



PO Box 100
7400 Prospect St.
Pemberton
British Columbia
CANADA
V0N2L0

P. 604.894.6135
F. 604.894.6136

www.pemberton.ca

**VILLAGE OF PEMBERTON
Development Permit #083**

Issued to: **Sunstone Ridge Developments Ltd.**
File No: **2020-DP-083**

(Registered owner according to Land Title Office, hereinafter referred to as the "Permittee")

Address: **701-1155 Robsons St.
Vancouver, B.C., V6E 1B5**

- 1) This Development Permit applies to and only to those lands within the Village of Pemberton, Province of British Columbia, legally described as:

Parcel Identifier: 030-329-655

Legal Description: Lot A, District Lot 211, Lillooet Land District, Plan EPP82372

Civic Address: 400 Sunstone Way

as shown in the Subject Property Map attached as **Schedule A**.

- 2) This Development Permit No. 083 is issued pursuant to the authority of the Village of Pemberton *Official Community Plan Bylaw No. 654, 2011*, as amended and, except as varied in this permit, in conformity with all Village of Pemberton bylaws, as amended, and shall not be in any way varied except as so identified in this Permit.

The Permit relates to Form and Character of Development as per Development Permit Area No. 6 – Multi-family and/or Commercial Development.

- 3) Whereas the applicant has made application to develop one (1) fourplex and twenty-three (23), duplexes units in twenty-four (24) buildings, on the said lands, the following terms and conditions of this Development Permit shall apply to said land:
- a) Dimensions and Siting of Buildings and Structures of the Land
All buildings and structures to be constructed on the said lands shall be in substantial compliance with the drawings prepared by



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Urban West Architecture Inc dated 26th of August 2020 attached to and forming a part of this Permit as **Schedule B:**

- A000 Drawing List
- A001 Project Data + Site Context
- A003 Project Images
- A004 Project Images
- A005 Project Images
- A007 Architectural Finishes + Materials

- A009 Site Survey
- A011 Site Plan + Project Data + Fire Dept. Access
- A012 Site Plan – West
- A013 Site Plan – Centre
- A014 Site Plan – East
- A015 Site Cross Sections
- A016 Site Cross Sections
- A017 Streetscape Elevations
- A018 Streetscape Elevations

- A101 Level 1 Plan – Uphill Duplex
- A101a Level 1 Plan – Uphill Duplex – Optional Layout
- A102 Level 2 Plan – Uphill Duplex
- A102a Level 2 Plan – Uphill Duplex – Optional Layout
- A103 Roof Plan – Uphill Duplex
- A105 Level 1 Plan – Downhill Duplex
- A105a Level 1 Plan – Downhill Duplex – Optional Layout
- A106 Level 2 Plan – Downhill Duplex
- A107 Roof Plan Plan – Downhill Duplex
- A108 Level 1 & 2 Plans – Downhill Fourplex
- A109 Roof Plan – Downhill Fourplex

- A200 Elevations – Uphill Duplex
- A201 Elevations – Downhill Duplex
- A202 Elevations – Downhill Fourplex

- A300 Cross-Section- Uphill Duplex
- A302 Cross-Section – Downhill Duplex
- A304 Sections – Downhill Fourplex

approved by the Village Council on the 20th day of October 2020.

- b) Use of the Land
The residential uses that will be permitted within the building will

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be contingent upon satisfying the applicable off-street parking requirements in the Village Zoning Bylaw No. 832, 2018, except as varied by this Development Permit.

c) On Site Landscaping

(i) All landscaping to be installed on the said lands shall be in substantial compliance with the Landscape Plans and Quote prepared by Durante Kreuk Ltd, dated 25th August 2020, attached to and forming a part of this Permit as **Schedule C**;

- L-0.0 Legends and Notes
- L-1.0 Overall Phasing Masterplan
- L-1.1 Landscape Materials West
- L-1.2 Landscape Materials Central W
- L-1.3 Landscape Materials Central E
- L-1.4 Landscape Materials East
- L-2.1 Planting Plan West Entry
- L-2.2 Planting Plan Typical

approved by the Village Council on the 20th day of October 2020.

(ii) All landscaped areas shall be provided with in-ground irrigation systems, the details of which shall be provided at the time of Building Permit.

(iii) The Permittee shall be responsible for maintaining all the landscaping, in an orderly and responsible manner.

4) The Permittee shall complete all works and landscaping referenced in Item 3 (c) to the satisfaction of the Municipality within one (1) year from the date that the Permit has been issued. If the landscaping is not completed to the satisfaction of the Municipality within the required time the security deposit may be used to undertake the required landscaping. Extensions to the one (1) year time limit may be applied for in writing thirty (30) days prior to the expiry date. Once landscaping is installed, the Village will inspect and if satisfied, will release the bond with the exception of a ten percent (10%) hold back for one year to guarantee the survival of the plantings.

5)

6) This Development Permit is issued subject to the Permittee providing security

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in the form of Cash, Bond or an Irrevocable Letter of Credit in the amount of \$220,012.80 which is equal to 120% of the estimated total cost of the required works (\$183,344.00) to secure provision of the on-site soft landscaping. The Security shall be received before issuance of a Building Permit and kept in force until all the landscaping works are completed and installed to the satisfaction of the Village.

7) The Development Permit is issued subject to the Permittee's registration of subdivision plans for the proposed lot line adjustment of the Subject Property.

8) Servicing Agreements and Security deposit will be addressed by a separate subdivision application which will provide services to the development authorized by DP No.083.

9) This Development Permit is subject to the Permittee securing an easement between the subject property and the neighbouring property to the east, to facilitate snow dumping and the siting of the Sierra Mechanized Earth Wall.

10)

11) Pursuant to Section 490 of the *Local Government Act*, Council of the Village of Pemberton approved a variance to the Zoning Bylaw No. 832, 2020 on the 20th day of October 2020 with respect to this development in the following manner:

a) Section 8.3 of Zoning Bylaw No. 832, 2020, has been varied to reduce the minimum number of visitor parking stalls from 12 to 4.

b) Section 4.13 a) viii) and Section 7.21 a) i) of Zoning Bylaw No. 832, 2020 to permit the proposed retaining walls in substantial compliance with the Elevation Site Plan Drawings prepared by Urban West Architecture, dated 2nd of October 2020, attached to and forming a part of this Permit as **Schedule D**:

A011 Site Plan and Project Data

A015 Site Cross Sections

A016 Site Cross Sections

12) The Permittee shall complete the Development to the satisfaction of the Municipality within two (2) years from the date that Council authorized the issuance of the Permit. If the Permittee does not commence the Development permitted by the Permit within one (1) year from the date of the issuance of the



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Permit, this Permit shall lapse.

- 13) This Permit is not a Building Permit. While development on the lands described in 3) of this Permit is subject to the conditions and requirements set out in this Permit, this Permit does not authorize development or any construction. Council reserves the right at any time prior to issuance of a Building Permit to alter the permitted use, density or conditions of use that affects the Lands.
- 14) The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit shall form a part hereof.
- 15) Notice of this Permit shall be filed in the Land Title Office at New Westminster under Section 503 of the *Local Government Act RS2015*, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by the Permit.
- 16) The Development Permit is issued subject to payment of any outstanding review fees.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
the 20th day of October, 2020.

IN WITNESS THEREOF this Agreement has been executed under the seal of the Village of Pemberton, on the _____ day of _____, 2020.

The Corporate Seal of the Village of Pemberton
was here unto affixed in the presence of:

)
)
)
)
)
_____)
Mike Richman
Mayor)
)
)



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_____))
_____))
Nikki Gilmore
Chief Administrative Officer

STATEMENT OF INTENT

Sunstone Ridge Developments Ltd having read and understood the terms and conditions of this Development Permit, hereby agree to abide by such terms and conditions and to complete all of the works and services and all other requirements under this Development Permit and in accordance with the Village Bylaws.

Per
Sunstone Ridge Developments Ltd.

Date:

Attached: Schedules A, B, and C



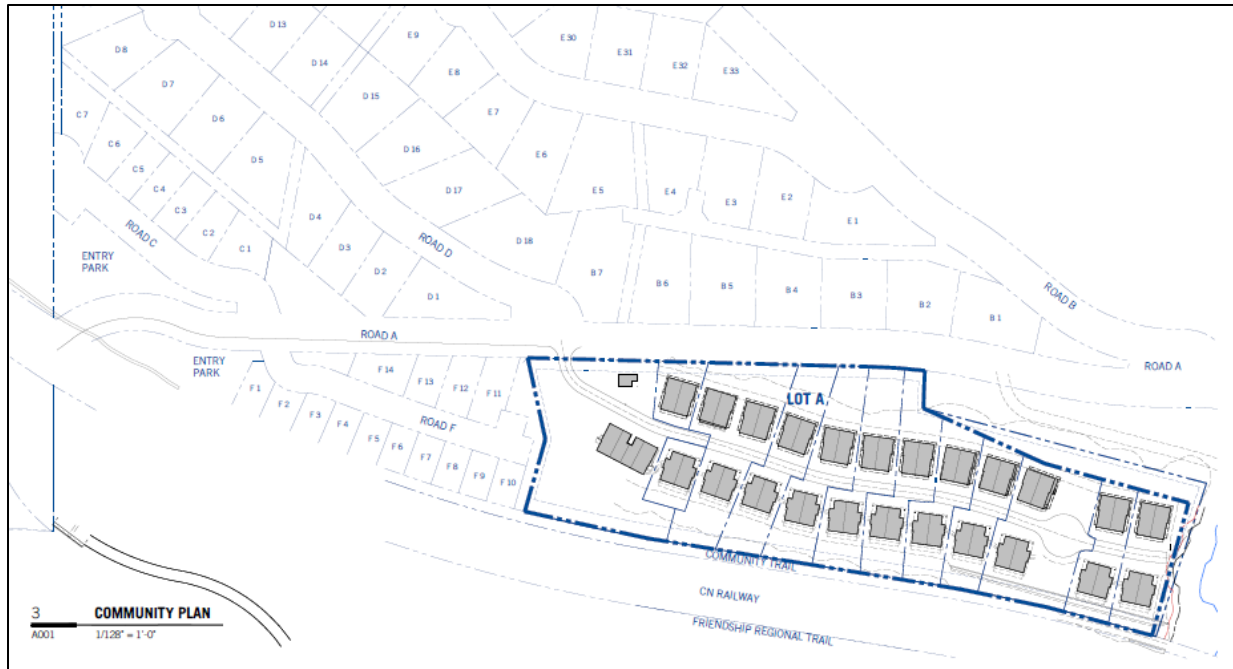
Village of PEMBERTON

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SCHEDULE A Location Map





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SCHEDULE B
Architectural Drawings



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Schedule C
Landscape Drawings and Cost Estimate



'ELEVATE AT SUNSTONE' TOWNHOUSES | REISSUED FOR DP

LOT A, SUNSTONE RIDGE, PEMBERTON BC
DRAWING LIST

- ARCHITECTURAL**
- A000 DRAWING LIST
 - A001 PROJECT DATA + SITE CONTEXT
 - A003 PROJECT IMAGES
 - A004 PROJECT IMAGES
 - A005 PROJECT IMAGES
 - A007 ARCHITECTURAL FINISHES + MATERIALS
 - A009 SITE SURVEY
 - A011 SITE PLAN + PROJECT DATA + FIRE DEPT. ACCESS
 - A012 SITE PLAN - WEST
 - A013 SITE PLAN - CENTRE
 - A014 SITE PLAN - EAST
 - A015 SITE CROSS SECTIONS
 - A016 SITE CROSS SECTIONS
 - A017 STREETScape ELEVATIONS
 - A018 STREETScape ELEVATIONS
 - A101 LEVEL 1 PLAN - UPHILL DUPLEX
 - A101a LEVEL 1 PLAN - UPHILL DUPLEX - OPTIONAL LAYOUT
 - A102 LEVEL 2 PLAN - UPHILL DUPLEX
 - A102a LEVEL 2 PLAN - UPHILL DUPLEX - OPTIONAL LAYOUT
 - A103 ROOF PLAN - UPHILL DUPLEX
 - A105 LEVEL 1 PLAN - DOWNHILL DUPLEX
 - A105a LEVEL 1 PLAN - DOWNHILL DUPLEX - OPTIONAL LAYOUT
 - A106 LEVEL 2 PLAN - DOWNHILL DUPLEX
 - A107 ROOF PLAN PLAN - DOWNHILL DUPLEX
 - A108 LEVEL 1 & 2 PLANS - DOWNHILL FOURPLEX
 - A109 ROOF PLAN - DOWNHILL FOURPLEX
 - A200 ELEVATIONS - UPHILL DUPLEX
 - A201 ELEVATIONS - DOWNHILL DUPLEX
 - A202 ELEVATIONS - DOWNHILL FOURPLEX
 - A300 CROSS-SECTION - UPHILL DUPLEX
 - A302 CROSS-SECTION - DOWNHILL DUPLEX
 - A304 SECTIONS - DOWNHILL FOURPLEX
- LANDSCAPE**
- L-0.0 LANDSCAPE COVERSHEET - LEGENDS & NOTES
 - L-1.0 LANDSCAPE MASTERPLAN - OVERALL PHASING
 - L-1.1 LANDSCAPE MATERIALS PLAN WEST
 - L-1.2 LANDSCAPE MATERIALS PLAN CENTRAL W
 - L-1.3 LANDSCAPE MATERIALS PLAN CENTRAL E
 - L-1.4 LANDSCAPE MATERIALS PLAN EAST
 - L-2.1 LANDSCAPE PLANTING PLAN NORTH-WEST ENTRY
 - L-2.2 LANDSCAPE PLANTING PLAN TYPICAL

PROJECT DIRECTORY

OWNER
SUNSTONE RIDGE DEVELOPMENTS
CONTACT: CAM MCIVOR
604.935.8565

CONTRACTOR
TM BUILDERS
115B-1330 ALPHA LAKE ROAD
WHISTLER, BC VON 1B1
CONTACT: MIKE PARSONS
604.967.3444

ARCHITECT
URBAN WEST ARCHITECTURE INC.
807-402 WEST PENDER STREET
VANCOUVER, BC V6B 1T6
CONTACT: JUSTIN BENNETT
604.603.1332

DESIGNER
FOUNDATION CONSULTING INC.
VANCOUVER, BC
CONTACT: ROGER KOODOO
604.307.1246

STRUCTURAL ENGINEER
WHM STRUCTURAL ENGINEERS
2227 DOUGLAS RD
BURNABY, BC V5C 5A9
CONTACT: DAN WICKE
604.484.2859

MECHANICAL ENGINEER
WILLIAMS ENGINEERING
200 - 1520 McCallum Road
ABBOTSFORD, BC V2S 8A3
CONTACT: JOSH ROSTEK
604.851.7561

ELECTRICAL ENGINEER
NEMETZ & ASSOCIATES LTD.
2009 W4TH AVE,
VANCOUVER, BC V6J 1N3
CONTACT: BJAN VALAGOHAR
604.736.6562

CIVIL ENGINEER
WEBSTER ENGINEERING LTD.
3745 DELBROOK AVE
NORTH VANCOUVER, BC V7N 3Z4
CONTACT: JOHN TYNAN
604.983.0458

LANDSCAPE ARCHITECT
DURANTE KREUK LTD.
102, 1637 W 5TH AVE
VANCOUVER, BC V6J 1N5
CONTACT: JUSTIN TAYLOR
604.684.4611

INTERIOR DESIGNER
ANNALIESSIE KELLY DESIGN
212 - 1220 EAST PENDER ST
VANCOUVER, BC V6A 1W8
CONTACT: ANNALIESSIE KELLY
778.554.8879

GEOTECHNICAL ENGINEER
KONTUR GEOTECHNICAL
CONSULTANTS LTD
65-1833 COAST MERIDIAN ROAD
PORT COQUITLAM, BC V3C 6G5
CONTACT: EVAN SYKES
778.730.1747

SURVEYOR
HIGHMARK SURVEY AND
ENGINEERING LTD
P.O. BOX 7490
WHISTLER, BC VON 1B0
CONTACT: MICHAEL W. VAIL
604.902.8245

BUILDING CODE CONSULTANT
GHL CONSULTANTS LTD
950-409 GRANVILLE STREET
VANCOUVER, BC V6C 1T2
CONTACT: HENNING WHITE
604.689.4449

BUILDING ENVELOPE
EXP
275 - 3001 WAYBURNE DRIVE
BURNABY, BC V5G 4W3
CONTACT: DINO CHIES
604.874.1245



UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
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VICTORIA
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VICTORIA BC V8T 3Y3
T 250 893 7517

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LARGE FORMAT



2020-08-26

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- 2020 08 26 REISSUED FOR DP
- 2019 12 20 ISSUED FOR CONSTRUCTION 2
- 2019 11 26 IFC - ABOVE GRADE
- 2019 10 11 IFC - BELOW GRADE
- 2019 08 30 RE-ISSUED FOR BUILDING PERMIT
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 09 21 ISSUED FOR PRICING
- 2018 06 19 ISSUED FOR COORDINATION
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



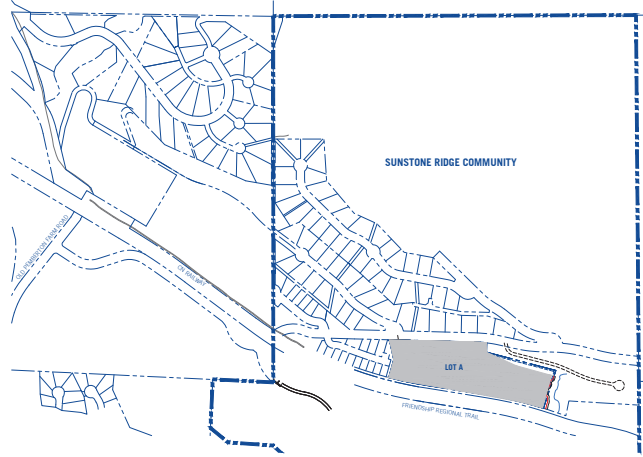
'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A000

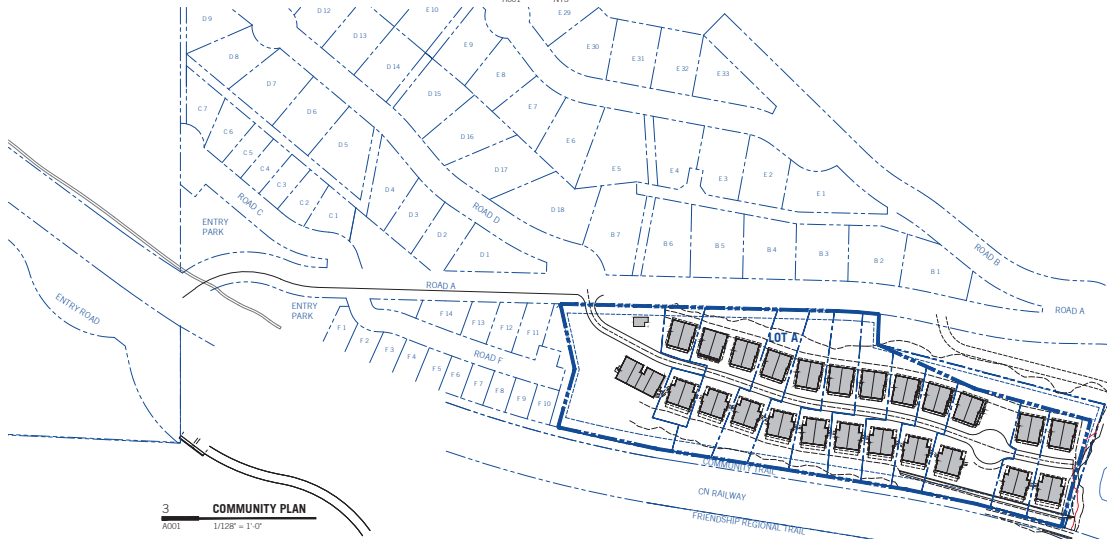
DRAWING LIST



1 LOCATION MAP
A001 NTS



2 LOCATION CONTEXT
A001 NTS



3 COMMUNITY PLAN
A001 1/128" = 1'-0"

BUILDING CODE INFORMATION

APPLICABLE BUILDING CODE	BC BUILDING CODE 2018	
	BLDC 2-24	BLDG 1
	GROUP C	GROUP C
	264 AND 263	453
OCCUPANCY	YES	YES
BUILDING AREA	3.2.2.53	PART 9
SPRINKLERED	YES	YES
CONSTRUCTION ARTICLE	3.2.2.53	PART 9
CONSTRUCTION PERMITTED	COMBUSTIBLE	COMBUSTIBLE
FLOOR RATING	NONE	NONE
UNOCCUPIED ROOF RATING	NONE	NONE
FIRE SEPARATIONS		
PARTY WALLS	3/4 H AS PER 3.3.4.2 (2) AND 9.10.9.14 (1)	
NOTE: REFER TO CODE REPORT FROM GHL CONSULTANTS DATED NOV 27, 2018.		

