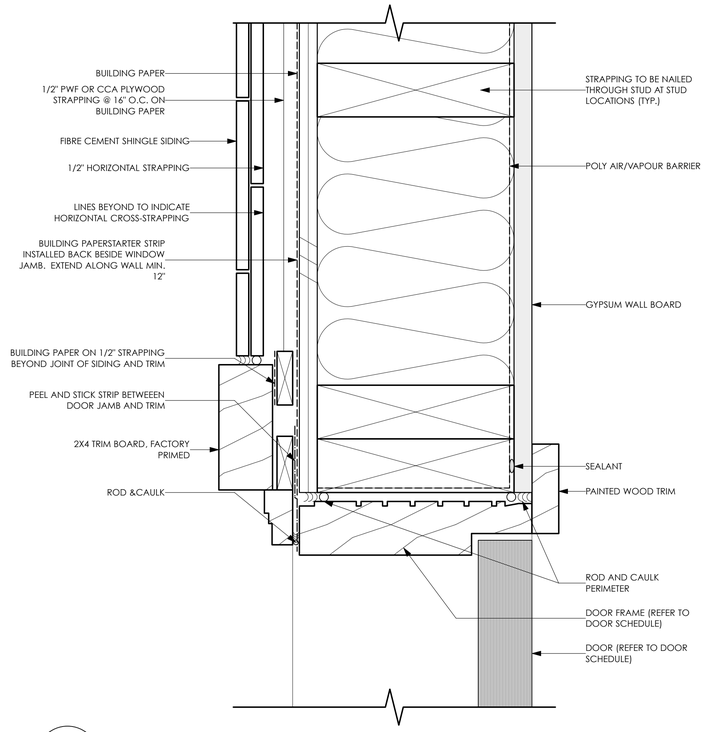
SCALE: AS NOTED

DATE: NOV. 23, 2020

SHEET: A8.00



AD-01 A8.01 DOOR HEAD (FIBRE CEMENT PLANK SIDING)
SCALE: 6" = 1'-0"



AD-02 A8.01 DOOR JAMB (FIBRE CEMENT PLANK SIDING)
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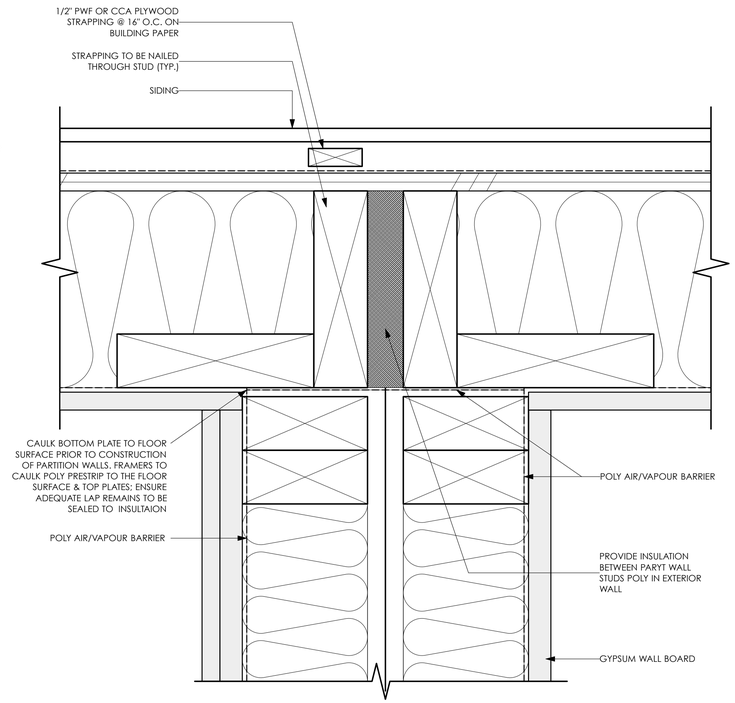
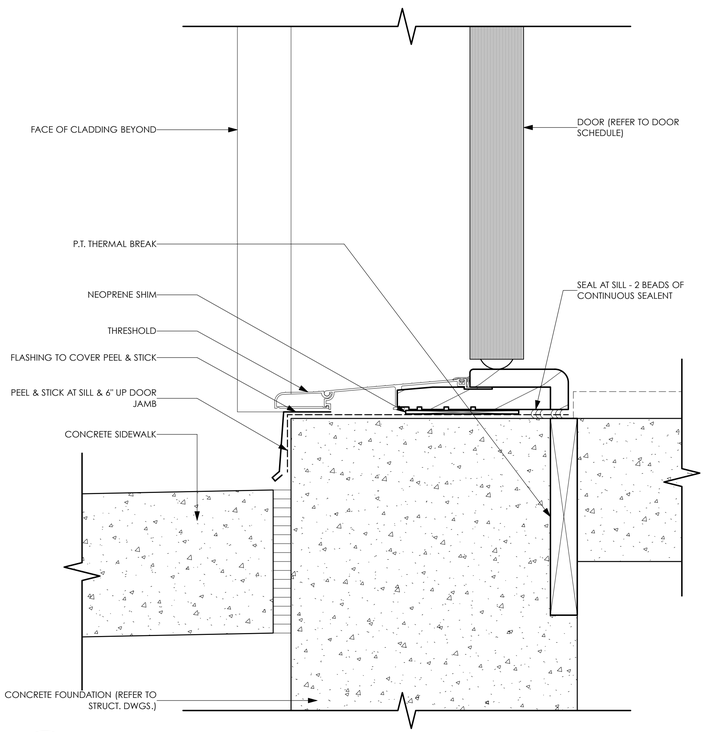