PROJECT INFORMATION					
PROJECT NAME					
'ELEVATE AT SUNSTONE' TOWNHOUSES					
CIVIC ADDRESS					
T.B.D. (LOT A, SUNSTONE RIDGE, PEMBERTON BC)					
LEGAL ADDRESS					
LOT A, DL 211 LLD, PLAN EPR82372					
P.I.D.					
030-498-171					
ZONING					
RTA-1					
SITE AREA					
357,799	sf	3,3054.8	sm 3.31 ha		
PROPOSED USE					
RESIDENTIAL (PART 3 AND PART 9, BCBC 2018)					
ACCESSORY USE					
GARAGE + RECYCLING, MECHANICAL ROOMS					
NUMBER OF UNITS					
50	UNITS				
GROSS BUILDING FLOOR AREA					
	EXC. GARAGE		INC. GARAGE		
BUILDING 1 (DOWNHILL FOURPLEX)	4865.5	sf 452.0	sm 7490.0	sf 695.8	sm
BUILDING 2 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 3 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 4 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 5 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 6 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 7 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 8 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 9 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 10 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 11 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 12 (DOWNHILL DUPLEX)	4390.4	sf 407.9	sm 5403.4	sf 502.0	sm
BUILDING 13 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 14 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 15 (UPHILL DUPLEX)	4025.3	sf 376.5	sm 5272.3	sf 489.8	sm
BUILDING 16 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 17 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 18 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 19 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 20 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 21 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 22 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 23 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
BUILDING 24 (UPHILL DUPLEX)	4025.6	sf 374.0	sm 5245.6	sf 487.3	sm
ACCESSORY BUILDING	567.7	sf 52.7	sm 567.7	sf 52.7	sm
TOTAL:	100061.5	sf	9481.8	sm	
BUILDING LOT COVERAGE AREA					
BUILDING 1 (DOWNHILL FOURPLEX)	4836.6	sf	449.3	sm	
BUILDING 2 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 3 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 4 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 5 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 6 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 7 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 8 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 9 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 10 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 11 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 12 (DOWNHILL DUPLEX)	2701.8	sf	251.0	sm	
BUILDING 13 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 14 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 15 (UPHILL DUPLEX)	2838.5	sf	263.7	sm	
BUILDING 16 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 17 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 18 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 19 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 20 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 21 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 22 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 23 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
BUILDING 24 (UPHILL DUPLEX)	2811.8	sf	261.2	sm	
ACCESSORY BUILDING	567.7	sf	52.7	sm	
TOTAL:	68852.4	sf	6400.3	sm	
PERMITTED / REQUIRED					
LOT COVERAGE PROPOSED	40.0%		19.4%		
	(142319.6 sf / 13221.9 sm)		(68852.4 / 6400.31 sm)		
SITE DENSITY	82 UNITS (25 UNITS / ha)		50 UNITS (15 UNITS / ha)		
FLOOR AREA PER UNIT	3,229.2 sf (300 sm)		2622.8	sf (243.7 sm)	
			2150.2	sf (199.8 sm)	
			2701.7	sf (251.0 sm)	
			1607.2	sf (149.3 sm)	
				TYPE 'A3/A4' UNITS	
				TYPE 'C1/C2' UNITS	
				TYPE 'C3/C4' UNITS	
				TYPE 'D1/D2' UNITS	
BUILDING HEIGHT	34.4 (10.5 m)		29.3 (8.93 m) UPHILL BUILDINGS		
			26.8 (8.13 m) DOWNHILL BUILDINGS		
ACCESSORY BUILDING HEIGHT	15.1 (4.6 m)		11.2 (3.4 m)		
RESIDENTIAL SETBACKS*	(PER SECTION 303.3)				
FRONT	19.7 (6.0 m)		29.01' (8.84 m) BUILDING 24		
REAR	24.6 (7.5 m)		39.52' (12.05 m) BUILDING 11		
INTERIOR LOT (WEST)	9.8' (3.0 m)		91.64' (27.93 m) BUILDING 1		
INTERIOR LOT (NORTH)	9.8' (3.0 m)		52.89' (16.12 m) BUILDING 17		
INTERIOR LOT (EAST)	9.8' (3.0 m)		16.11' (4.91 m) BUILDING 12		
*ONLY BUILDING NEAREST TO THE SPECIFIED SETBACK IS LISTED					
ACCESSORY BUILDING SETBACKS					
FRONT					
*ONLY BUILDING NEAREST TO THE SPECIFIED SETBACK IS LISTED					
PARKING	(PER SECTION 500)				
(SEE A011 FOR CALCULATION)	84 RESIDENTIAL		164		
	11 VISITOR		4		
	95		168	TOTAL	
	4 ACCESSIBLE PARKING		1		

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

WWW.UWARCHITECTURE.COM

LARGE FORMAT



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- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE' TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A001

PROJECT DATA + SITE CONTEXT



1 **VIEW OF DEVELOPMENT FROM ROAD**
A003 NTS



2 **VIEW OF DOWNHILL UNITS FROM COMMUNITY WALKWAY**
A003 NTS

UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

NO.



'ELEVATE AT SUNSTONE'
TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A003

PROJECT IMAGES



1 VIEW OF UPHILL UNIT

A004 NTS



2 VIEW OF UPHILL UNIT ENTRY

A004 NTS

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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NO.



'ELEVATE AT SUNSTONE'
TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A004

PROJECT IMAGES



1 VIEW OF DOWNHILL UNIT ENTRY

A005 NTS



2 VIEW OF DOWNHILL DUPLEX

A005 NTS

UWA

URBAN WEST ARCHITECTURE

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 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

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NO.



'ELEVATE AT SUNSTONE'
 TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC
 2018-002

A005

PROJECT IMAGES

UWA

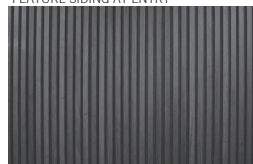
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

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CLADDING

CHARCOAL CEDAR BATTENS
FEATURE SIDING AT ENTRY



CHARCOAL FIBRE CEMENT BOARD+BATTEN
PRIMARY SIDING



CHARCOAL HARDIE BOARD PANEL SIDING
FEATURE / INFILL SIDING ABOVE WINDOWS

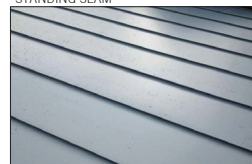


CHARCOAL HARDIE BOARD SIDING
HORIZONTAL SIDING

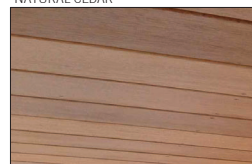


ROOFING

LIGHT GREY METAL ROOFING
STANDING SEAM



WOOD SOFFIT
NATURAL CEDAR



WINDOWS

BLACK FRAME WINDOWS
VINYL FRAME



ARCHITECTURAL ACCENTS

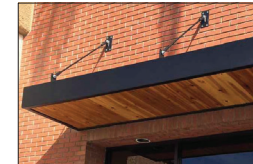
BLACK METAL GUARDRAIL
SIMPLE VERTICAL PICKET DESIGN



NATURAL HEAVY TIMBER
STRUCTURAL SUPPORT



BLACK METAL CANOPY
WITH WOOD SOFFIT AND HANGING RODS



LARGE FORMAT



2020-08-26

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NO.



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A007

ARCHITECTURAL FINISHES
& MATERIALS

SUBDIVISION PLAN OF LOT A AND LOT B, DISTRICT LOT
211, LILLOOET DISTRICT, PLAN EPP82372

PLAN EPP103872

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR STREET
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T 250 893 7517

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BCGS 92J.037

SCALE 1 : 750



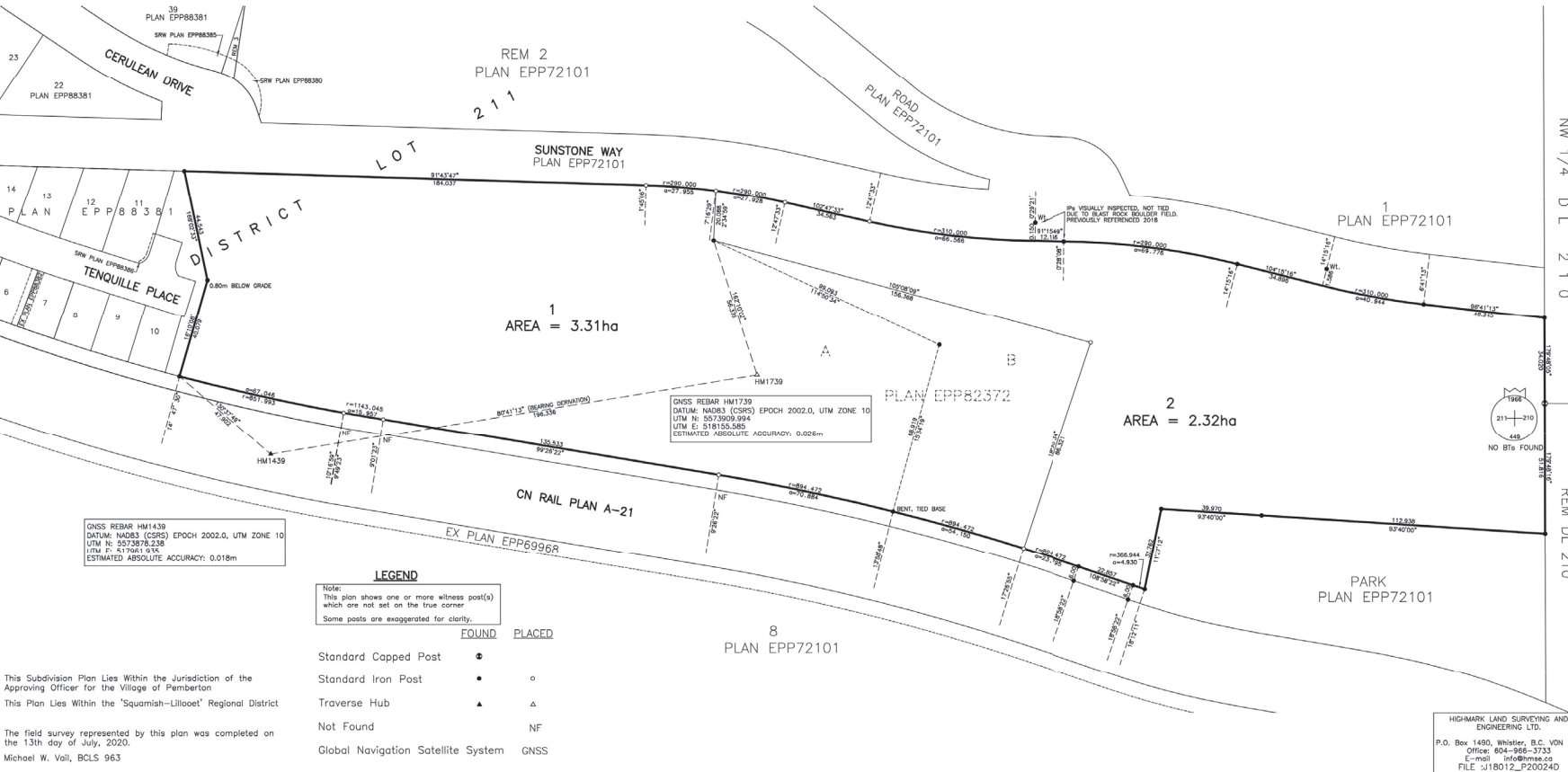
ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 560mm in height by 864mm in width (D size) when plotted at a scale of 1 : 750

Grid bearings are derived from GNSS observations and are referred to the central meridian of Zone 10 (123° W).

The UTM coordinates and estimated absolute accuracy are derived from 2.0 hours of dual frequency GNSS observations processed using Precise Point Positioning Service of Natural Resources Canada.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995253. The average combined factor has been determined based on an average ellipsoidal elevation of 225.00 metres.



LARGE FORMAT



2020-08-26

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- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING

NO.



'ELEVATE AT SUNSTONE'
TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEBERTON BC
2018-002

A009

SITE SURVEY



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- 2018 05 07 ISSUED FOR DP - REVISION
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

SITE PLAN
A011 1:500

- LEGEND + GENERAL NOTES**
- BUILDING FOOTPRINT @ GRADE
 - LOWER FLOOR
 - UPPER FLOOR
 - ROOF OUTLINE ABOVE
 - DECK OUTLINE ABOVE
 - PARKING STALL
 - PRIMARY ENTRANCE
 - B#** BUILDING NUMBER
 - A** ASPIRE EXPANSE
 - 1** UNIT NUMBER
 - (A1)** UNIT PLAN TYPE

GENERAL NOTES

- SEE LANDSCAPE DESIGN FOR ALL HARDSCAPING, FENCING, RETAINING, TREE PRESERVATION AREAS, PLANTINGS, AND SITE LIGHTING
- SEE CIVIL ENGINEERING FOR PROPOSED ROAD + DRIVEWAY DESIGN, LOT GRADING, STORM WATER MANAGEMENT, SNOW MANAGEMENT, AND UTILITIES

GROSS BUILDING AREA

BUILDING TYPE	BUILDING AREA EXC. GAR (sf)	BUILDING AREA INC. GAR (sf)	# OF EACH TYPE	SUB-TOTAL EXC. GAR (sf)	SUB-TOTAL INC. GAR (sf)
UPHILL DUPLEX	4025.6	5045.6	12	48307.2	60547.2
DOWNHILL DUPLEX	4390.4	5403.4	11	48294.4	59437.4
DOWNHILL FOURPLEX	4865.5	7490.0	1	4865.5	7490.0
ACCESSORY BLDG	567.7	567.7	1	567.7	567.7
BLDG 15 ELEC ROOM	26.7	26.7	1	26.7	26.7
TOTAL			24	102061.5	130469.0

TOTAL PROPOSED LOT COVERAGE*

BUILDING TYPE	LOT COVERAGE	# OF EACH TYPE	SUB-TOTAL (sf)
UPHILL DUPLEX	2811.8	12	33741.6
DOWNHILL DUPLEX	2701.8	11	29719.8
DOWNHILL FOURPLEX	4836.6	1	4836.6
ACCESSORY BLDG	567.7	1	567.7
BLDG 15 ELEC ROOM	26.7	1	26.7
TOTAL		24	68892.4

PARKING CALCULATION

REQUIRED	PROPOSED	VARIANCE
2 BEDROOMS: 2 UNITS, 1.75 SPACES PER UNIT	4 SPACES	4 SPACES
3 BEDROOMS: 48 UNITS, 2 SPACES PER UNIT	96 SPACES	192 SPACES
TOTAL RESIDENTIAL REQUIREMENT	100 SPACES	196 SPACES
VISITOR REQUIREMENT*: 50 UNITS, 0.25 SPACES PER UNIT	13 SPACES	4 SPACES
TOTAL OVERALL REQUIREMENT	113 SPACES	200 SPACES
*INCLUDING ACCESSIBLE REQUIREMENT	6 SPACES FOR 111-140 UNITS	1 SPACE

TOTAL UNIT SUMMARY

BUILDING TYPE	NUMBER OF EACH	2 BEDROOM	3 BEDROOM
UPHILL DUPLEXES	12	-	24
DOWNHILL DUPLEXES	11	-	22
DOWNHILL FOURPLEXES	1	2	2
SUB-TOTAL		2	48
TOTAL PROPOSED UNITS	=	50	

NO.

TRUE PROJECT

'ELEVATE AT SUNSTONE' TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A011

SITE PLAN + PROJECT DATA + FIRE DEPT. ACCESS

LARGE FORMAT



2020-08-26

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- S102 2019 10 23 ISSUED FOR ASH/0
- 2019 10 11 IFC - BELOW GRADE - PHASE 1
- 2019 08 30 ISSUED FOR BP - PHASE 1
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 09 21 ISSUED FOR PRICING



'ELEVATE AT SUNSTONE'
 TOWNHOUSES
 LOT A, SUNSTONE RIDGE, PEMBERTON BC
 2018-002

A012

SITE PLAN - WEST



ENLARGED SITE PLAN
 A012 1/16" = 1'-0"

- LEGEND - GENERAL NOTES**
- BUILDING FOOTPRINT @ GRADE
 - CONCRETE SLAB THAT VARIES
 - ROOF OUTLINE ABOVE
 - DECK OUTLINE ABOVE
 - PRIMARY ENTRANCE
 - BUILDING NUMBER
 - UNIT NUMBER
 - UNIT PLAN TYPE
 - ASPIRE EXPANSION
 - MATCH LINE

- ABBREVIATIONS**
- RP ROOF PEAK
 - L2 LEVEL 2 TOP OF SUBFLOOR
 - L1 LEVEL 1 TOP OF SLAB
 - GE TOP OF SUBFLOOR AT GARAGE ENTRY LANDING
 - GD GARAGE TOP OF SLAB AT GARAGE DOOR
 - UH UPHILL BUILDING = SLAB ON GRADE
 - DN DOWNHILL BUILDING = TOP OF CONCRETE TOPPING ABOVE SUSPENDED SLAB
 - TOP TOP OF PATIO
 - FG FINISHED GRADE
 - TOW TOP OF WALL
 - TOS TOP OF SLAB
 - TOSF TOP OF SUBFLOOR
 - GM GAS METERS (2)
 - HM HYDRO METERS (2)

LARGE FORMAT



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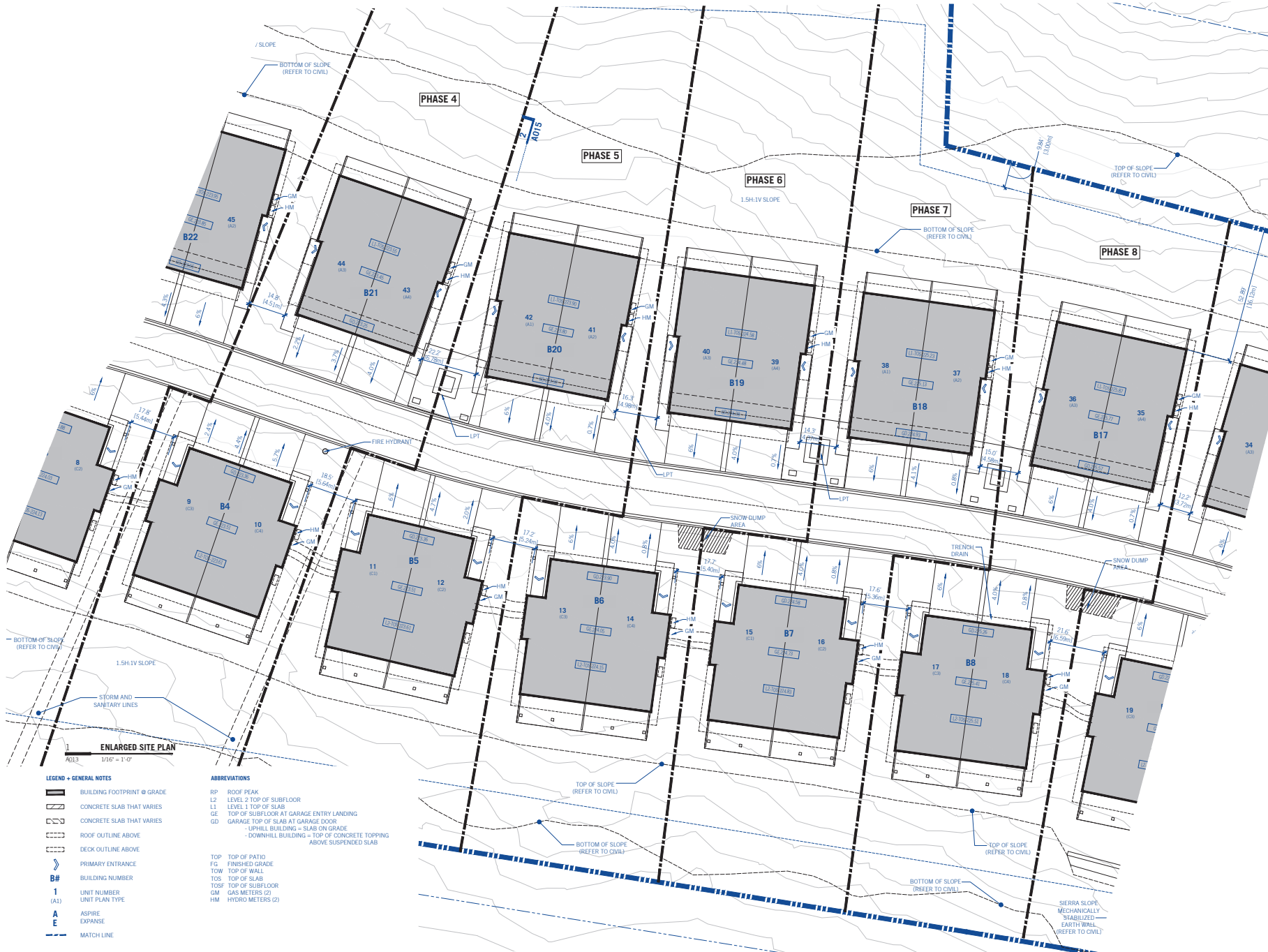
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'ELEVATE AT SUNSTONE'
 TOWNHOUSES
 LOT A, SUNSTONE RIDGE, PEMBERTON BC
 2018-002

A013

SITE PLAN - CENTRE



ENLARGED SITE PLAN

- LEGEND + GENERAL NOTES**
- BUILDING FOOTPRINT @ GRADE
 - CONCRETE SLAB THAT VARIES
 - ROOF OUTLINE ABOVE
 - DECK OUTLINE ABOVE
 - PRIMARY ENTRANCE
 - BUILDING NUMBER
 - UNIT NUMBER
 - UNIT PLAN TYPE
 - ASPIRE
 - EXPANSIVE
 - MATCH LINE

- ABBREVIATIONS**
- RP ROOF PEAK
 - L2 LEVEL 2 TOP OF SUBFLOOR
 - L1 LEVEL 1 TOP OF SLAB
 - GE TOP OF SUBFLOOR AT GARAGE ENTRY LANDING
 - GD GARAGE TOP OF SLAB AT GARAGE DOOR
 - UPHILL BUILDING = SLAB ON GRADE
 - DOWNHILL BUILDING = TOP OF CONCRETE TOPPING ABOVE SUSPENDED SLAB
 - TOP TOP OF PATIO
 - FG FINISHED GRADE
 - TOW TOP OF WALL
 - TS TOP OF SLAB
 - TOSF TOP OF SUBFLOOR
 - GM GAS METERS (2)
 - HM HYDRO METERS (2)

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'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A014