AD-03 A8.01 PLAN VIEW PARTY WALL (TYP.)
SCALE: 6" = 1'-0"



AD-04 A8.01 DOOR SILL AT FOUNDATION
SCALE: 6" = 1'-0"

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON , BC

DRAWING

BUILDING ENVELOPE DETAILS

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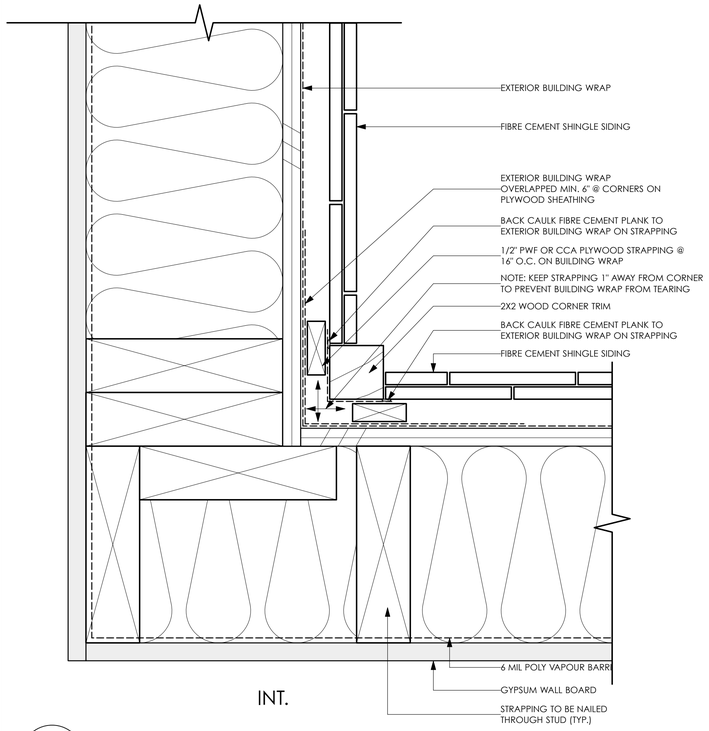
SHEET: A8.01