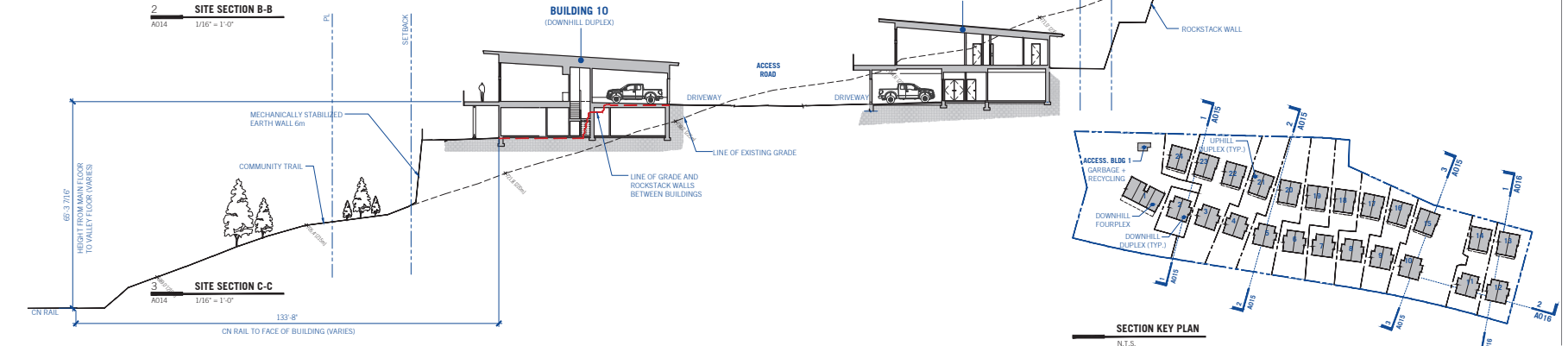
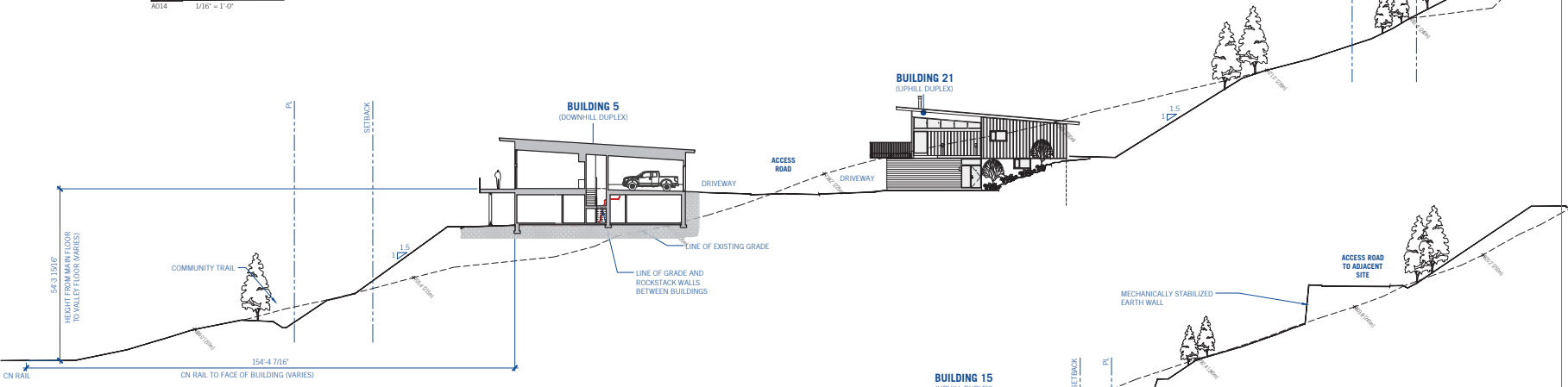
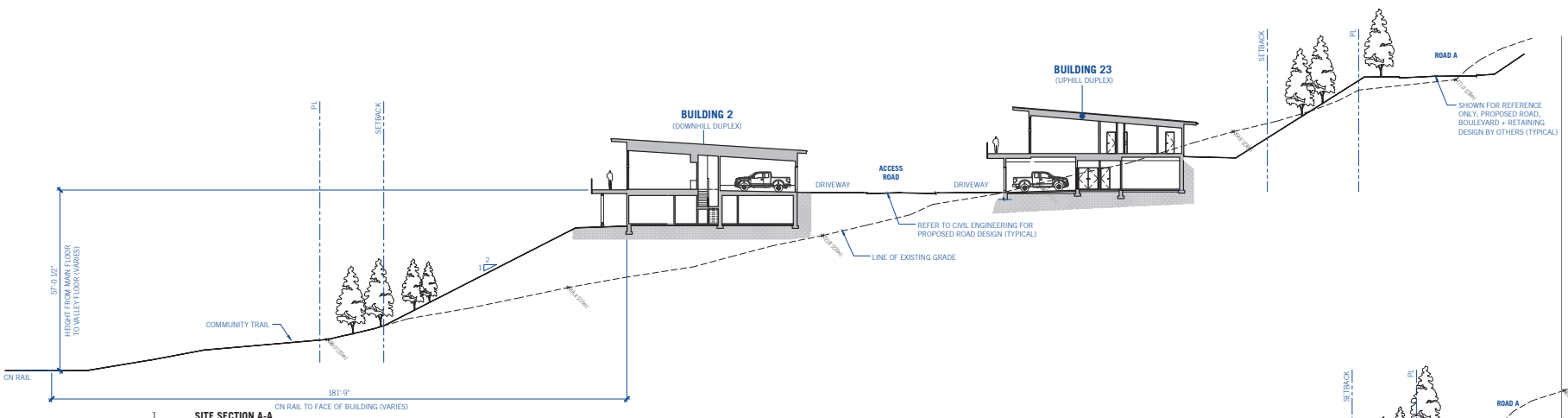
SITE PLAN - EAST



ENLARGED SITE PLAN
A013 1/16" = 1'-0"

- LEGEND + GENERAL NOTES**
- BUILDING FOOTPRINT @ GRADE
 - CONCRETE SLAB THAT VARIES
 - ROOF OUTLINE ABOVE
 - DECK OUTLINE ABOVE
 - PRIMARY ENTRANCE
 - BUILDING NUMBER
 - UNIT NUMBER
 - UNIT PLAN TYPE
 - ASPIRE
 - EXPANSE
 - MATCH LINE

- ABBREVIATIONS**
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 - L1 LEVEL 1 TOP OF SLAB
 - GE TOP OF SUBFLOOR AT GARAGE ENTRY LANDING
 - GD GARAGE TOP OF SLAB AT GARAGE DOOR
 - UPHILL BUILDING = SLAB ON GRADE
 - DOWNHILL BUILDING = TOP OF CONCRETE TOPPING ABOVE SUSPENDED SLAB
 - TOP TOP OF PATIO
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 - TOW TOP OF WALL
 - TOS TOP OF SLAB
 - TOSF TOP OF SUBFLOOR
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 - HM HYDRO METERS (2)



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NO. 1
 PROJECT
'ELEVATE AT SUNSTONE' TOWNHOUSES
 LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

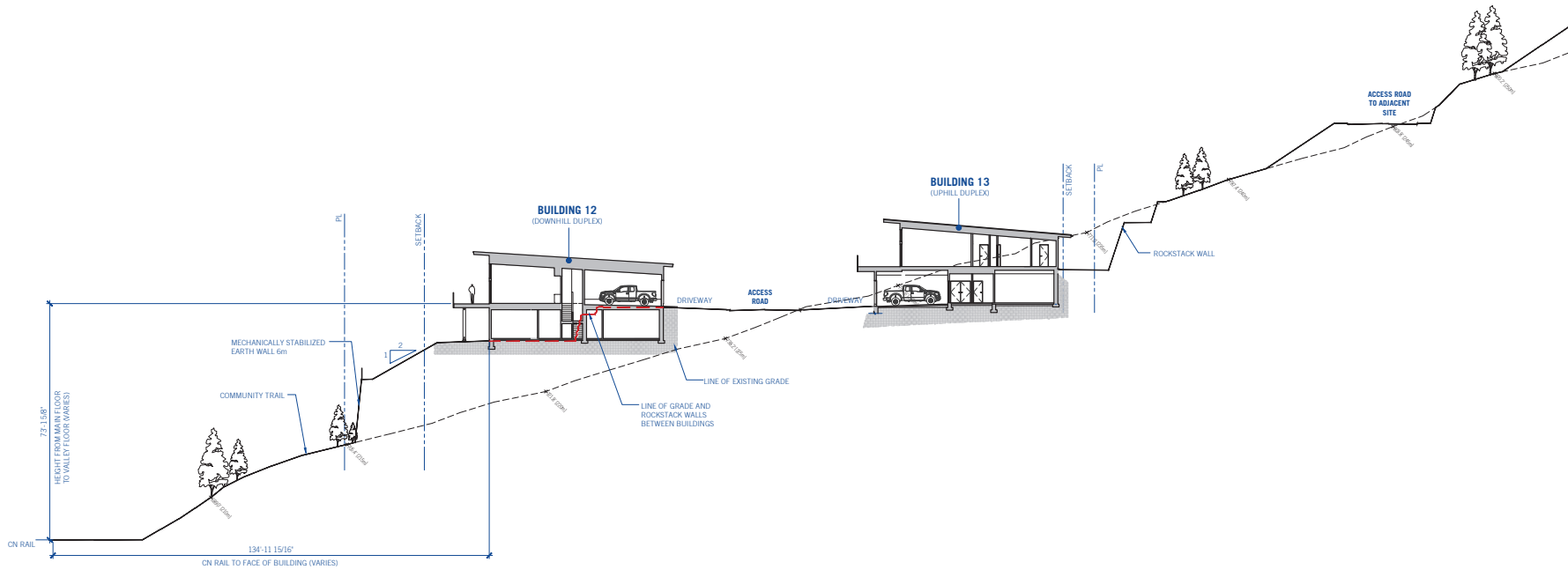
A015
 SITE CROSS SECTIONS

UWA

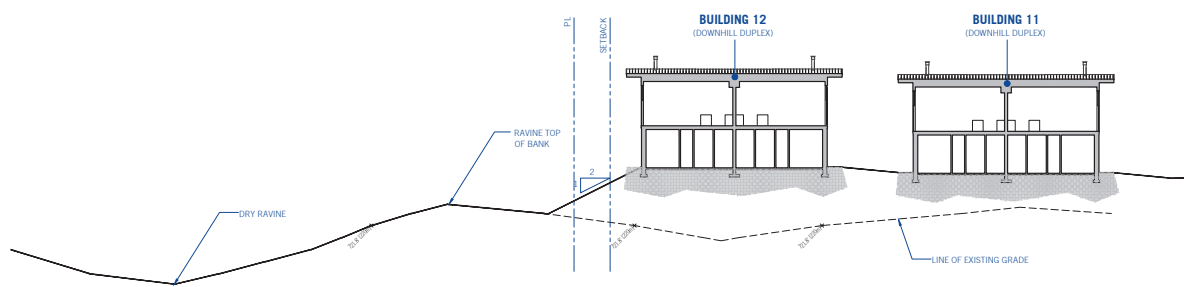
URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

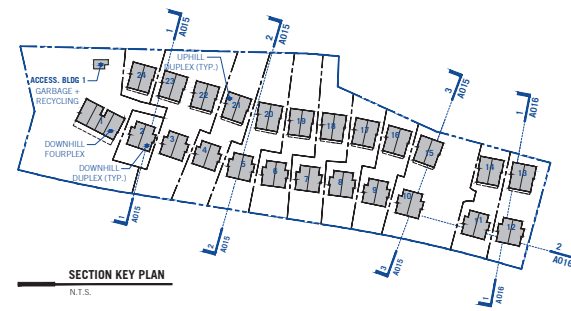
WWW.UWARCHITECTURE.COM



1 SITE SECTION D-D
 A016 1/16" = 1'-0"



2 SITE SECTION E-E
 A016 1/16" = 1'-0"



SECTION KEY PLAN
 N.T.S.

LARGE FORMAT



2020-08-26

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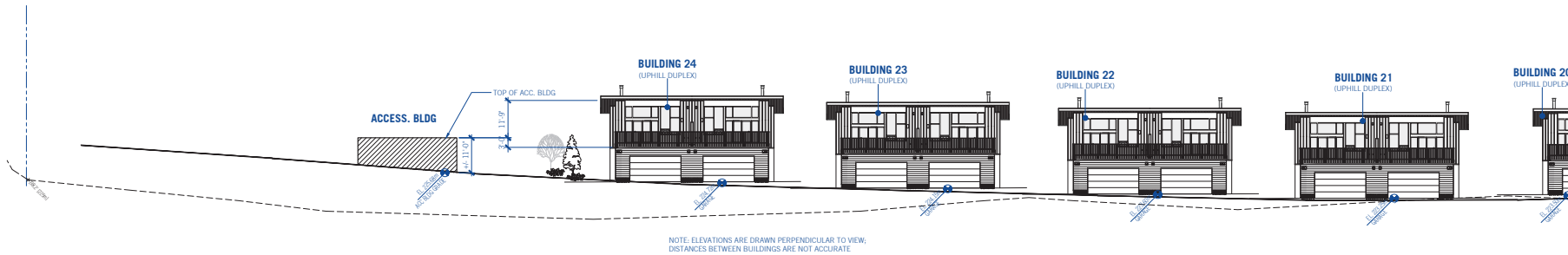
- 2020 08 26 REISSUED FOR DP
- 2019 12 20 ISSUED FOR CONSTRUCTION 2
- 2019 11 26 IFC - ABOVE GRADE - PHASE 1
- 2019 10 11 IFC - BELOW GRADE - PHASE 1
- 2019 08 30 ISSUED FOR BP - PHASE 1
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 05 07 ISSUED FOR DP - REVISION
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



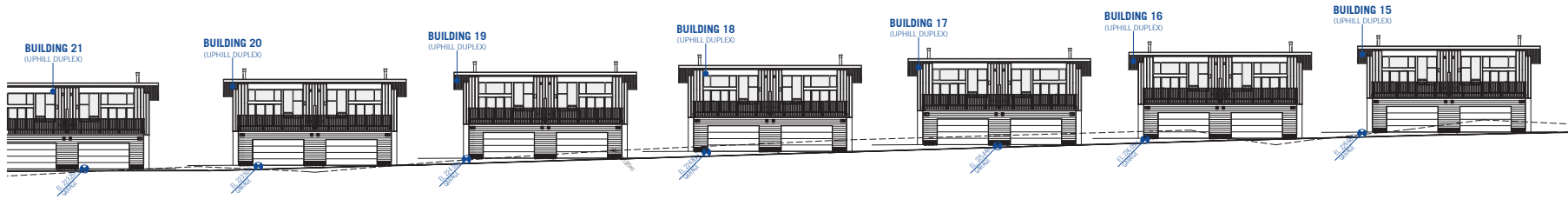
'ELEVATE AT SUNSTONE'
 TOWNHOUSES
 LOT A, SUNSTONE RIDGE, PEMBERTON BC
 2018-002

A016

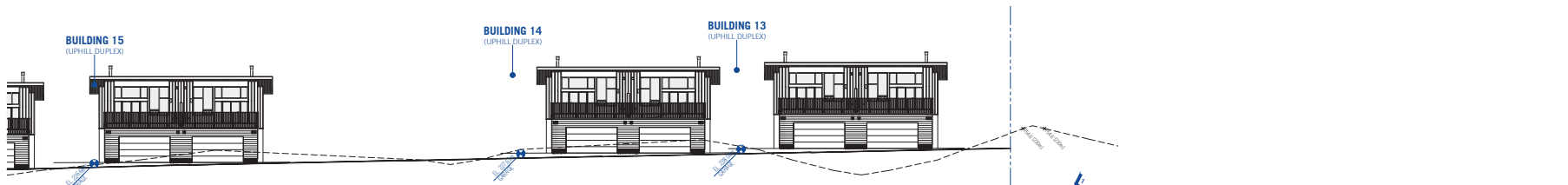
SITE CROSS SECTIONS



1 STREETScape - UPHILL BUILDINGS
A015 1/16" = 1'-0"



2 STREETScape - UPHILL BUILDINGS
A015 1/16" = 1'-0"



3 STREETScape - UPHILL BUILDINGS
A015 1/16" = 1'-0"



SECTION KEY PLAN
N.T.S.



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- 2020 08 26 REISSUED FOR DP
- 2019 12 20 ISSUED FOR CONSTRUCTION 2
- 2019 11 26 IFC - ABOVE GRADE - PHASE 1
- 2019 10 11 IFC - BELOW GRADE - PHASE 1
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A017

STREETSCAPE ELEVATIONS

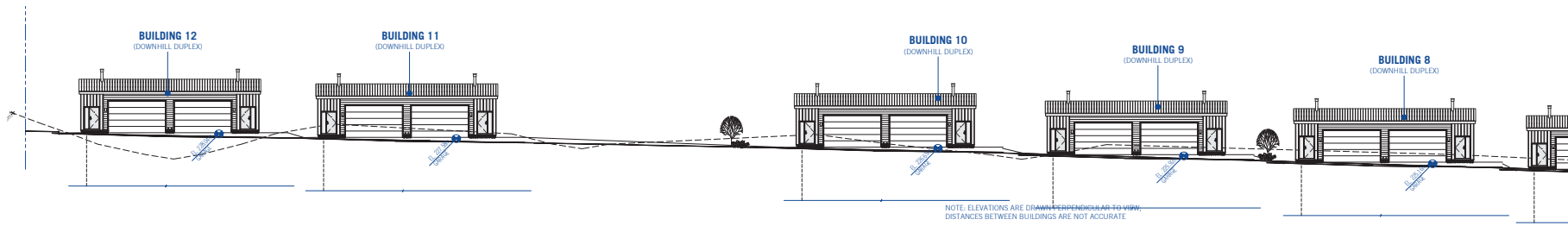
UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

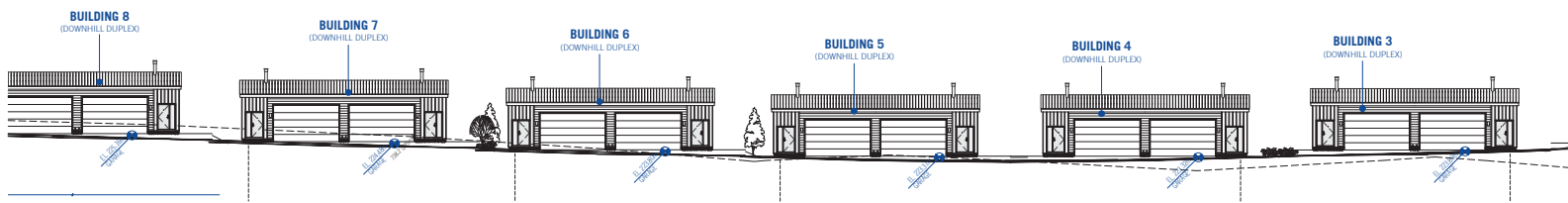
VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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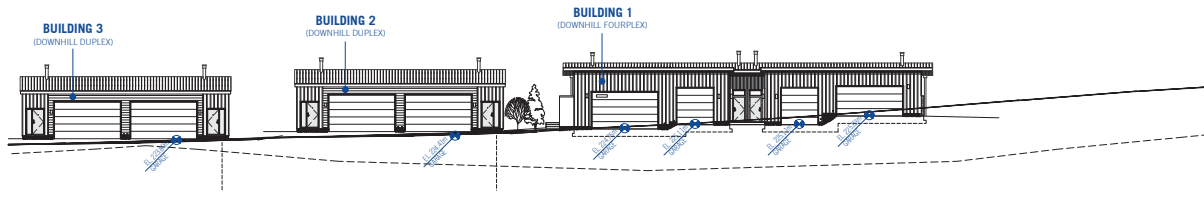
1 STREETScape - DOWNHILL BUILDINGS

A018 1/16" = 1'-0"



2 STREETScape - DOWNHILL BUILDINGS

A018 1/16" = 1'-0"



3 STREETScape - DOWNHILL BUILDINGS

A018 1/16" = 1'-0"



SECTION KEY PLAN
N.T.S.



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- 2019 10 11 IFC - BELOW GRADE - PHASE 1
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

NO. 1
TRUE PROJECT

'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A018
STREETSCAPE ELEVATIONS

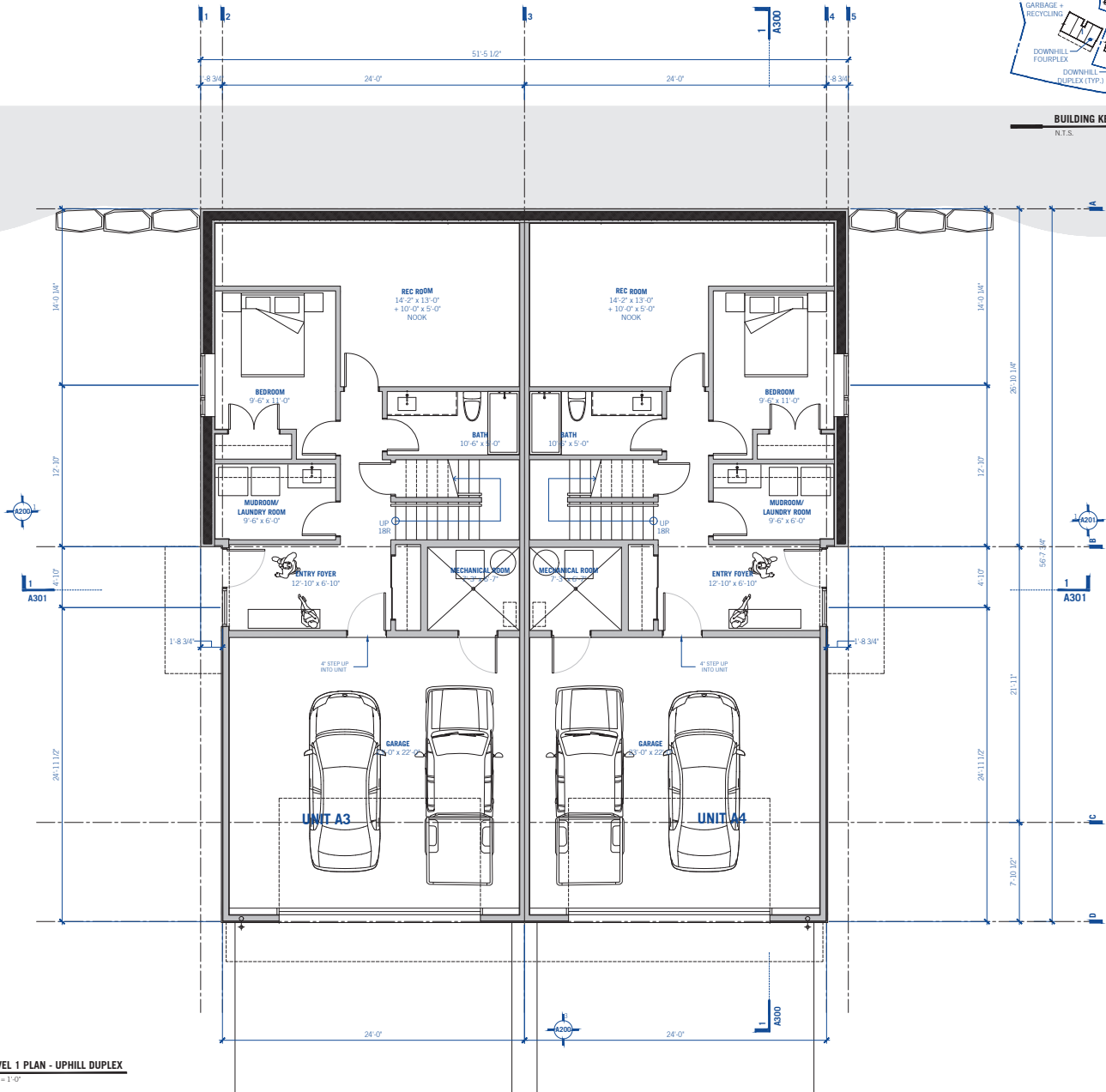
UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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1 LEVEL 1 PLAN - UPHILL DUPLEX
A101 1/4" = 1'-0"



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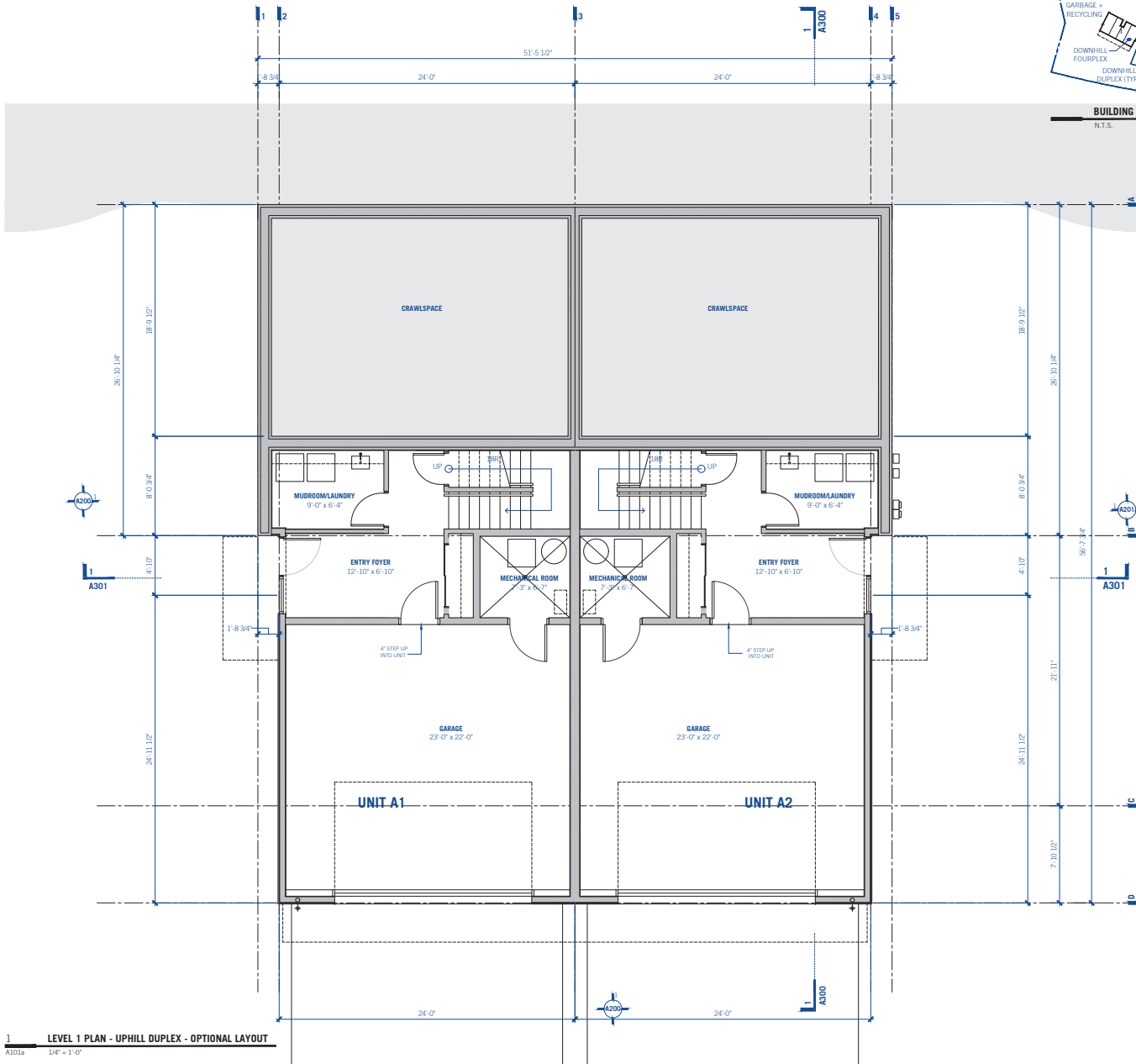
- 2020 08 26 ISSUED FOR DP
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A101

LEVEL 1 PLAN -
UPHILL DUPLEX



UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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LARGE FORMAT



2020-08-26

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- 2018 10 26 ISSUED FOR PRICING
- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

NO.



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A101a

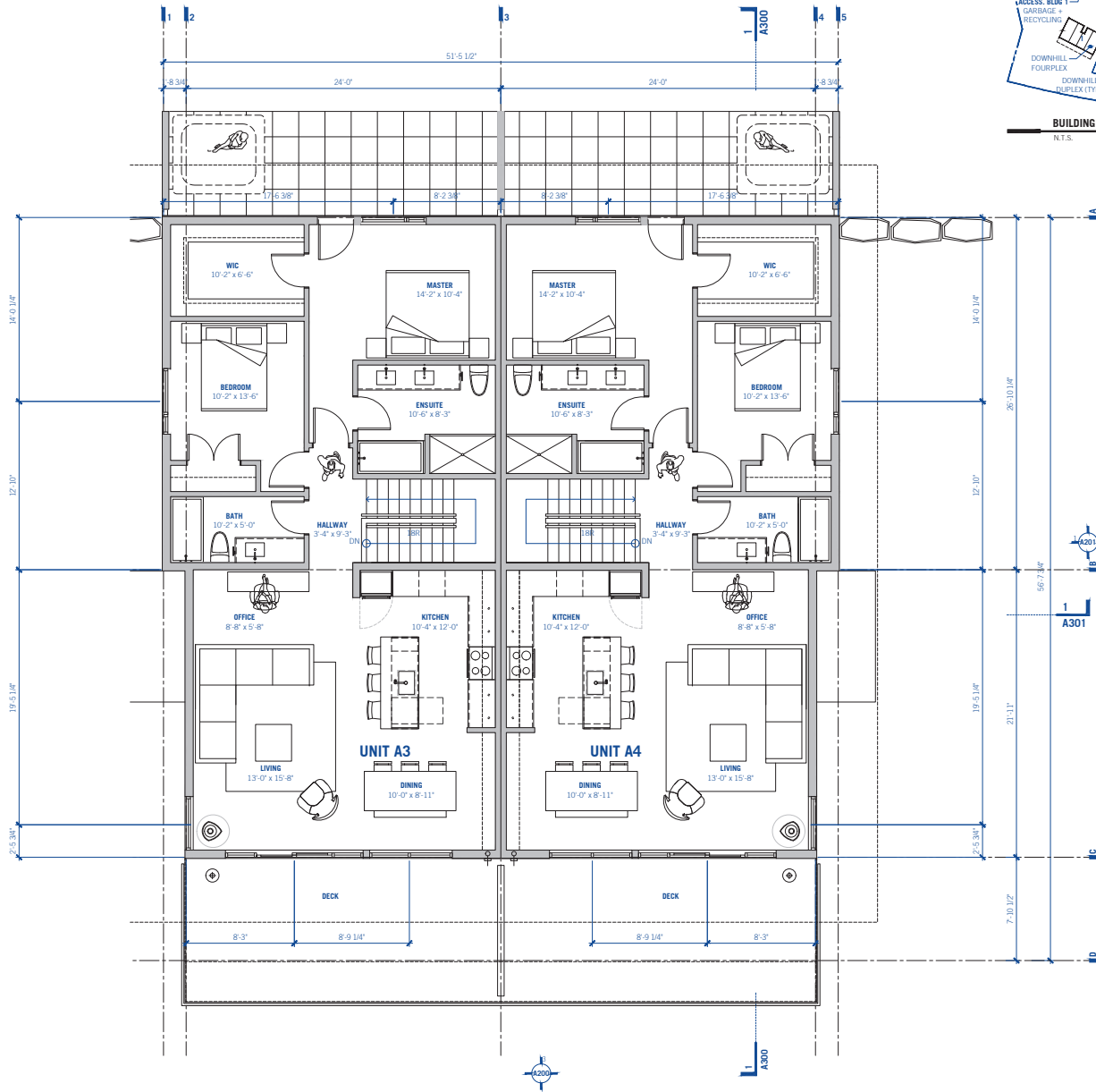
LEVEL 1 PLAN - UPHILL
DUPLEX - OPTIONAL LAYOUT

1 LEVEL 1 PLAN - UPHILL DUPLEX - OPTIONAL LAYOUT

A101a 1/4" = 1'-0"



BUILDING KEY PLAN
N.T.S.



1 LEVEL 2 PLAN - UPHILL DUPLEX
A102 1/4" = 1'-0"

LARGE FORMAT



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- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A102

LEVEL 2 PLAN - UPHILL DUPLEX

UWA

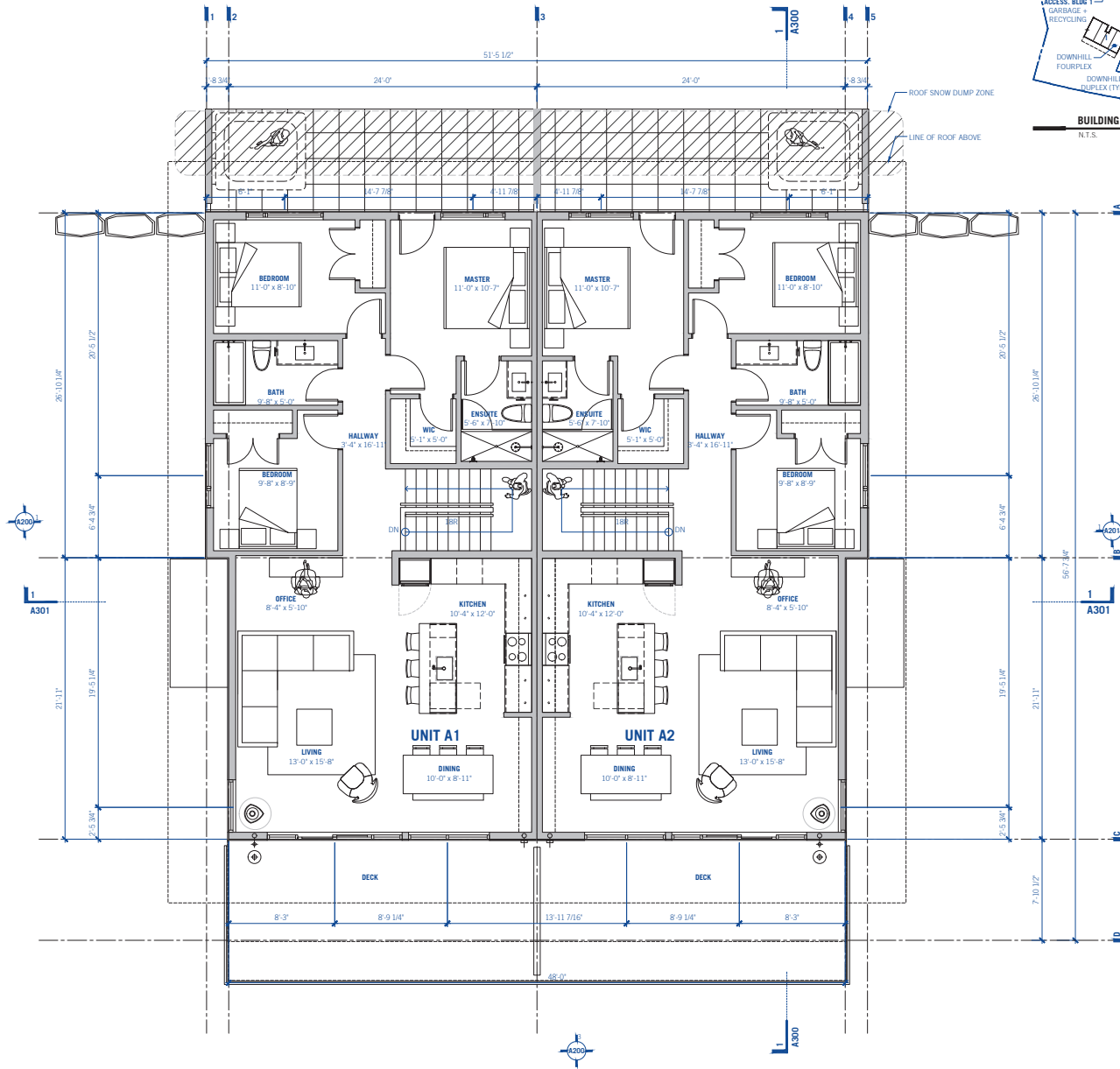
URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

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BUILDING KEY PLAN
N.T.S.



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- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE' TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A102a

LEVEL 2 PLAN - UPHILL DUPLEX - OPTIONAL LAYOUT

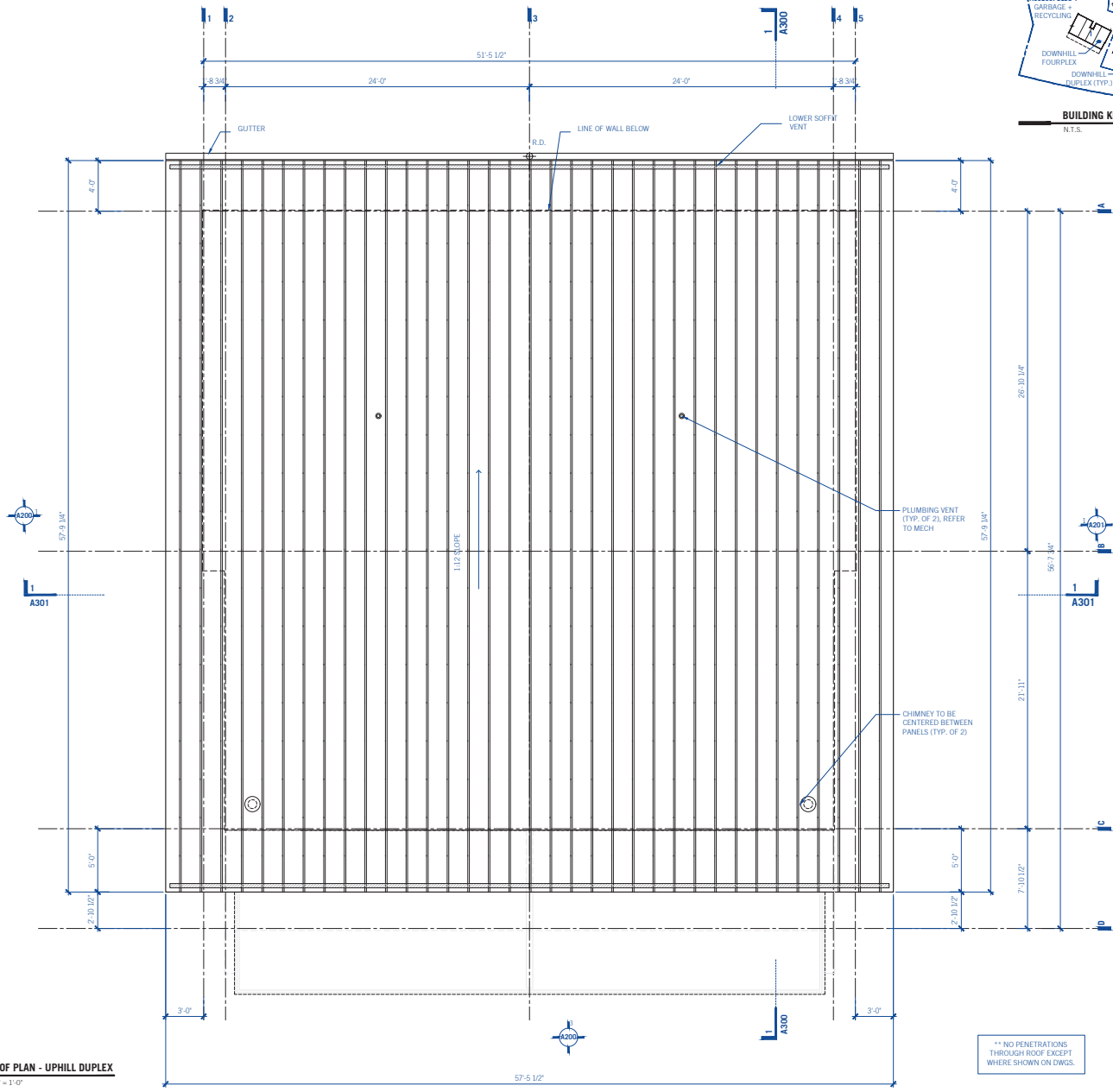
UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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1 ROOF PLAN - UPHILL DUPLEX
A103 1/4" = 1'-0"



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- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE' TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A103

ROOF PLAN - UPHILL DUPLEX

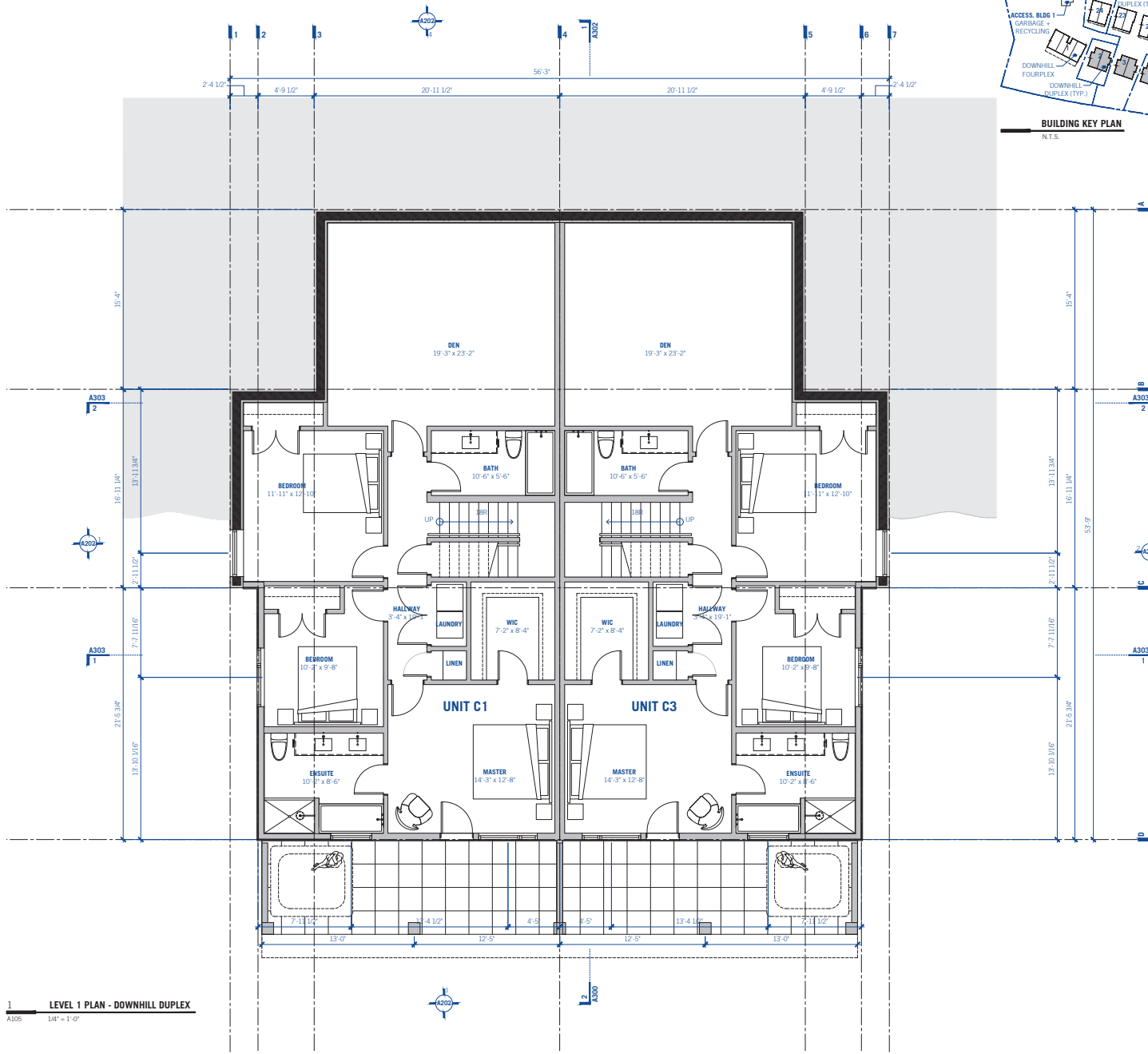
UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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LARGE FORMAT



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- 2018 10 26 ISSUED FOR PRICING
- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