AD-03 / A8.02 SHINGLE/SHINGLE - TYP. INSIDE CORNER
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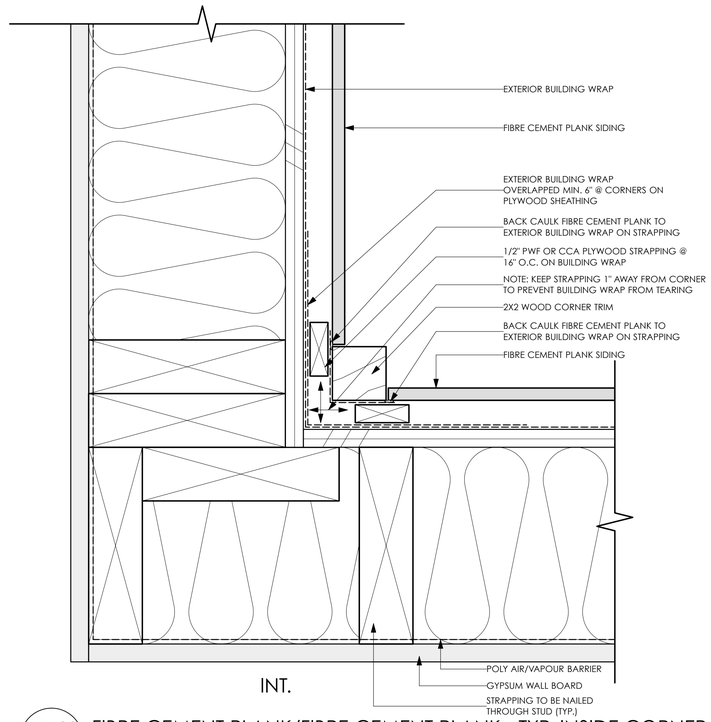

AD-02 / A8.02 FIBRE CEMENT PLANK/FIBRE CEMENT PLANK - TYP. INSIDE CORNER
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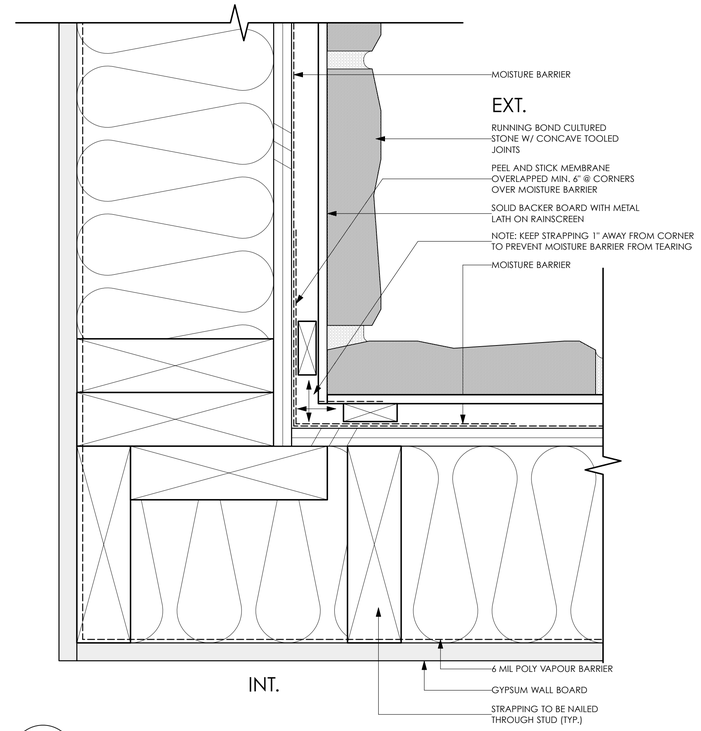
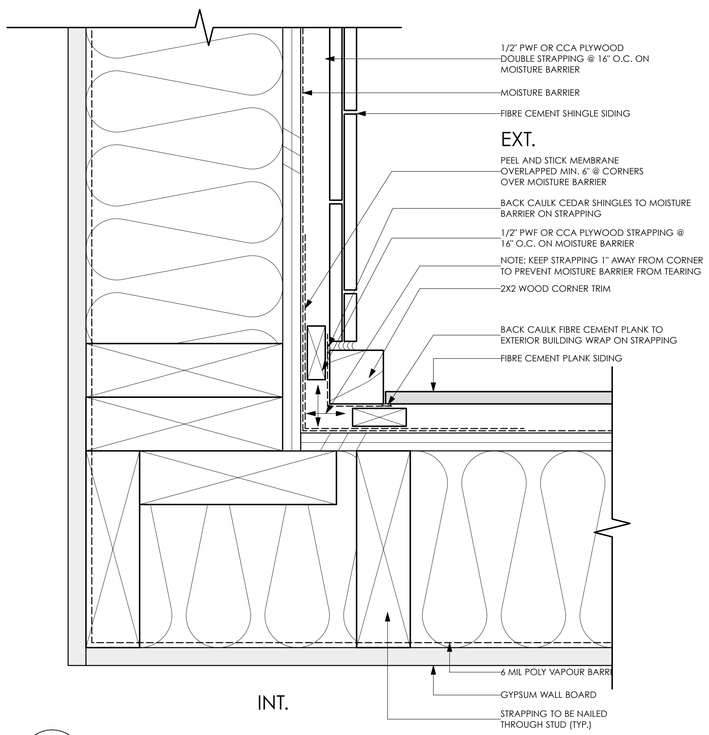
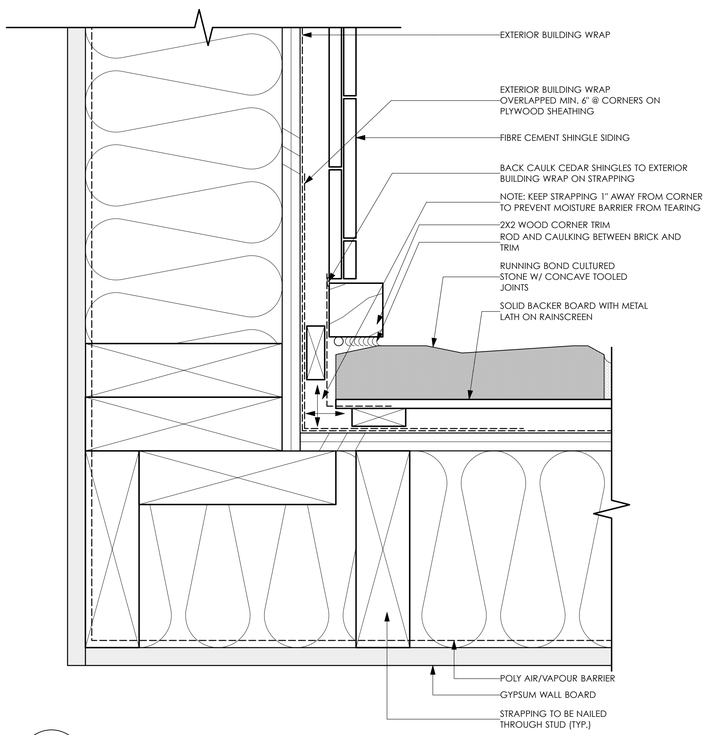