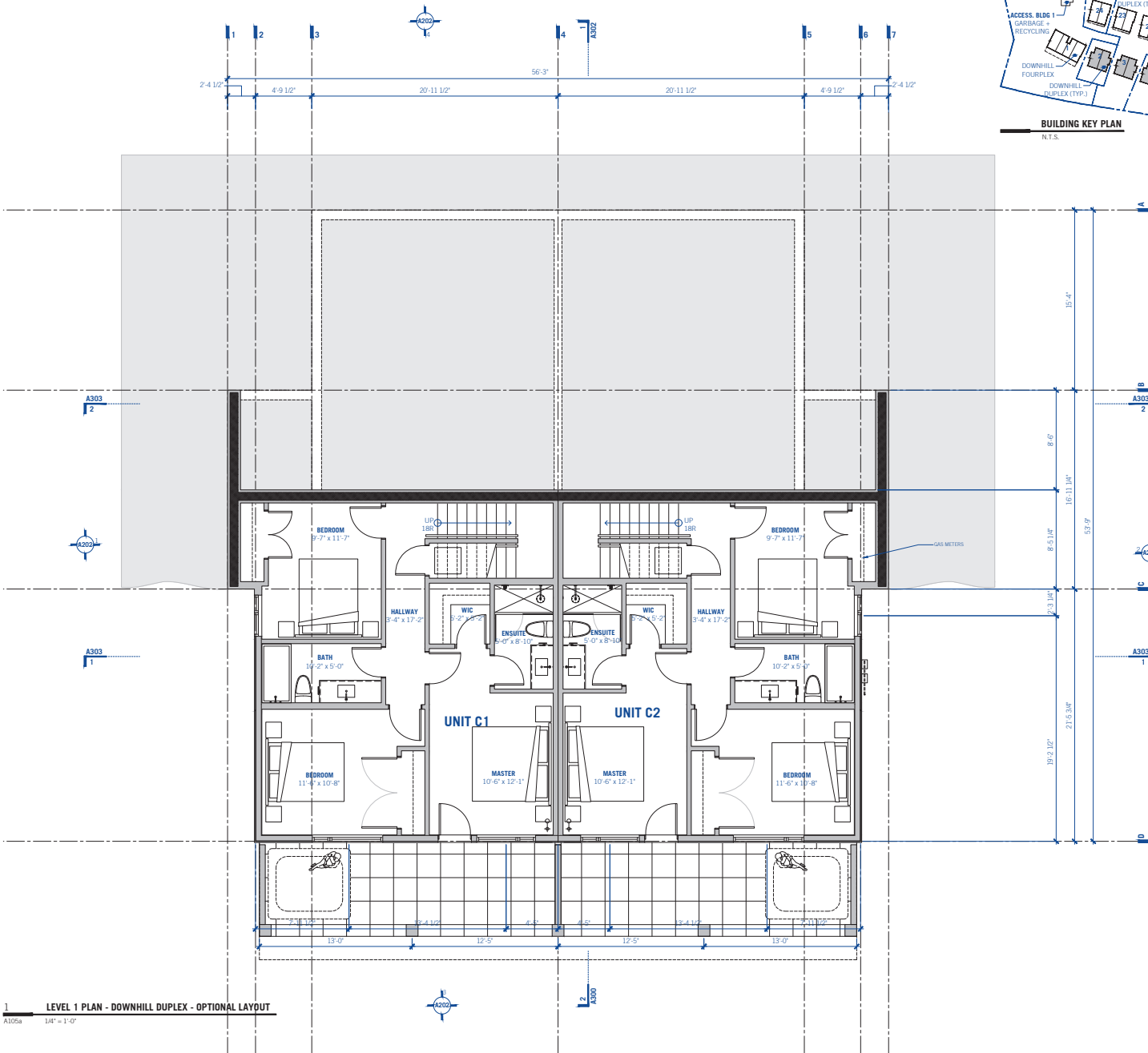


'ELEVATE AT SUNSTONE' TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A105

LEVEL 1 PLAN -
DOWNHILL DUPLEX



UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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- 2018 11 30 ISSUED FOR BUILDING PERMIT
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- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A105a

LEVEL 1 PLAN - DOWNHILL
DUPLEX - OPTIONAL LAYOUT

1 LEVEL 1 PLAN - DOWNHILL DUPLEX - OPTIONAL LAYOUT
A105a 1/4" = 1'-0"

UWA

URBAN WEST ARCHITECTURE

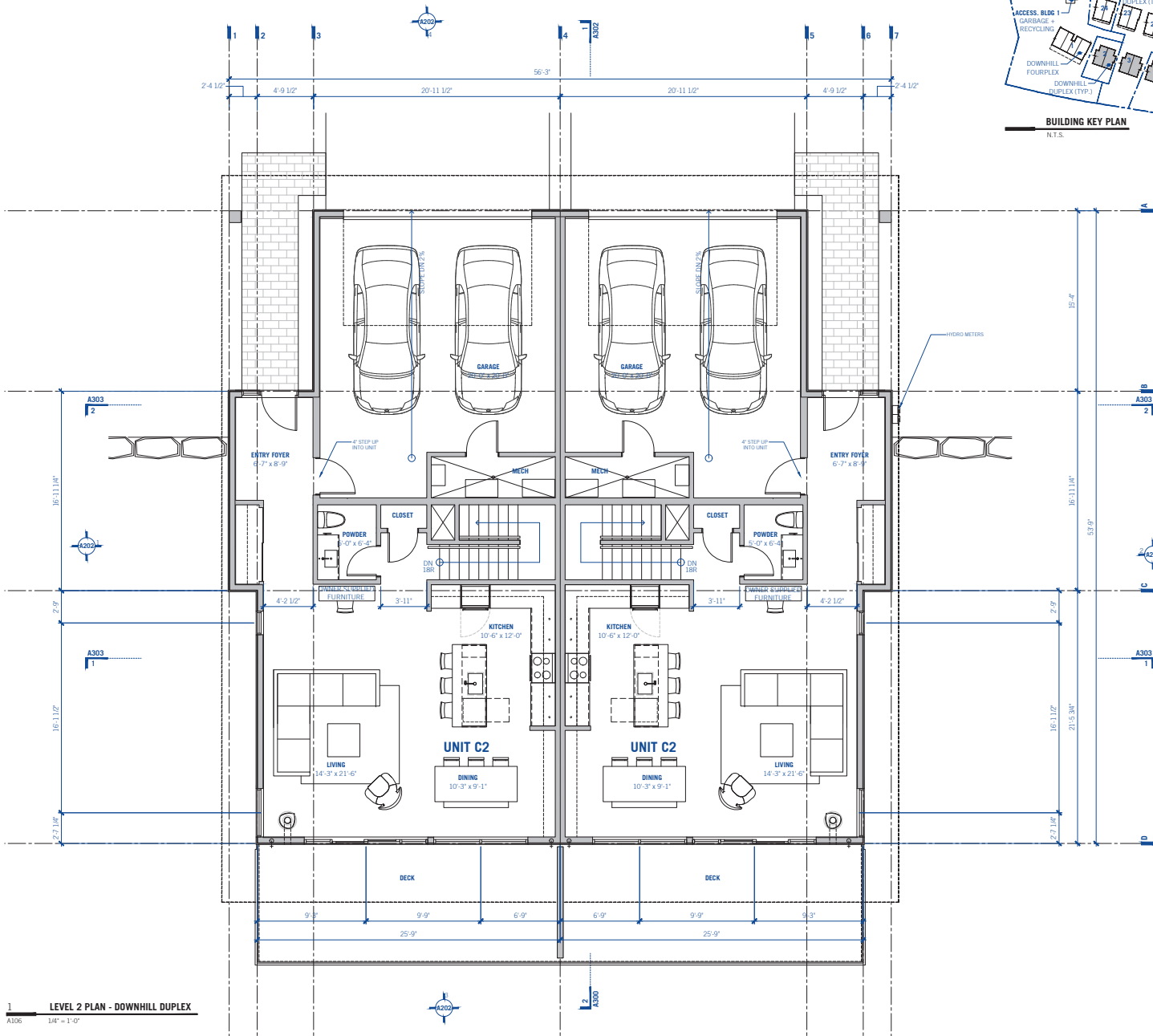
VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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BUILDING KEY PLAN
N.T.S.



1 LEVEL 2 PLAN - DOWNHILL DUPLEX
A106 1/4" = 1'-0"

LARGE FORMAT



2020-08-26

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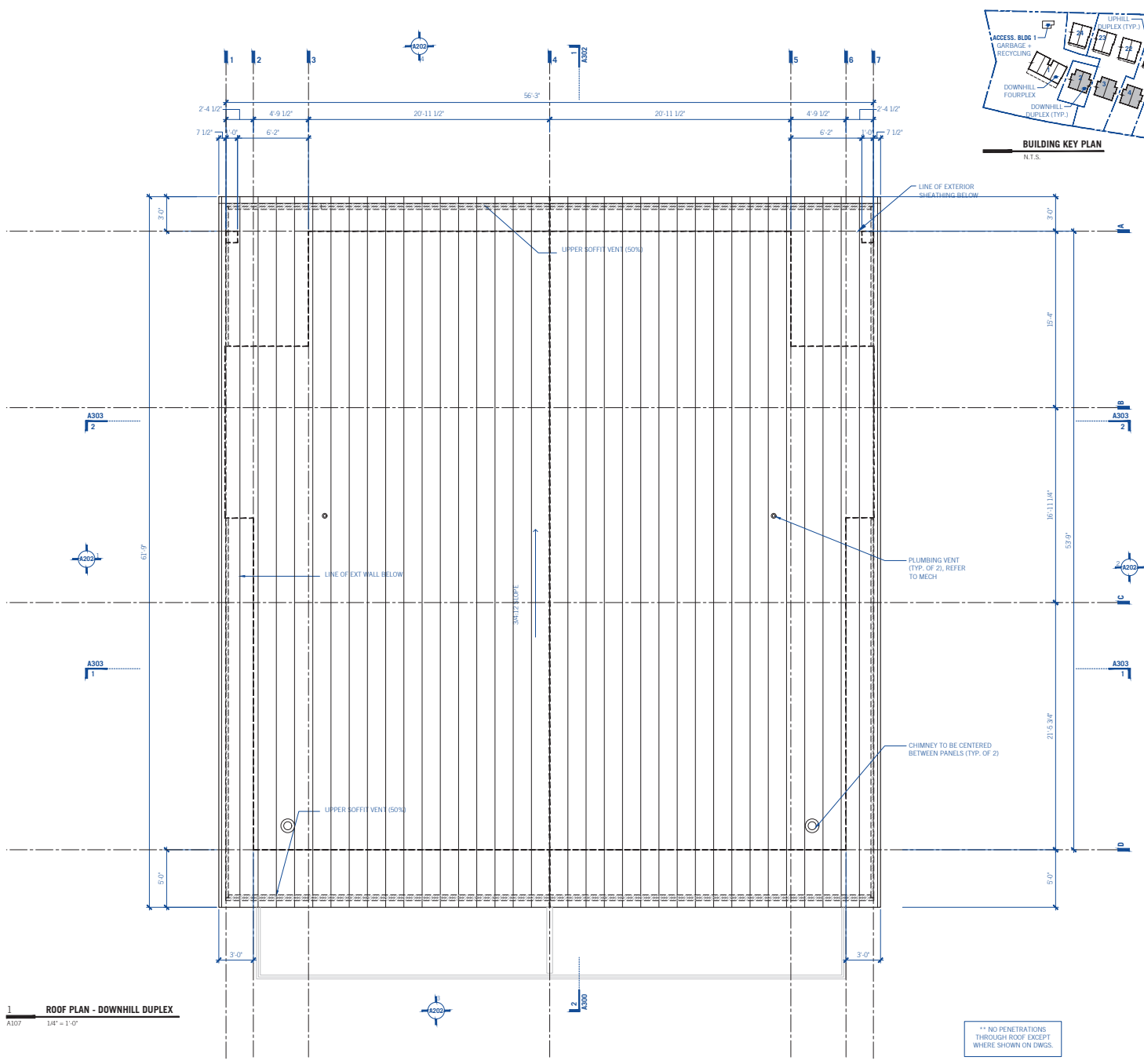
- 2020 08 26 REISSUED FOR DP
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A106

LEVEL 2 PLAN -
DOWNHILL DUPLEX



UWA
URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING
- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



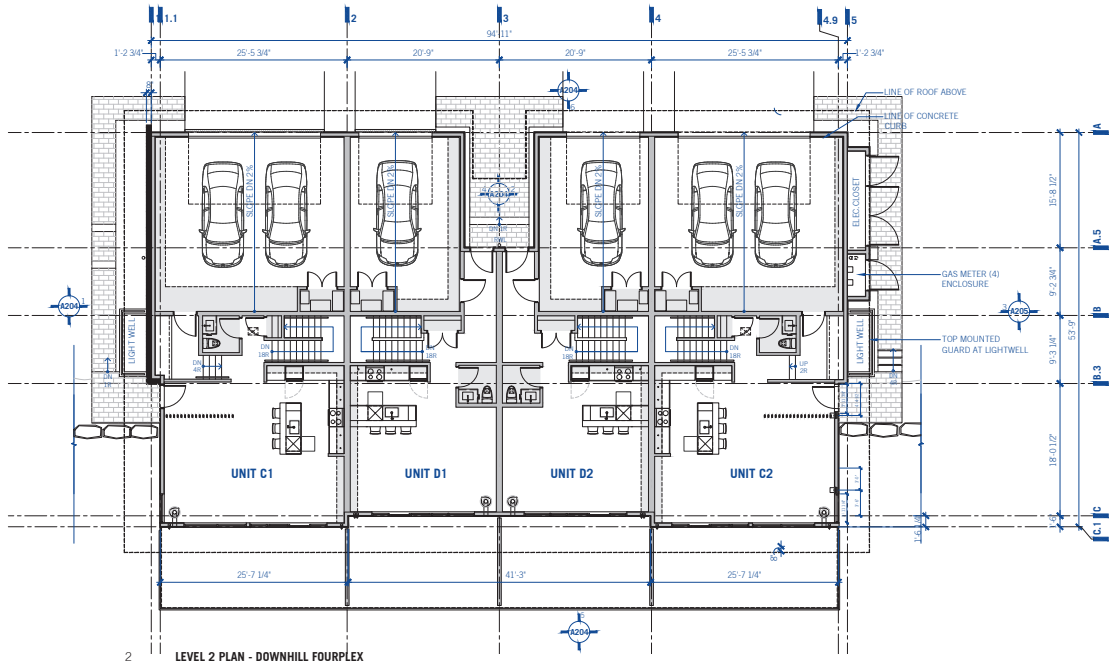
'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A107

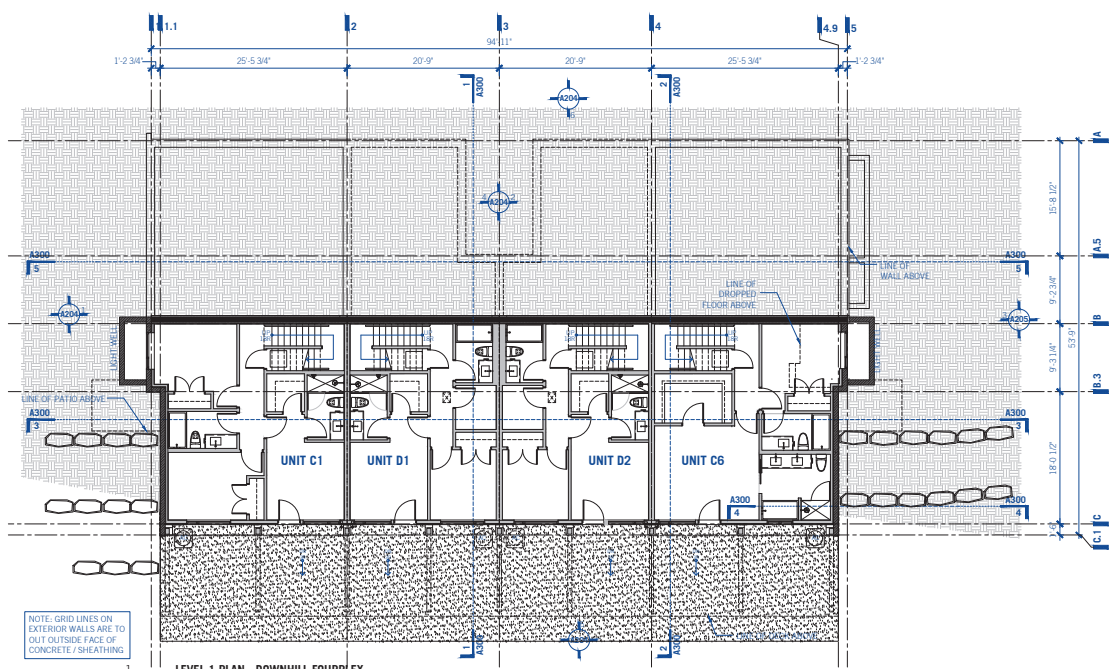
ROOF PLAN
DOWNHILL DUPLEX

** NO PENETRATIONS THROUGH ROOF EXCEPT WHERE SHOWN ON DWGS.

1 ROOF PLAN - DOWNHILL DUPLEX
A107 1/4" = 1'-0"



2 LEVEL 2 PLAN - DOWNHILL FOURPLEX
A108 1/8" = 1'-0"



1 LEVEL 1 PLAN - DOWNHILL FOURPLEX
A108 1/8" = 1'-0"

NOTE: GRID LINES ON EXTERIOR WALLS ARE TO OUT OUTSIDE FACE OF CONCRETE / SHEATHING



BUILDING KEY PLAN
N.T.S.

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

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2020 08 26	REISSUED FOR DP
S113 2020 03 03	ISSUED FOR ASI 13
2019 12 20	ISSUED FOR CONSTRUCTION 2
2019 11 26	IFC - ABOVE GRADE
S102 2019 10 23	ISSUED FOR ASI 02
2019 10 11	IFC - BELOW GRADE
2019 08 30	RE-ISSUED FOR BUILDING PERMIT
2018 11 30	ISSUED FOR BUILDING PERMIT
2018 10 26	ISSUED FOR PRICING
2018 09 21	ISSUED FOR PRICING
2018 06 06	ISSUED FOR DEVELOPMENT PERMIT
2018 04 10	ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE' TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A108

LEVEL 1 & 2 PLANS - DOWNHILL FOURPLEX

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

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LARGE FORMAT



2020-08-26

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- 2020 08 26 REISSUED FOR DP
- 2020 04 28 ISSUED FOR SI 18 R1
- 2020 04 21 ISSUED FOR SI 18 R1
- 2020 04 16 ISSUED FOR SI 19
- 2020 04 08 ISSUED FOR SI 18
- 2019 12 20 ISSUED FOR CONSTRUCTION 2
- 2019 11 26 IFC - ABOVE GRADE
- SI02 2019 10 22 ISSUED FOR ASI 02
- 2019 10 11 IFC - BELOW GRADE
- 2019 08 30 RE-ISSUED FOR BUILDING PERMIT
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 10 26 ISSUED FOR PRICING

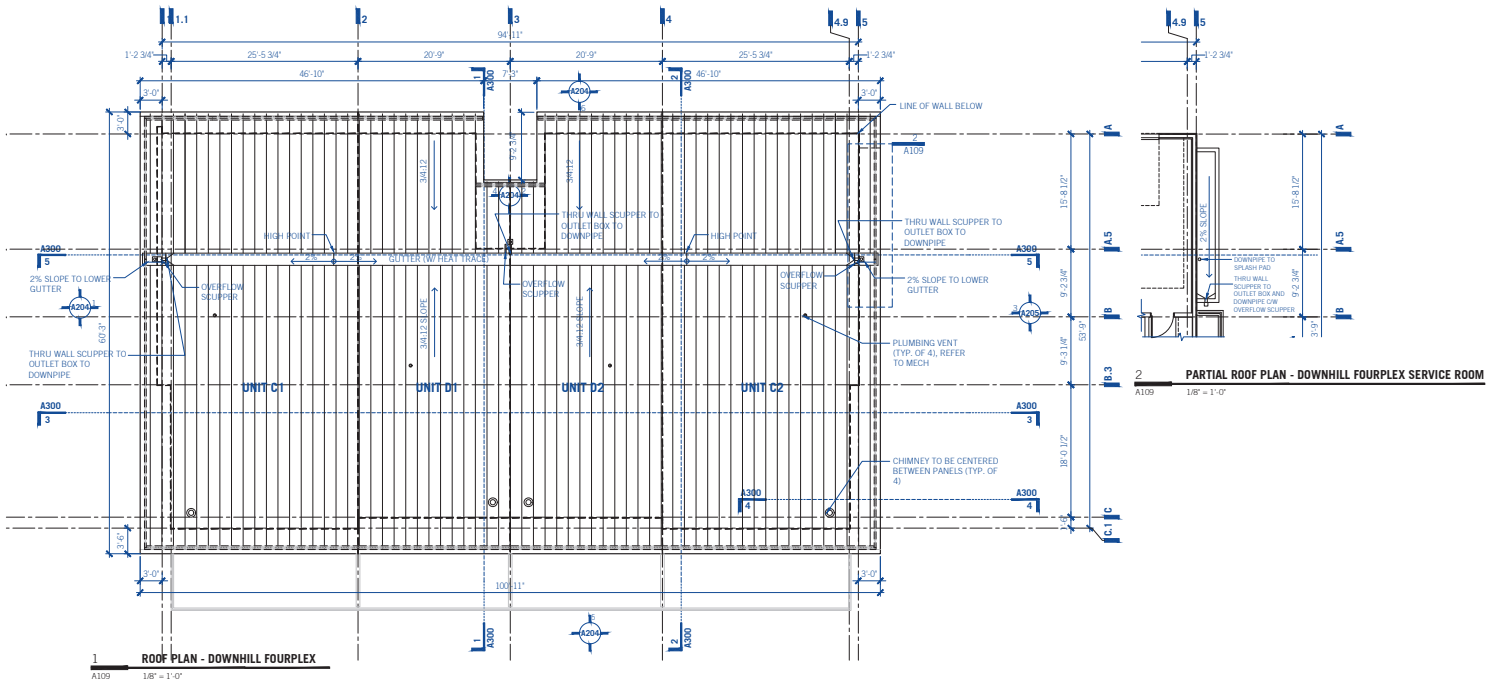


'ELEVATE AT SUNSTONE' TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A109

ROOF PLAN - DOWNHILL FOURPLEX



UWA

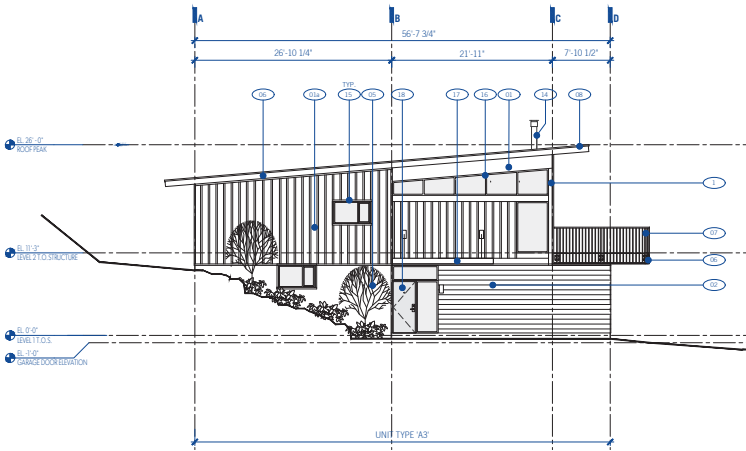
URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

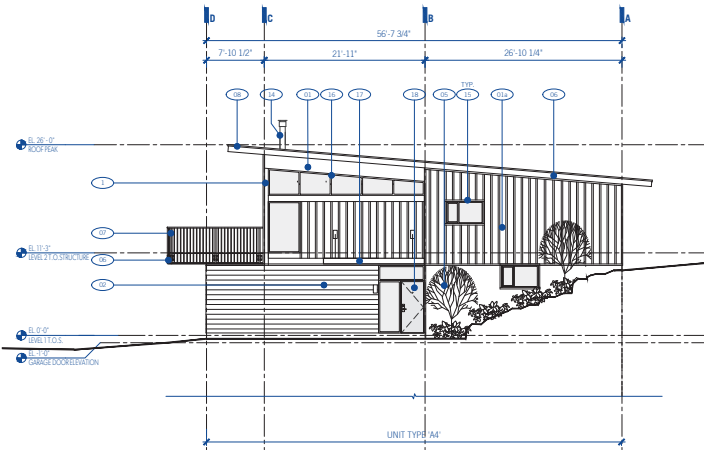
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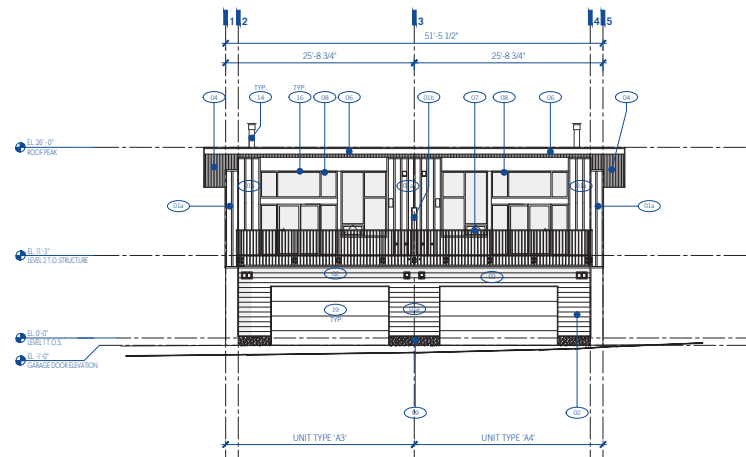
BUILDING KEY PLAN
N.T.S.



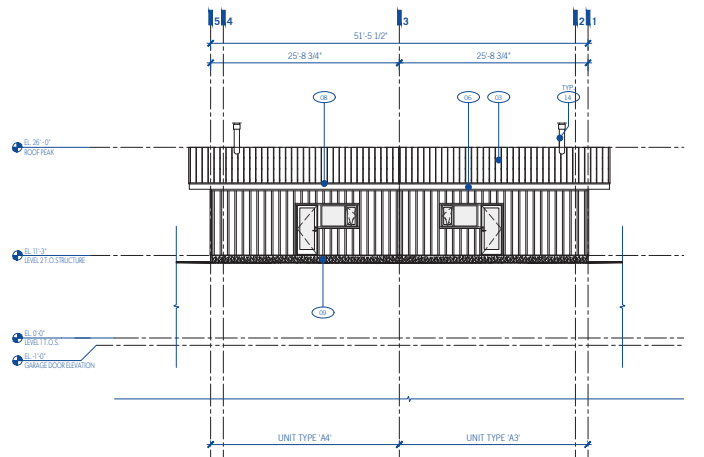
1 WEST ELEVATION - UPHILL DUPLEX
A200 1/8" = 1'-0"



2 WEST ELEVATION @ ENTRY - UPHILL DUPLEX
A200 1/8" = 1'-0"



3 SOUTH ELEVATION - UPHILL DUPLEX
A200 1/8" = 1'-0"



4 NORTH ELEVATION - UPHILL DUPLEX
A200 1/8" = 1'-0"

EXTERIOR MATERIAL KEYNOTE

- (C1) FIBER CEMENT BOARD PANEL (SMOOTH)
COLOR: PAINTED, CHARCOAL GREY
NOTE: HANDLE REVEAL 2" OAT ELEC. / GAS METER CLOSET
- (C2) FIBER CEMENT VERTICAL BOARD + BATTEN SIDING (TEXTURED) @ 12" O.C.
COLOR: PAINTED, CHARCOAL GREY
- (C3) FIBER CEMENT VERTICAL BOARD + BATTEN SIDING (TEXTURED) @ 6" O.C.
COLOR: PAINTED, CHARCOAL GREY
- (C4) 1 1/2" CEDAR BATTENS ON MARINE GRADE PLYWOOD @ 2 1/2" O.C.
COLOR: PAINTED, CHARCOAL GREY
- (C5) FIBER CEMENT LAP SIDING (8" EXPOSURE)
COLOR: CHARCOAL GREY
- (C6) PRE-FINISHED STANDING SEAM METAL ROOFING
COLOR: LIGHT GREY
- (C7) 3/4" T&G WOOD SPIRIT - CEDAR
COLOR: NATURAL
- (C8) CEMENT PARKING
COLOR: NATURAL
- (C9) CEDAR FASCIA
COLOR: CHARCOAL GREY
- (C10) ALUM. GUARDRAIL / FENCING
COLOR: BLACK
- (C11) PRE-FINISHED METAL FLASHING
COLOR: LIGHT GREY
- (C12) PROTECTION BOARD / PARKING
COLOR: MATCH CONCRETE
- (C13) HEAVY TIMBER SUPPORT
COLOR: NATURAL STAIN
- (C14) EXTERIOR HEAVY TIMBER STAIR TREADS
COLOR: NATURAL
- (C15) ALUMINUM HANDRAIL
COLOR: BLACK
- (C16) PRE-FINISHED ALUM. GUTTER / DOWN PIPE
COLOR: BLACK
- (C17) METAL CHIMNEY FLUE
COLOR: LIGHT GREY
- (C18) VINYL WINGS
COLOR: BLACK
- (C19) CURTAIN WALL WINDOW SYSTEM
COLOR: BLACK
- (C20) ALUMINUM ENTRY CANOPY WITH HANGING BOARDS
COLOR: BLACK
- (C21) FIBERGLASS DOOR
COLOR: TBD
- (C22) ALUM. OVER-HEAD GARAGE DOOR
COLOR: CHARCOAL GREY
- (C23) EXTERIOR LIGHTING FIXTURE
COLOR: CHARCOAL GREY
- (C24) HOLLOW METAL DOORS
COLOR: CHARCOAL GREY
- (C25) METAL LOUVER / VENT
COLOR: CHARCOAL GREY

LARGE FORMAT



2020-08-26

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- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE' TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A200

ELEVATIONS - UPHILL DUPLEX

UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1888 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

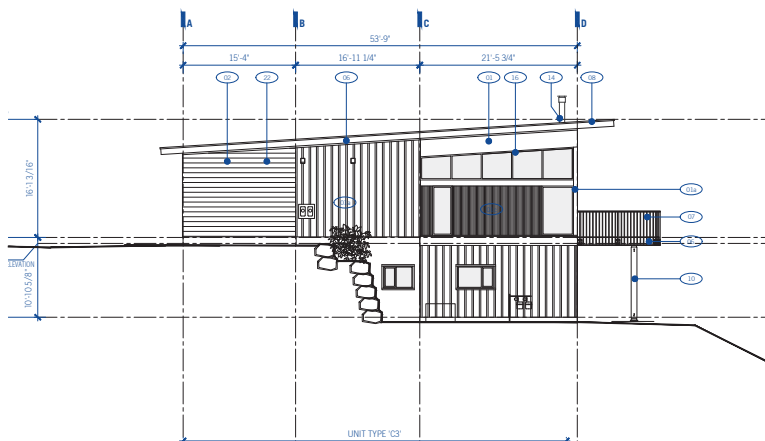
VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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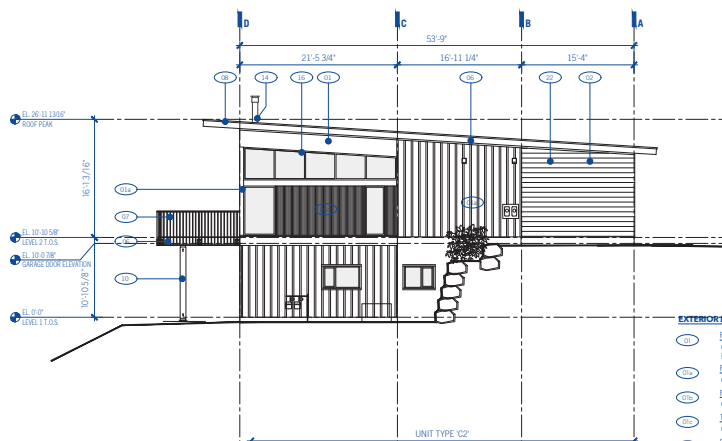
BUILDING KEY PLAN

N.T.S.



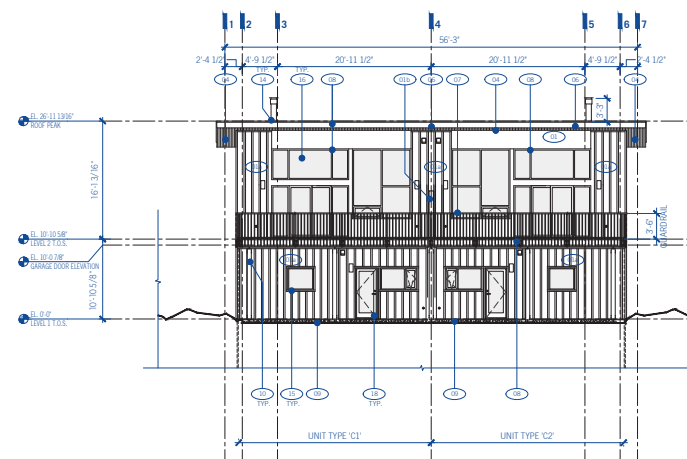
1 WEST ELEVATION - DOWNHILL DUPLEX

A201 1/8" = 1'-0"



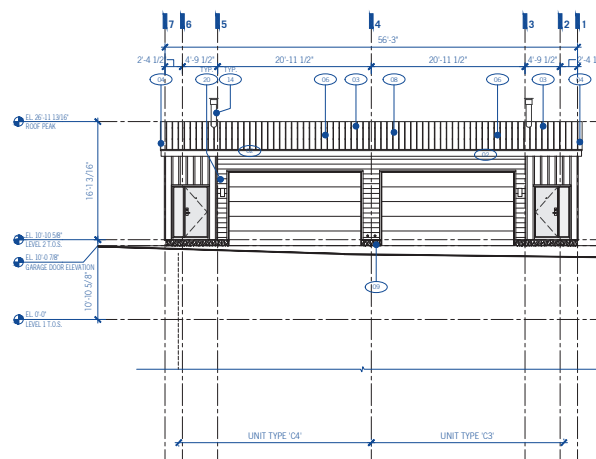
2 EAST ELEVATION @ DOWNHILL DUPLEX

A201 1/8" = 1'-0"



3 SOUTH ELEVATION - DOWNHILL DUPLEX

A201 1/8" = 1'-0"



4 NORTH ELEVATION - DOWNHILL DUPLEX

A201 1/8" = 1'-0"

EXTERIOR MATERIAL KEYNOTE

- 01 FIBER CEMENT BOARD PANEL (SMOOTH)
COLOR: PAINTED, CHARCOAL GREY
NOTE: HARDIE REVEAL 2.0 AT ELEC / GAS METER CLOSET
- 02 FIBER CEMENT VERTICAL BOARD + BATTEN SIDING (TEXTURED) @ 12" O.C.
COLOR: PAINTED, CHARCOAL GREY
- 03 FIBER CEMENT VERTICAL BOARD + BATTEN SIDING (TEXTURED) @ 6" O.C.
COLOR: PAINTED, CHARCOAL GREY
- 04 1 1/2" CEDAR BATTENS ON MAASNE GRADE PLYWOOD @ 2 1/2" O.C.
COLOR: PAINTED, CHARCOAL GREY
- 05 FIBER CEMENT LAP SIDING @ EXPOSURE
COLOR: CHARCOAL GREY
- 06 PRE-FINISHED STANDING SEAM METAL ROOFING
COLOR: LIGHT GREY
- 07 5'-6" TAG WOOD SOFFIT - CEDAR
COLOR: NATURAL
CEMENT PARING
- 08 COLOR: NATURAL
CEDAR FASCIA
- 09 COLOR: CHARCOAL GREY
ALUM. GUARDRAIL / FENCING
- 10 COLOR: BLACK
PRE-FINISHED METAL FLASHING
COLOR: LIGHT GREY
- 11 PROTECTION BOARD / PARKING
COLOR: MATCH CONCRETE
- 12 HEAVY TIMBER SUPPORT
COLOR: NATURAL STAIN
- 13 EXTERIOR HEAVY TIMBER STAIR TREADS
COLOR: NATURAL
- 14 ALUMINUM HANDRAIL
COLOR: BLACK
- 15 PRE-FINISHED ALUM. GUTTER / DOWN PIPE
COLOR: BLACK
- 16 METAL CHIMNEY FLUE
COLOR: LIGHT GREY
- 17 VINYL WINDOWS
COLOR: BLACK
- 18 CURTAIN WALL WINDOW SYSTEM
COLOR: BLACK
- 19 ALUMINUM ENTRY CANOPY WITH HANGING ROOS
COLOR: BLACK
- 20 FIBERGLASS DOOR
COLOR: TID
- 21 ALUM. OVER-HEAD GARAGE DOOR
COLOR: CHARCOAL GREY
- 22 EXTERIOR LIGHTING FIXTURE
COLOR: CHARCOAL GREY
- 23 HOLLOW METAL DOOR
COLOR: CHARCOAL GREY
- 24 METAL LOUVER/VENT
COLOR: CHARCOAL GREY

LARGE FORMAT



2020-08-26

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- 2018 09 21 ISSUED FOR PRICING
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

NO.

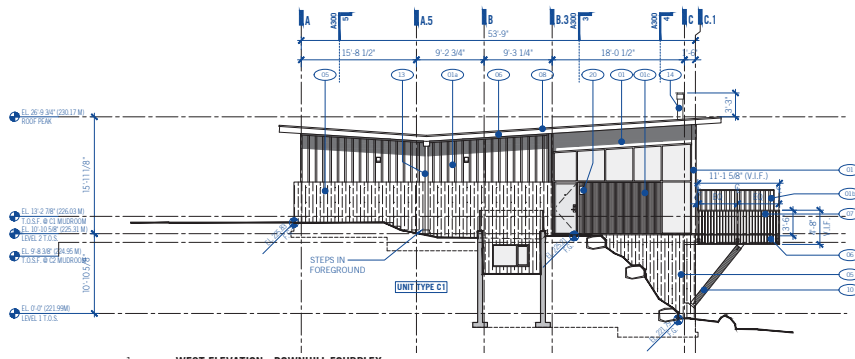


**'ELEVATE AT SUNSTONE'
TOWNHOUSES**

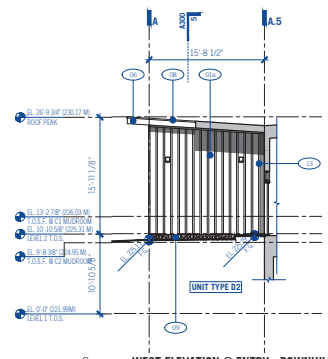
LOT 4, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A201

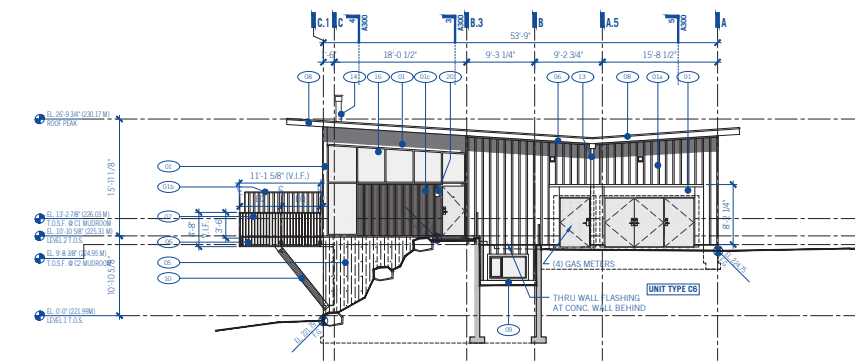
ELEVATIONS -
DOWNHILL DUPLEX



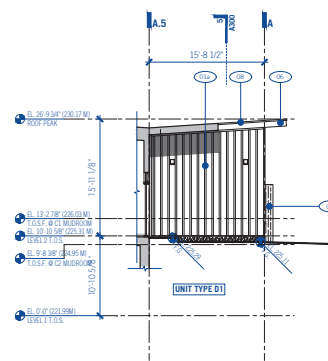
1 WEST ELEVATION - DOWNHILL FOURPLEX
A202 1/8" = 1'-0"



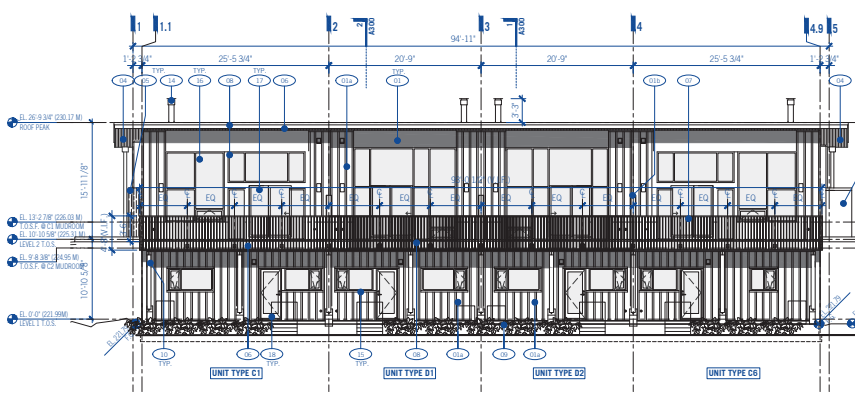
2 WEST ELEVATION @ ENTRY - DOWNHILL FOURPLEX
A202 1/8" = 1'-0"



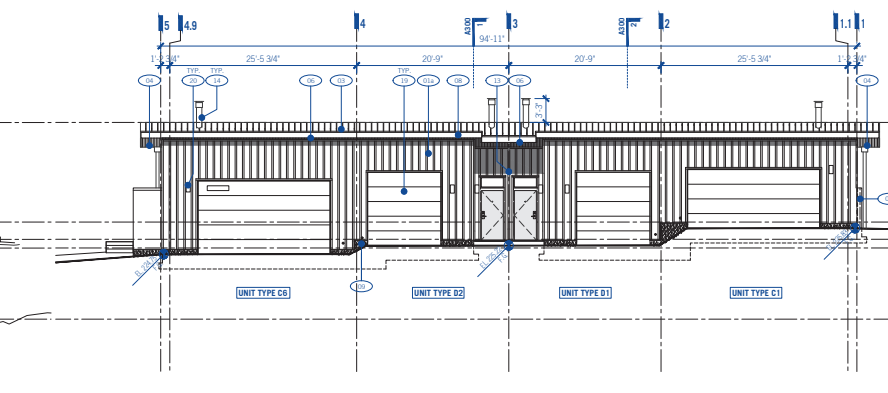
3 EAST ELEVATION - DOWNHILL FOURPLEX
A202 1/8" = 1'-0"



4 EAST ELEVATION @ ENTRY - DOWNHILL FOURPLEX
A202 1/8" = 1'-0"



5 SOUTH ELEVATION - DOWNHILL FOURPLEX
A202 1/8" = 1'-0"



6 NORTH ELEVATION - DOWNHILL FOURPLEX
A202 1/8" = 1'-0"

BUILDING KEY PLAN
N.T.S.

- EXTERIOR MATERIAL KEYNOTE**
- (01) FIBER CEMENT BOARD PANEL (MAGNOLIA)
COLOR: PAINTED, CHARCOAL GREY
NOTE: HARDE REVEAL 2.0 AT ELEC. / GAS METER CLOSET
 - (02) FIBER CEMENT VERTICAL BOARD + BATTEN SIDING (TEXTURED) @ 12" O.C.
COLOR: PAINTED, CHARCOAL GREY
 - (03) FIBER CEMENT VERTICAL BOARD + BATTEN SIDING (TEXTURED) @ 6" O.C.
COLOR: PAINTED, CHARCOAL GREY
 - (04) 1 1/2" CEDAR BATTENS ON MARINE GRADE PLYWOOD @ 2 1/2" O.C.
COLOR: PAINTED, CHARCOAL GREY
 - (05) FIBER CEMENT LAF SIDING 18" EXPOSURE
COLOR: CHARCOAL GREY
 - (06) PRE-FINISHED STANDING SEAM METAL ROOFING
COLOR: LIGHT GREY
 - (07) 5'-6" T&G WOOD SOFFIT - CEDAR
COLOR: NATURAL
 - (08) CEMENT PARPING
COLOR: NATURAL
 - (09) CEDAR FASCIA
COLOR: CHARCOAL GREY
 - (10) ALUM. GUARDRAIL / FENCING
COLOR: BLACK
 - (11) PRE-FINISHED METAL FLASHING
COLOR: LIGHT GREY
 - (12) PROTECTION BOARD / PARGING
COLOR: MATCH CONCRETE
 - (13) HEAVY TIMBER SUPPORT
COLOR: NATURAL STAIN
 - (14) EXTERIOR HEAVY TIMBER STAIR TREADS
COLOR: NATURAL
 - (15) ALUMINUM HANDRAIL
COLOR: BLACK
 - (16) PRE-FINISHED ALUM. GUTTER / DOWN PIPE
COLOR: BLACK
 - (17) METAL CHIMNEY FLUE
COLOR: LIGHT GREY
 - (18) VINYL WINDOWS
COLOR: BLACK
 - (19) CURTAIN WALL WINDOW SYSTEM
COLOR: BLACK
 - (20) ALUMINUM ENTRY CANOPY WITH HANGING BIDS
COLOR: BLACK
 - (21) FIBERGLASS DOOR
COLOR: TRS
 - (22) ALUM. OVERHEAD GARAGE DOOR
COLOR: CHARCOAL GREY
 - (23) EXTERIOR LIGHTING FIXTURE
COLOR: CHARCOAL GREY
 - (24) HOLLOW METAL DOOR
COLOR: CHARCOAL GREY
 - (25) METAL LOUVER/VENT
COLOR: CHARCOAL GREY



2020-08-26

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- 2020 08 26 REISSUED FOR DP
- S127 2020 07 28 ISSUED FOR ASI 27
- S113 2020 03 03 ISSUED FOR ASI 13
- 2019 12 20 ISSUED FOR CONSTRUCTION 2
- 2019 11 26 IFC - ABOVE GRADE
- S102 2019 10 23 ISSUED FOR ASI 02
- 2019 10 11 IFC - BELOW GRADE
- 2019 08 30 RE-ISSUED FOR BUILDING PERMIT
- 2018 11 30 ISSUED FOR BUILDING PERMIT
- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE' TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A202

ELEVATIONS - DOWNHILL FOURPLEX

UWA

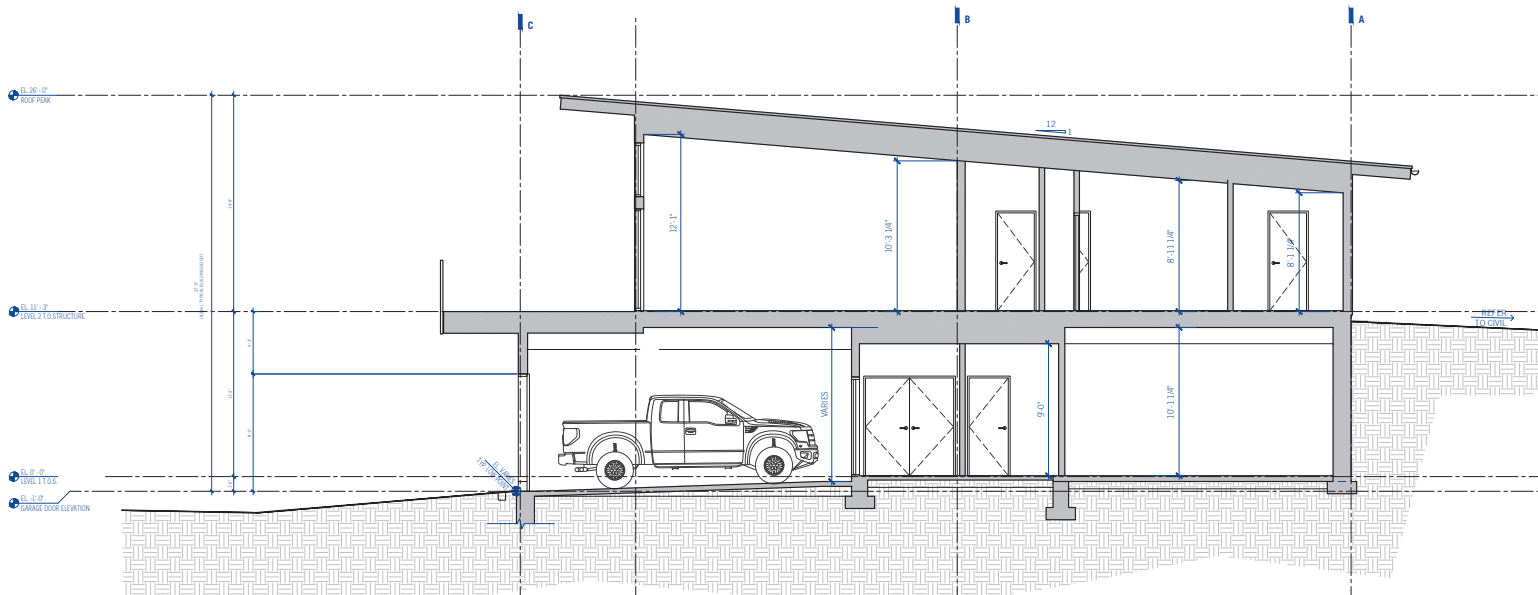
URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

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BUILDING KEY PLAN
N.T.S.