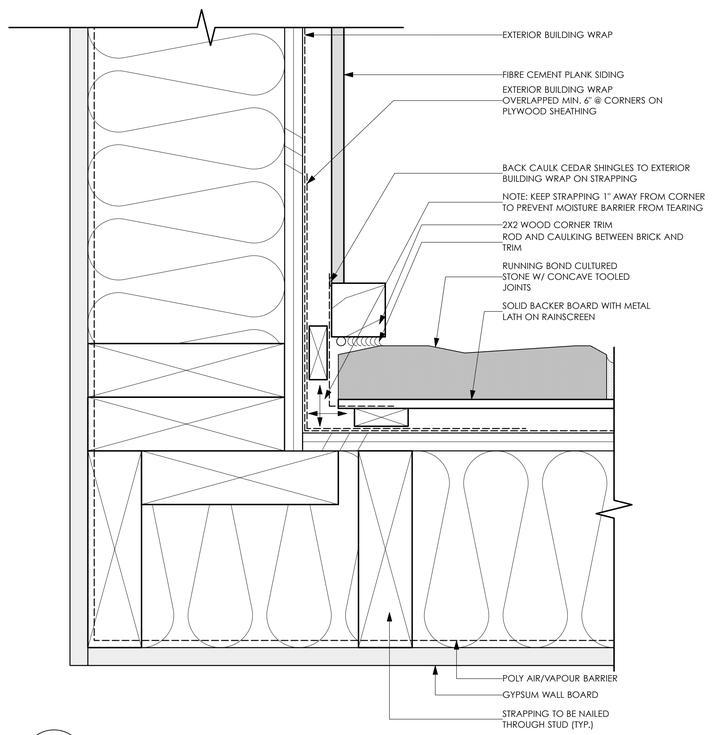
AD-04 / A8.02 STONE VENEER/STONE VENEER - TYP. INSIDE CORNER
SCALE: 6" = 1'-0"



AD-03 / A8.02 FIBRE CEMENT SHINGLE / FIBRE CEMENT PLANK - TYP. INSIDE CORNER
SCALE: 6" = 1'-0"



AD-04 / A8.02 FIBRE CEMENT SHINGLE / BRICK - TYP. INSIDE CORNER
SCALE: 6" = 1'-0"



AD-03 / A8.02 FIBRE CEMENT PLANK / BRICK - TYP. INSIDE CORNER
SCALE: 6" = 1'-0"

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PROJECT

MOUNTAIN SIDE COLLECTION

7360 CRABAPPLE COURT
PEMBERTON, BC

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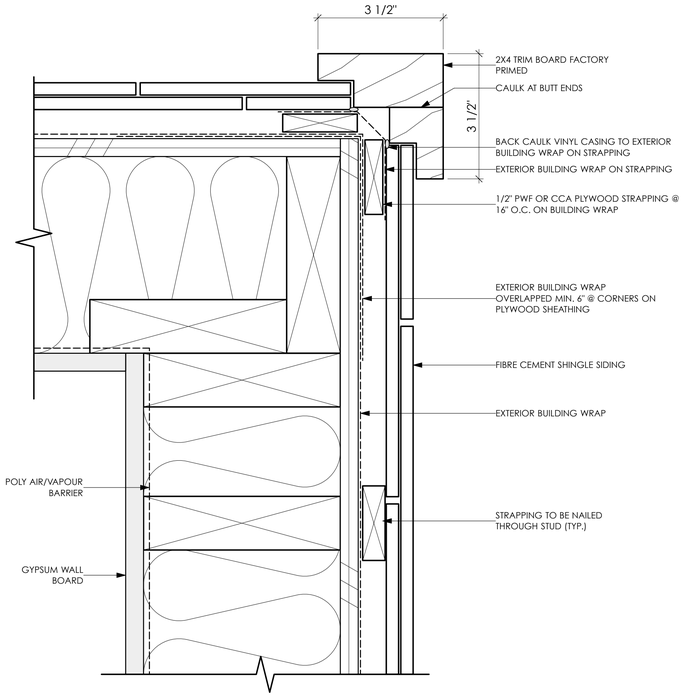
BUILDING ENVELOPE DETAILS