1 BUILDING SECTION - UPHILL DUPLEX
A300 1/4" = 1'-0"

LARGE FORMAT



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- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 05 16 ISSUED FOR COORDINATION
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

NO.



'ELEVATE AT SUNSTONE'
TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A300

CROSS-SECTION -
UPHILL DUPLEX

UWA

URBAN WEST ARCHITECTURE

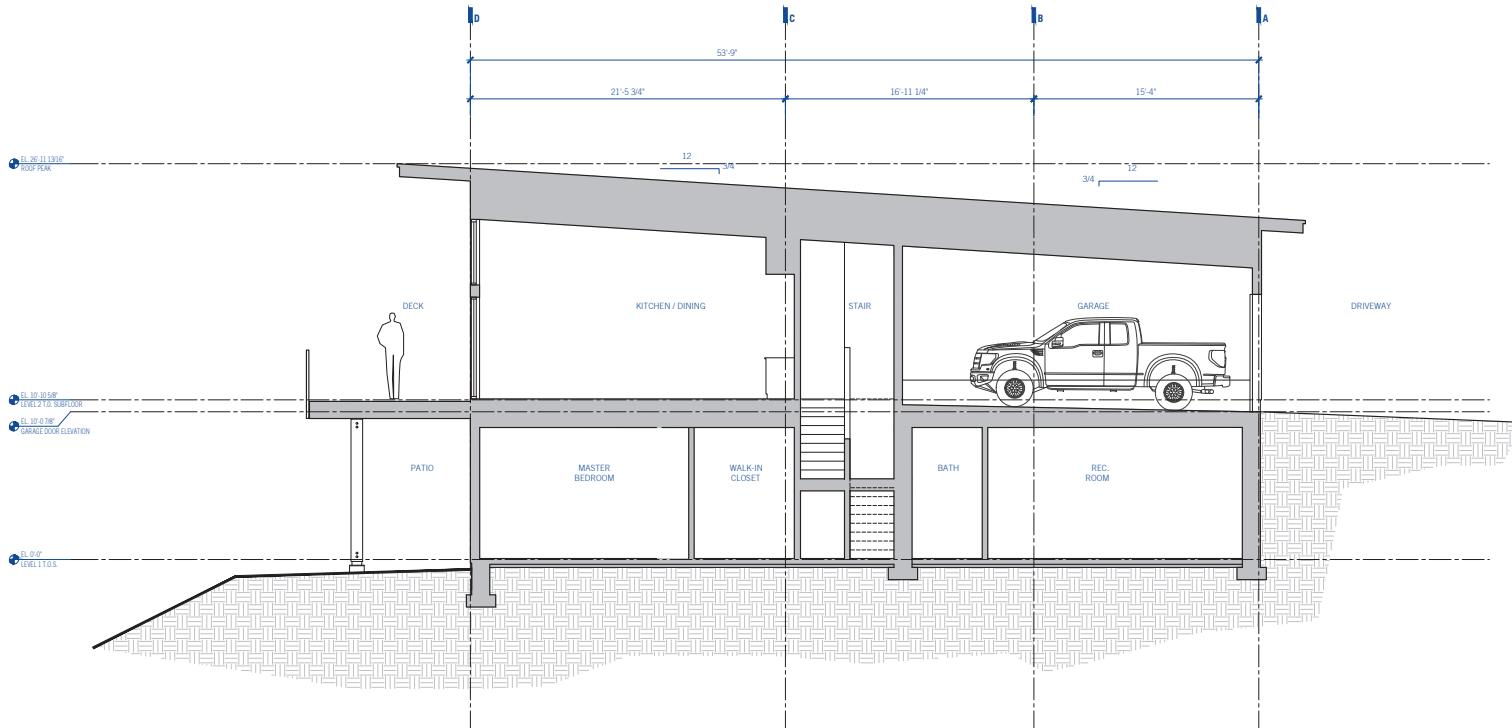
VANCOUVER 102-1888 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR STREET VICTORIA BC V8T 3Y3 T 250 893 7517

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BUILDING KEY PLAN

N.T.S.



1 BUILDING SECTION - DOWNHILL DUPLEX

A302 1/4" = 1'-0"

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- 2018 05 16 ISSUED FOR COORDINATION
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT

NO.

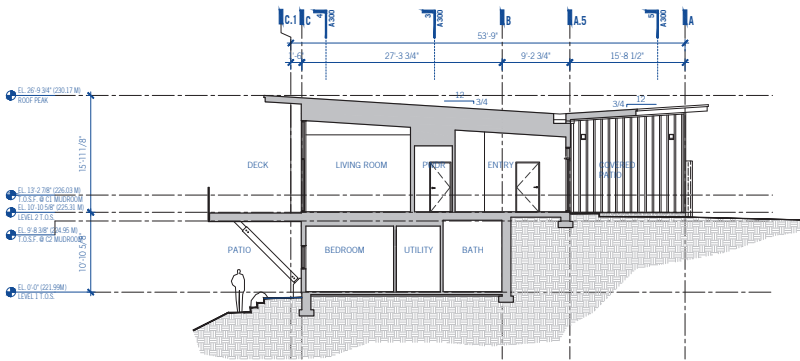


'ELEVATE AT SUNSTONE' TOWNHOUSES

LOT A, SUNSTONE RIDGE, PEMBERTON BC 2018-002

A302

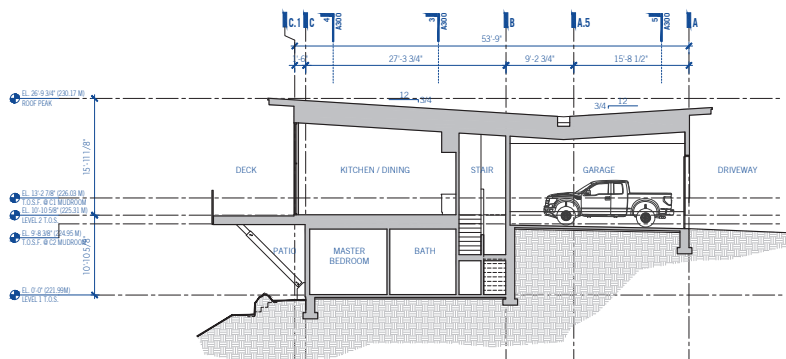
CROSS-SECTION - DOWNHILL DUPLEX



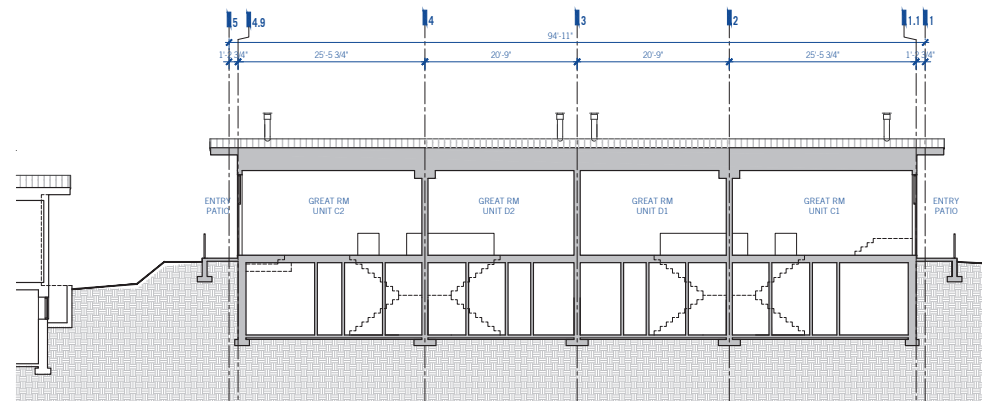
1 BUILDING SECTION - DOWNHILL FOURPLEX THRU ENTRY
A304 1/8" = 1'-0"



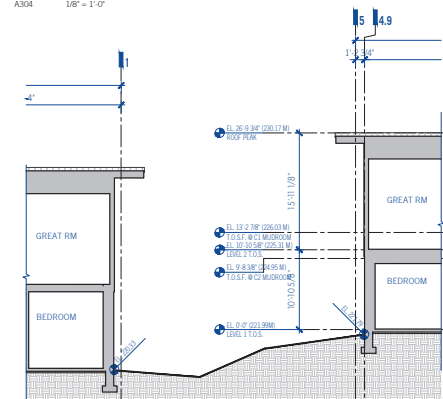
BUILDING KEY PLAN
N.T.S.



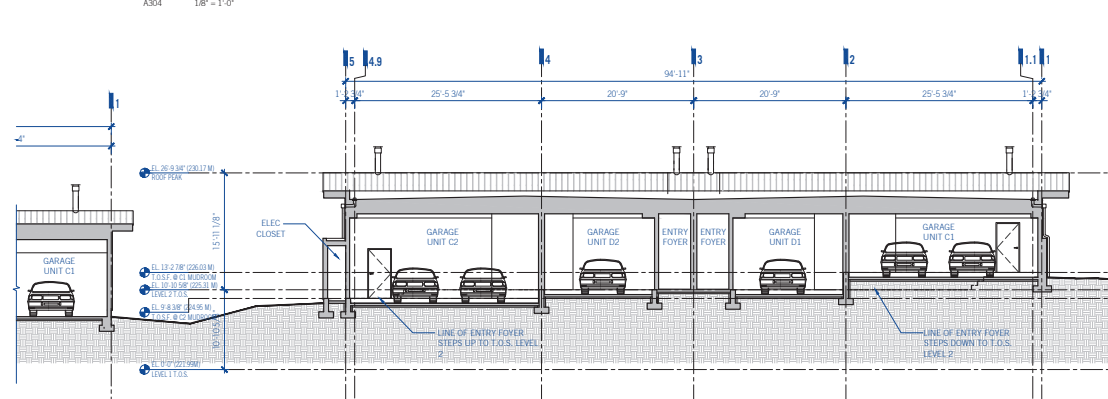
2 BUILDING SECTION - DOWNHILL FOURPLEX THRU GARAGE
A304 1/8" = 1'-0"



3 BUILDING SECTION - DOWNHILL FOURPLEX THRU SIDE ENTRY
A304 1/8" = 1'-0"



4 BUILDING SECTION - DOWNHILL FOURPLEX THRU SOUTH END
A304 1/8" = 1'-0"



5 BUILDING SECTION - DOWNHILL FOURPLEX THRU GARAGE
A304 1/8" = 1'-0"

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1888 WEST 1ST AVE
VICTORIA 2822 PRIOR STREET
102-1888 WEST 1ST AVE
VICTORIA BC V8T 1G1
T 604 603 1332 T 250 893 7517

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- 2018 06 06 ISSUED FOR DEVELOPMENT PERMIT
- 2018 04 10 ISSUED FOR DEVELOPMENT PERMIT



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A304

SECTIONS -
DOWNHILL FOURPLEX

ELEVATE AT SUNSTONE

Lot 5 Sunstone Ridges,
Pemberton BC

DRAWING LIST

L-0.0	Legends & Notes	NTS
LANDSCAPE PLANS		
L-1.0	Overall Phasing Masterplan	1:500
L-1.1	Landscape Materials West	1:125
L-1.2	Landscape Materials Central W	1:125
L-1.3	Landscape Materials Central E	1:125
L-1.4	Landscape Materials East	1:125
L-2.1	Planting Plan West Entry	1:125
L-2.2	Planting Plan Typical	1:125

OWNER

JBR CONSTRUCTION LTD.

#300-8809 Heather St.
Vancouver, BC, V6P-3T1
T+ 604-324-8308

LEGENDS CONT.

SOFTSCAPE LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
T-8		Planting (Average #2 pots 46cm spacing)	(Ld-02) L-4
T-9		Hydroseeded Groundcover (Shade Tolerant, Resilient Mix)	(Ld-03) L-5
T-10		Hydroseeded Perennial Planting (Tall Meadow Mix)	(Ld-04) L-4
T-11		Sodded Lawn	
T-12		Existing Planting & Slope	
		Illustrative Proposed Trees (Refer to L3 Plant List & Planting Plan for Species)	(Ld-01) L-4
LIGHTING LEGEND (See Electrical for Further Detail)			
GRAPHIC	DESCRIPTION		DETAIL KEY
	Street-Lights (See Electrical/Civil for further detail)		(Ld-01) L-9
	Ballard Lighting, 18" Above FFE, Typ.		(Ld-01) L-9
	Wall-Lights (Refer to Arch Sections for vertical alignment)		
	Step-Lights, 18" Above FFE, Typ.		

GENERAL NOTES

General Notes	
1.	Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.
2.	Refer to electrical drawings for all final landscape lighting layout and specifications.
3.	Refer to architectural and mechanical drawings for all drain locations and rim elevations.
Irrigation Notes	
1.	All "Soft Landscape Areas" are to be irrigated with a high efficiency design/built irrigation system to IABC Standards, complete with Rain and Wind Sensor.
2.	The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.
3.	System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to minimized evapotranspiration and wind loss.
4.	System design shall provide for uniform complete "Head to Head" coverage of all lawns and planted areas.
5.	Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.
6.	Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at contractors cost.
7.	Lawns shall be irrigated on separate zones from planted areas.
8.	Controller shall be located in mechanical room.
9.	PRIOR to Substantial Performance, contractor shall provide a maintenance data and Operation instruction manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule.
10.	Record Drawings: Submit with the operating and maintenance manuals a reproducible copy of the AS-BUILT condition of the system.
11.	Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including winterizing for the first time with the designated representative observing.
12.	All piping shall be class 200.
13.	Use CSR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, risers, etc. require threaded joints.
14.	Provide sleeves under all hard surfaces and as required through walls. If under vehicular paving, cast iron piping required.
15.	Solenoid valves shall be first quality, compatible with the controller selected.
16.	Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover; sized to suit valves and other components with adequate room for operation and maintenance.
Planting Notes	
1.	All plants / planting to be per Canadian Landscape Standard (C.L.S.).
2.	Plant selection subject to availability at the time of planting.
3.	Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered.
4.	All trees to be staked in accordance with CLS best practices.
5.	All plants to be sourced from nurseries certified free of P. ramorum.
6.	Plant sizes and related container classes are specified according to the CLS current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container calls shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the CLS.
7.	All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.
Soil Preparation and Placement Notes	
1.	All growing medium placed on project to meet or exceed BCMA and Canadian Landscape Standards latest edition.
2.	Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval.
3.	Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project, minimum 1 litre physical sample.
4.	Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.
5.	Slab drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay as shown in details.
6.	Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.
Product and Material Notes	
1.	All materials to be as specified or pre-approved equivalent.
2.	All material and products to be installed per manufacturer's specifications.

LEGENDS

HARDSCAPE LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
T-1		CIP Concrete Paving (By Civil/Arch) Pattern: Saw-cut (as shown on L-1 Ground Plan)	(Ld-01) L-5 (Ld-02) L-5
T-2		Asphalt Parking/Street Topping (By Civil/Arch)	
T-3		Aria Concrete Slab Paver Size: 60 x 30 x 6 cm Colour: Grey Pattern: 3-Piece Modular Supplier: Belgard	(Ld-04) L-5
T-4		Decorative River Rocks (In Planters at Building Faces) & Large River Rocks (at Swale Bed) Size/Colour: Various Supplier: Northwest Landscape & Stone	(Ld-05) L-5 (Ld-07) L-4
T-5		Reinforced Concrete Wall (Refer to Structural) with Stone Facing (Ht. Varies; Refer to +TW/BW on Detail Plan)	(Ld-04) L-7 (Ld-01) L-7
T-6		Large Retaining Boulders (Reclaimed/Stored During Excavation)	(Ld-04) L-7 (Ld-01) L-7
T-7		Sierra Retaining Wall System (Refer to Structural)	
		42" ht. Metal Privacy Gate	(Ld-05) L-7
		Precast Concrete Steps (At D.H. Ped Exit Path)	(Ld-07) L-5

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NO.: DATE: ITEM:

Revisions:

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Project:
ELEVATE AT SUNSTONE

**Lot A Sunstone Ridges,
Pemberton BC
2018-002**

Drawn by: JBT

Checked by: PK

Date: January 30, 2018

Scale: NTS

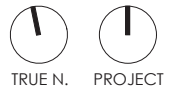
Drawing Title:

**Landscape Coversheet -
Legends & Notes**

Project No.: **18004**

Sheet No.:

L-0.0



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PLANT LIST

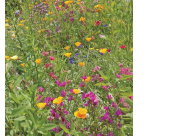
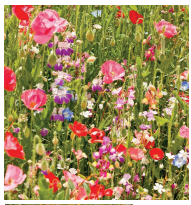
Sym	Qty	Botanical Name	Common Name	Site
Trees				
AP	15	<i>Acier palmatum</i> 'Sango Kaku'	Coral Bark Japanese Maple	2.5m B&B, Multi-stem
AR	24	<i>Acer rubrum</i> 'Autumn Blaze'	Blaze Red Maple	7cm B&B
PO	30	<i>Picea omorika</i> 'Bruns'	Serbian Spruce	3.0m B&B
PM	13	<i>Pseudotsuga menziesii</i>	Douglas Fir	3.5m B&B
STM	16	<i>Stewartia monadelphica</i>	Orange-bark Stewartia	3.0m B&B, Specimen
Dec./Evg. Shrubs				
CL	67	<i>Cornus sanguinea</i> 'Midwinter Fire'	Blood-twig Dogwood	#3 pot, 36" o.c.
CS	160	<i>Cornus alba</i> 'Bergedantima'	Silver Edge Dogwood	#3 pot, 36" o.c.
HC	96	<i>Hosta crispata</i>	Curl'd Plantain Lily	#3 pot, 24" o.c.
Hy	170	<i>Hydrangea arborescens</i> 'Annabelle'	Smooth Hydrangea	#3 pot, 48" o.c.
Ferns/Perennials				
Ad	12	<i>Asplenium</i> 'Deutschland'	False Spirea	#2 pot, 18" o.c.
MI	122	<i>Mitellaucella struthiopteris</i>	Ostrich Fern	#3 pot, 24" o.c.
Ru	570	<i>Rudbeckia</i> 'Goldstrum'	Black-Eyed Susan	#3 pot, 24" o.c.
Groundcovers/Grasses				
⊕	190	<i>Calluna vulgaris</i> 'Fretley'	Heather 'Fretley'	#1 pot 18" o.c.
CH	80	<i>Cotoneaster horizontalis</i>	Rock Cotoneaster	#3 pot, 48" o.c.
●	90	<i>Erica carnea</i> 'Springwood Pink'	Pink Winter Heath	#1 pot 18" o.c.
●	150	<i>Erica carnea</i> 'Springwood White'	White Winter Heath	#1 pot 18" o.c.
Rationale				
(A) RE-CREATE A 'MOUNTAIN LANDSCAPE' FEEL				
NATIVE PLANTS WILL BE COMBINED INTO A HYDROSEED MIX THAT WILL COVER MUCH OF THE EXCAVATED SLOPE				
THIS PLANTING PALETTE WILL BE USED TO CREATE LAYERED PLANTING AROUND STREETScape & BUILDING ENTRIES.				
(B) MEET TECHNICAL REQUIREMENTS OF A COLDER CLIMATE				
ALL PLANTS CAN WITHSTAND TEMPERATURES OF ZONES 4-5. PEMBERTON RANGES FROM 6A-7B)				
(C) MAINTAIN BIODIVERSITY FROM TOWNSCAPE UNITS.				
(D) CREATE A DYNAMIC RANGE OF INTEREST THROUGH ALL SEASONS				
(E) PROVIDE HABITAT FOR WILDLIFE				

HYDROSEED MIXES

Mix #1 | Partial Shade Xeriscape

- Aquilegia coerulea* Columbine, giant
- Aquilegia vulgaris* Columbine, dwarf
- Campanula carpatica* Tubocock Bellflower
- Chrysanthemum maximum* Shasta Daisy 'Alaska'
- Clarkia elegans* Clarkia
- Collinsia heterophylla* Chinese Houses
- Coreopsis lanceolata* Lance Leaf Coreopsis
- Cynadossium amabile* Chinese Forget Me Not
- Delphinium ajacis* Rocket Larkspur
- Diarrhiza barbatula* Sweet William Pink
- Echinacea purpurea* Purple Coneflower
- Eschscholzia californica* California Poppy
- Gypsophila elegans* Baby's Breath
- Iberis umbellata* Candyfuff
- Linaria maroccana* Spurred Snapdragon
- Nemophila menziesii* Baby Blue Eyes
- Papaver rhoeas* Corn Poppy
- Viola tricolor* Johnny Jump-Ups

At Street & Between Buildings 2,574 sq.m. (27,706 sq.ft.)