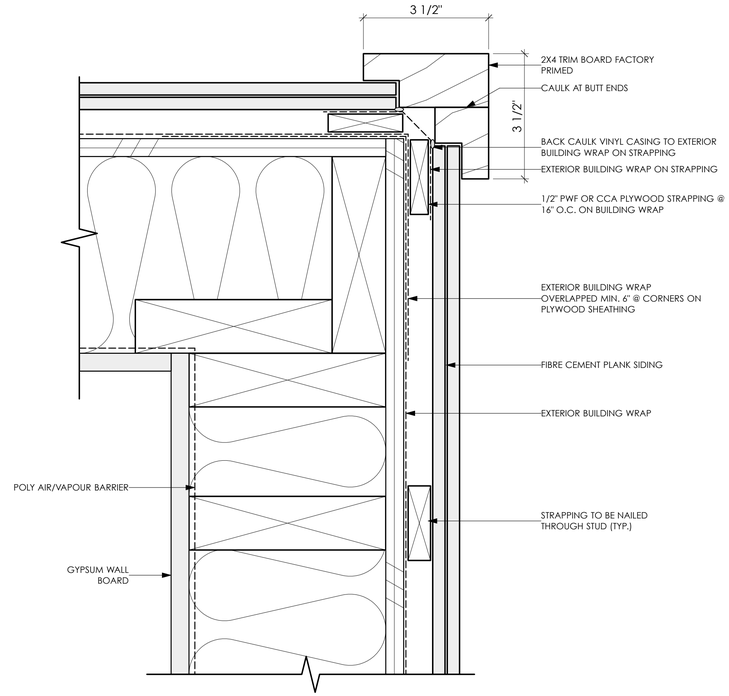
SCALE: AS NOTED

DATE: NOV. 23, 2020

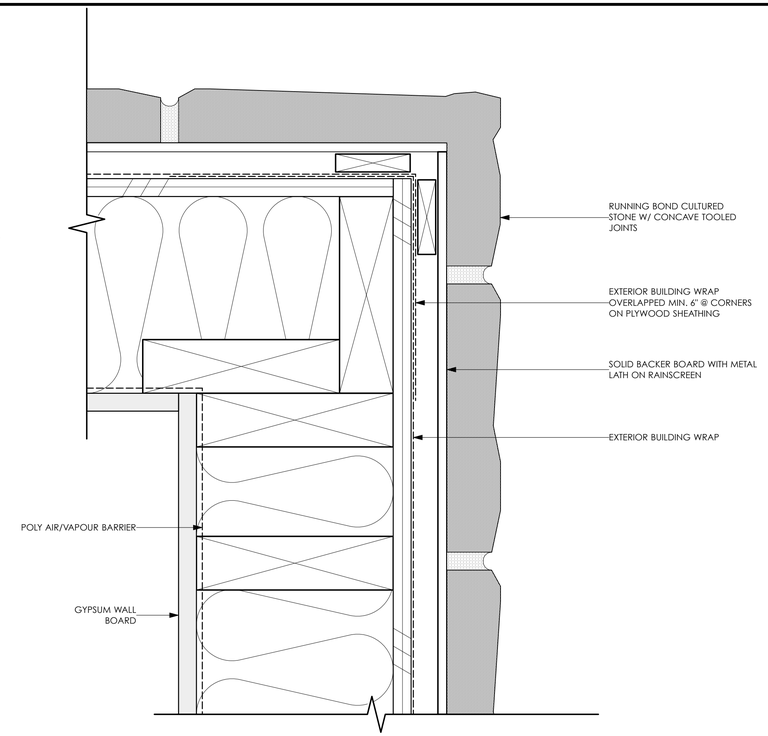
SHEET: A8.02



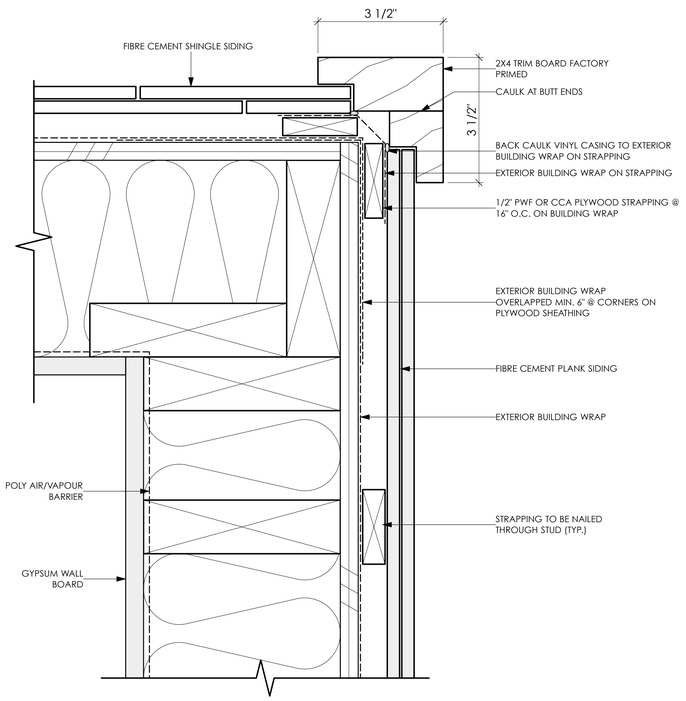
AD-01 A8.03 FIBRE CEMENT SHINGLE - TYP. OUTSIDE CORNER
SCALE: 6" = 1'-0"



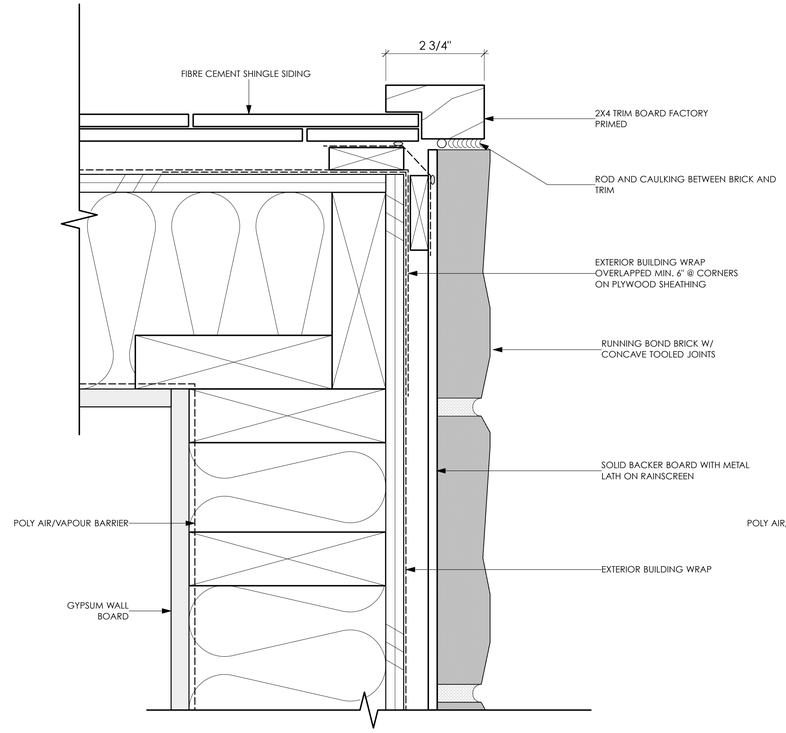
AD-03 A8.03 FIBER CEMENT PLANK SIDING - TYP. OUTSIDE CORNER
SCALE: 6" = 1'-0"



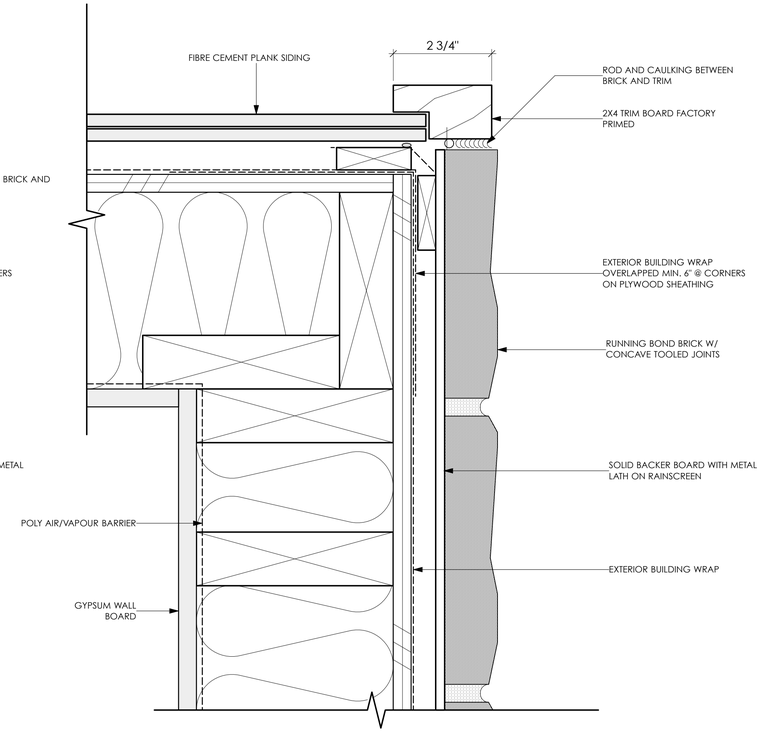
AD-06 A8.03 BRICK - TYP. OUTSIDE CORNER
SCALE: 6" = 1'-0"



AD-01 A8.03 FIBRE CEMENT PLANK - FIBRE CEMENT SHINGLE TYP. OUTSIDE CORNER
SCALE: 6" = 1'-0"



AD-01 A8.03 FIBER CEMENT PLANK SIDING - STONE TYP. OUTSIDE CORNER
SCALE: 6" = 1'-0"



AD-01 A8.03 FIBRE CEMENT SHINGLE - STONE TYP. OUTSIDE CORNER
SCALE: 6" = 1'-0"

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