At Engineered Slopes and Snow Dumps 11,955 sq.m. (128,683 sq.ft.)



Mix #2 | Tall Wildflower Mix

- Centaurium cyaneum* Dwarf Cornflower
- Chieranthus allardii* Siberian Wallflower
- Claricia amoena* Dwarf Godetia
- Coreopsis lanceolata* Lance-Leaf Coreopsis
- Coreopsis linifolia* Dwarf Plains Coreopsis
- Cynadossium amabile* Chinese Forget-Me-Not
- Delphinium ajacis* Rocket Larkspur
- Dimorphotheca aurantiaca* African Daisy
- Eschscholzia californica* California Poppy
- Galatella aristata* Blanketflower
- Gypsophila elegans* Baby's Breath
- Iberis umbellata* Candyfuff
- Linum grandiflorum rubrum* Scarlet Flax
- Linum perenne* Blue Flax
- Labautia maritima* Sweet Alyssum
- Papaver rhoeas* Corn Poppy
- Ratibida columnifera* Prairie Coneflower
- Rudbeckia hirta* Black-Eyed Susan
- Stene omeria* Catchfly
- Verbena tenuisecta* Moss Verbena

SUPPLIER:
 West Coast Seeds.com
 T+ 1-888-8040-8822
 Or Pre-approved equivalent

Project: **ELEVATE AT SUNSTONE**

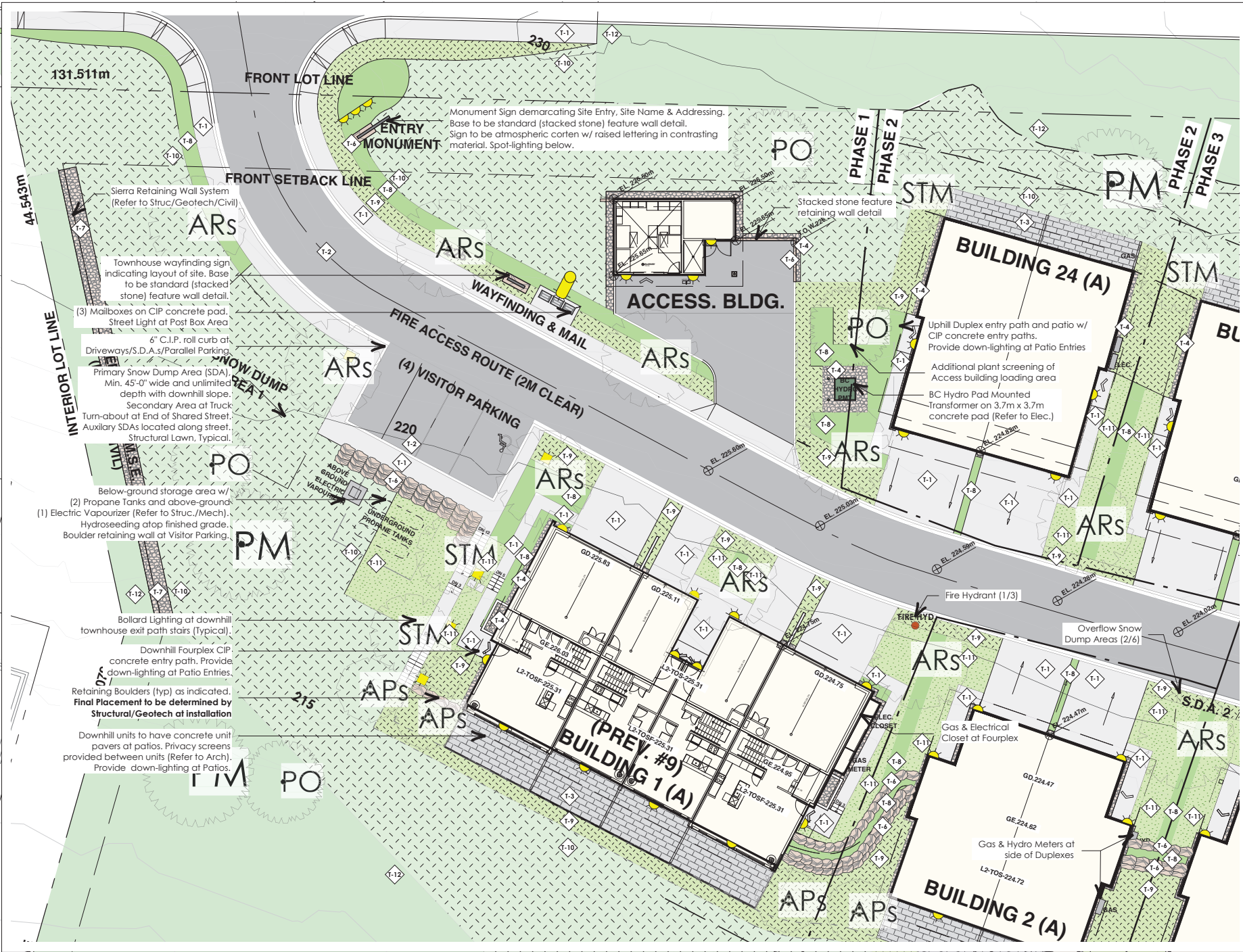
Lot A Sunstone Ridges, Pemberton BC 2018-002

Drawn by: JBT
 Checked by: PK
 Date: January 30, 2018
 Scale: 1:500

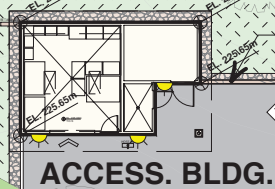
Drawing Title: **Landscape Masterplan - Overall Phasing**

Project No.: **18004**

Sheet No.:



Monument Sign demarcating Site Entry, Site Name & Addressing. Base to be standard (stacked stone) feature wall detail. Sign to be atmospheric corten w/ raised lettering in contrasting material. Spot-lighting below.



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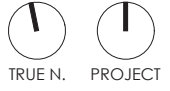


Project:
ELEVATE AT SUNSTONE
Lot A Sunstone Ridges,
Pemberton BC
2018-002

Drawn by: JBT
 Checked by: PK
 Date: January 30, 2018
 Scale: 1:125
 Drawing Title:
Landscape
Materials Plan West

Project No.: **18004**
 Sheet No.:

L-1.1



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 Lot A Sunstone Ridges,
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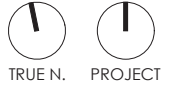
Drawn by: JBT
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 Scale: 1:125
 Drawing Title:

**Landscape
 Materials Plan Central W**

Project No.: **18004**

Sheet No.:

L-1.2



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Project:
ELEVATE AT SUNSTONE

Lot A Sunstone Ridges,
 Pemberton BC
 2018-002

Drawn by: JBT
 Checked by: PK
 Date: January 30, 2018
 Scale: 1:125
 Drawing Title:
**Landscape
 Materials Plan Central E**

Project No.: **18004**

Sheet No.: **L-1.3**



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Lot A Sunstone Ridges,
Pemberton BC
2018-002

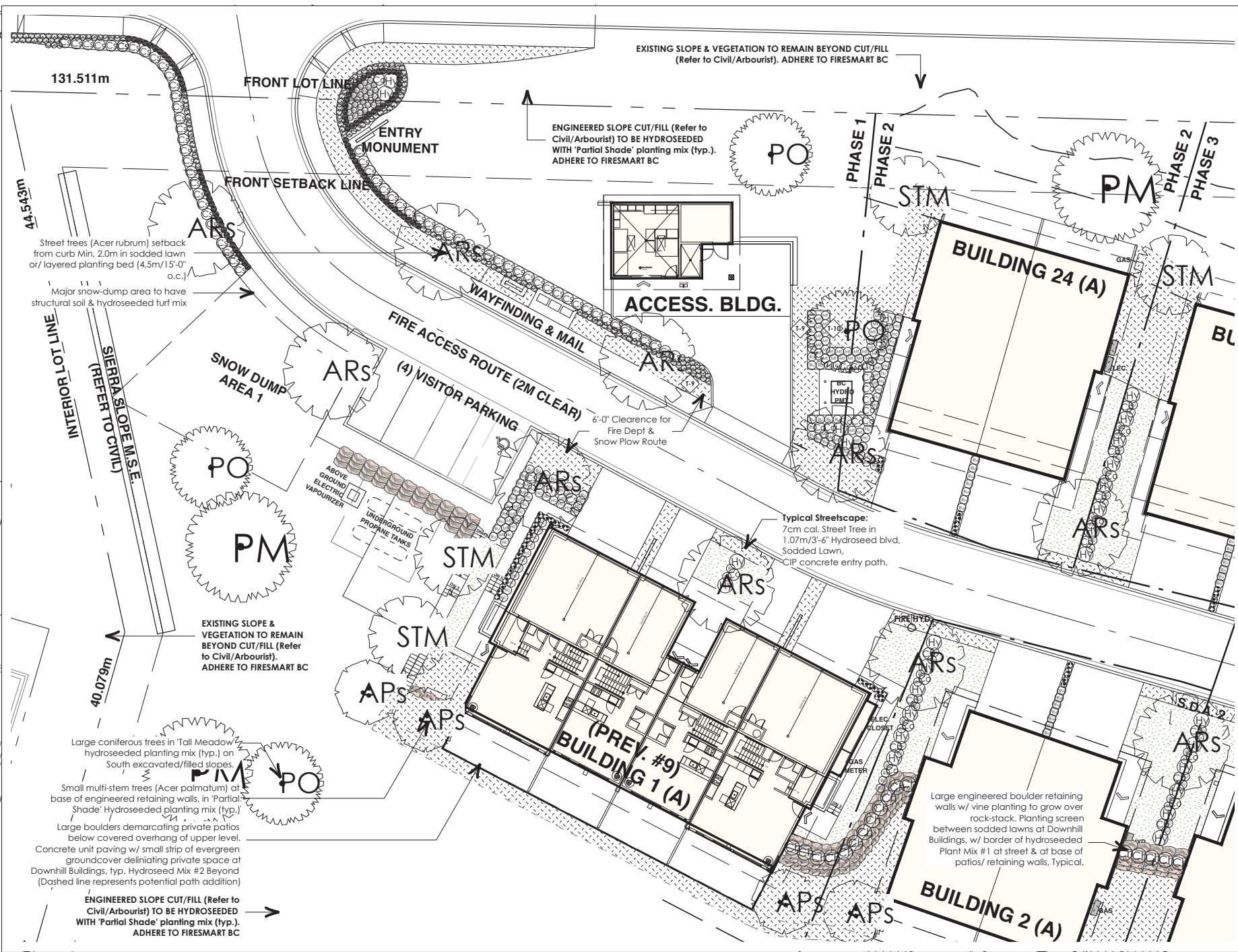
Drawn by: JBT
 Checked by: PK
 Date: January 30, 2018
 Scale: 1:125
 Drawing Title:

Landscape
Materials Plan East

Project No.: **18004**

Sheet No.:

L-1.4



131.511m

44.543m

40.079m

EXISTING SLOPE & VEGETATION TO REMAIN BEYOND CUT/FILL
(Refer to Civil/Arboustist). ADHERE TO FIRESMART BC

ENGINEERED SLOPE CUT/FILL (Refer to Civil/Arboustist) TO BE HYDROSEEDED WITH 'Partial Shade' planting mix (typ.). ADHERE TO FIRESMART BC

Street trees (Acer rubrum) setback from curb Min. 2.0m in sodded lawn or/ layered planting bed (4.5m/15'-0" o.c.)
Major snow-dump area to have structural soil & hydroseeded turf mix

INTERIOR LOT LINE
SIERRA SLOPE M.S.E. (REFER TO CIVIL)

EXISTING SLOPE & VEGETATION TO REMAIN BEYOND CUT/FILL (Refer to Civil/Arboustist). ADHERE TO FIRESMART BC

Large coniferous trees in Tall Meadow hydroseeded planting mix (typ.) on South excavated/filled slopes.

Small multi-stem trees (Acer palmatum) at base of engineered retaining walls, in 'Partial Shade' Hydroseeded planting mix (typ.)
Large boulders demarcating private patios below covered overhang of upper level. Concrete unit paving w/ small strip of evergreen groundcover delineating private space at Downhill Buildings, typ. Hydroseed Mix #2 Beyond (Dashed line represents potential path addition)

ENGINEERED SLOPE CUT/FILL (Refer to Civil/Arboustist) TO BE HYDROSEEDED WITH 'Partial Shade' planting mix (typ.). ADHERE TO FIRESMART BC



Typical Streetscape:
7cm cal. Street Tree in 1.07m/3'-6" Hydroseed bldv. Sodded Lawn, CIP concrete entry path.

Large engineered boulder retaining walls w/ vine planting to grow over rock-stack. Planting screen between sodded lawns at Downhill Buildings, w/ border of hydroseeded Plant Mix #1 at street & at base of patios/ retaining walls, Typical.



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dk Durante Kreuk Ltd.
102 - 1637 West 5th Avenue
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T: 604 684 0577
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Project:
ELEVATE AT SUNSTONE

**Lot A Sunstone Ridges,
Pemberton BC
2018-002**

Drawn by: JBT
Checked by: PK
Date: January 30, 2018
Scale: 1:125
Drawing Title:

**Landscape
Planting Plan
North-West Entry**

Project No.: **18004**

Sheet No.:

L-2.1



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Pemberton BC
2018-002**

Drawn by: JBT
Checked by: PK
Date: January 30, 2018
Scale: 1:125
Drawing Title:
**Landscape
Planting Plan Typical**

Project No.: **18004**

Sheet No.: **L-2.2**

retaining
wall over
g screen
Downhill
seeded
base of
Typical.



102 - 1637 West 5th Avenue, Vancouver BC V6J 1N5 t: 604-684-4611 f: 604-684-0577

ELEVATE AT SUNSTONE

PROJECT NUMBER: 18009

Pemberton, BC

Estimate By: JBT

DATE: 25 August 2020

BUDGET ESTIMATE - ENTIRE DP (PHASES 1-12)

SOFT LANDSCAPE					
Large Coniferous Trees	each	\$400.00	43	\$17,200.00	
Large Shade Trees	each	\$300.00	40	\$12,000.00	
Small Ornamental Trees	each	\$200.00	14	\$2,800.00	
Mixed Planting (Shrubs/Perennials; #2 pot avg.)	m2	\$15.00	2,729	\$40,935.00	
Growing Medium (450mm avg. depth)	m3	\$25.00	3,887	\$97,185.00	
Hydroseeded Planting Mix	m2	\$4.00	3,306	\$13,224.00	
Subtotal				\$183,344.00	

HARD LANDSCAPE					
Concrete Paving	m2	\$70.00	2,810	\$196,700.00	
Unit Concrete Pavers	m2	\$70.00	1,176	\$82,320.00	
Decorative River Rock	m2	\$35.00	282	\$9,870.00	
Subtotal				\$288,890.00	

SITE FURNITURE					
Entry Monument & Site Signage	allowance	\$5,000.00	1	\$5,000.00	
Sierra MSE & Boulder Stack Walls (Civil Scope)	not incl.	\$0.00	-	\$0.00	
Lighting (Electrical Scope)	not incl.	\$0.00	-	\$0.00	
Subtotal				\$5,000.00	

SUB-TOTAL				\$477,234.00	
GST (5%)				\$23,861.70	

TOTAL				\$501,095.70	
--------------	--	--	--	---------------------	--

1 This budget estimate accounts of all landscape work within the property line only
 2 This budget estimate represents our opinion of probable costs based on recent project experience.
 3 Durante Kreuk Ltd. assumes no responsibility for correlation with bid and construction prices.
 4 Cost include supply, delivery and installation of materials

UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

WWW.UWARCHITECTURE.COM



1 SITE PLAN
A011 1:500

LEGEND + GENERAL NOTES

- BUILDING FOOTPRINT @ GRADE
- LOWER FLOOR
- UPPER FLOOR
- ROOF OUTLINE ABOVE
- DECK OUTLINE ABOVE
- PARKING STALL
- PRIMARY ENTRANCE
- B#** BUILDING NUMBER
- A** ASPIRE
- E** EXPANSE
- 1** UNIT NUMBER
- (A1)** UNIT PLAN TYPE

GENERAL NOTES

- SEE LANDSCAPE DESIGN FOR ALL HARDSCAPING, FENCING, RETAINING, TREE PRESERVATION AREAS, PLANTINGS, AND SITE LIGHTING
- SEE CIVIL ENGINEERING FOR PROPOSED ROAD + DRIVEWAY DESIGN, LOT GRADING, STORM WATER MANAGEMENT, SNOW MANAGEMENT, AND UTILITIES

GROSS BUILDING AREA

BUILDING TYPE	BUILDING AREA	BUILDING AREA	# OF EACH TYPE	SUB-TOTAL	SUB-TOTAL
	EXC. GAR (sf)	INC. GAR (sf)		EXC. GAR (sf)	INC. GAR (sf)
UPHILL DUPLEX	4025.6	5245.6	12	48307.2	62947.2
DOWNHILL DUPLEX	4390.4	5403.4	11	48294.4	59437.4
DOWNHILL FOURPLEX	4865.5	7490.0	1	4865.5	7490.0
ACCESSORY BLDG	567.7	567.7		567.7	567.7
BLDG 15 ELEC ROOM	26.7	26.7		26.7	26.7
TOTAL			24	102061.5	130469.0

TOTAL PROPOSED LOT COVERAGE*

BUILDING TYPE	LOT COVERAGE	# OF EACH TYPE	SUB-TOTAL (sf)
UPHILL DUPLEX	2811.8	12	33741.6
DOWNHILL DUPLEX	2701.8	11	29719.8
DOWNHILL FOURPLEX	4836.6	1	4836.6
ACCESSORY BLDG	567.7		567.7
BLDG 15 ELEC ROOM	26.7		26.7
TOTAL		24	68892.4

PARKING CALCULATION

	2 BEDROOM	3 BEDROOM	REQUIRED	PROPOSED	VARIANCE
2 BEDROOMS	2 UNITS	1.75 SPACES PER UNIT	4 SPACES	4 SPACES	-
3 BEDROOMS	48 UNITS	2 SPACES PER UNIT	96 SPACES	192 SPACES	-
TOTAL RESIDENTIAL REQUIREMENT			100 SPACES	196 SPACES	-
VISITOR REQUIREMENT*	50 UNITS	0.25 SPACES PER UNIT	13 SPACES	4 SPACES	9 SPACES
TOTAL OVERALL REQUIREMENT			113 SPACES	200 SPACES	-
*INCLUDING ACCESSIBLE REQUIREMENT			6 SPACES FOR 111-140 UNITS	1 SPACE	5 SPACES

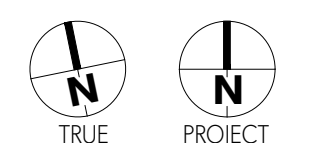
TOTAL UNIT SUMMARY

BUILDING TYPE	NUMBER OF EACH	
	2 BEDROOM	3 BEDROOM
UPHILL DUPLEXES	12	24
DOWNHILL DUPLEXES	11	22
DOWNHILL FOURPLEXES	1	2
SUB-TOTAL	2	48
TOTAL PROPOSED UNITS	=	50

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2020 10 02 ISSUED FOR REVIEW
2020 08 26 REISSUED FOR DP

NO.



'ELEVATE AT SUNSTONE'
TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A011

SITE PLAN + PROJECT DATA
+ FIRE DEPT. ACCESS

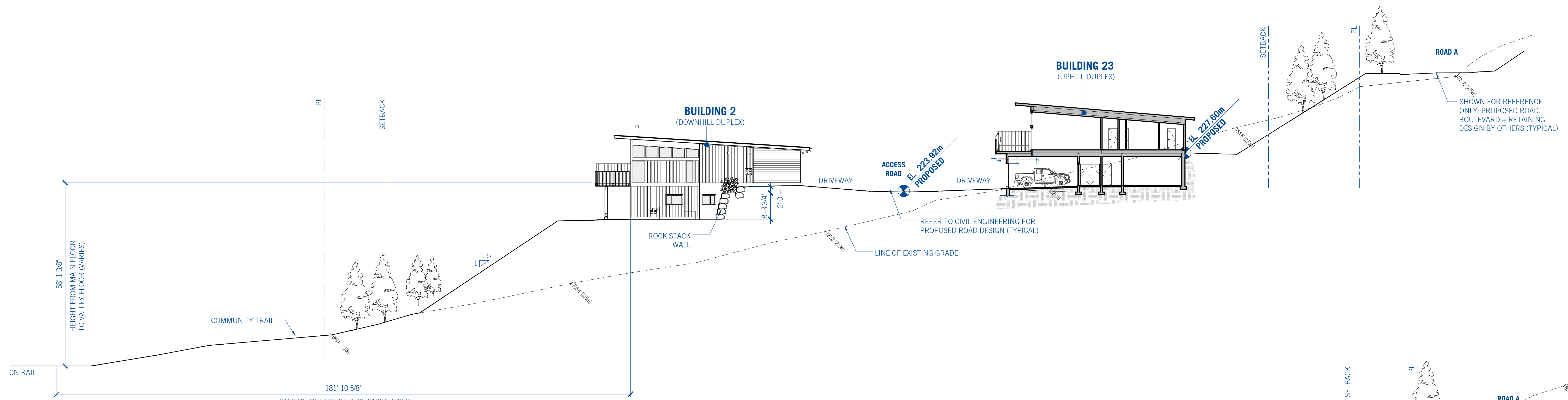
UWA

URBAN WEST ARCHITECTURE

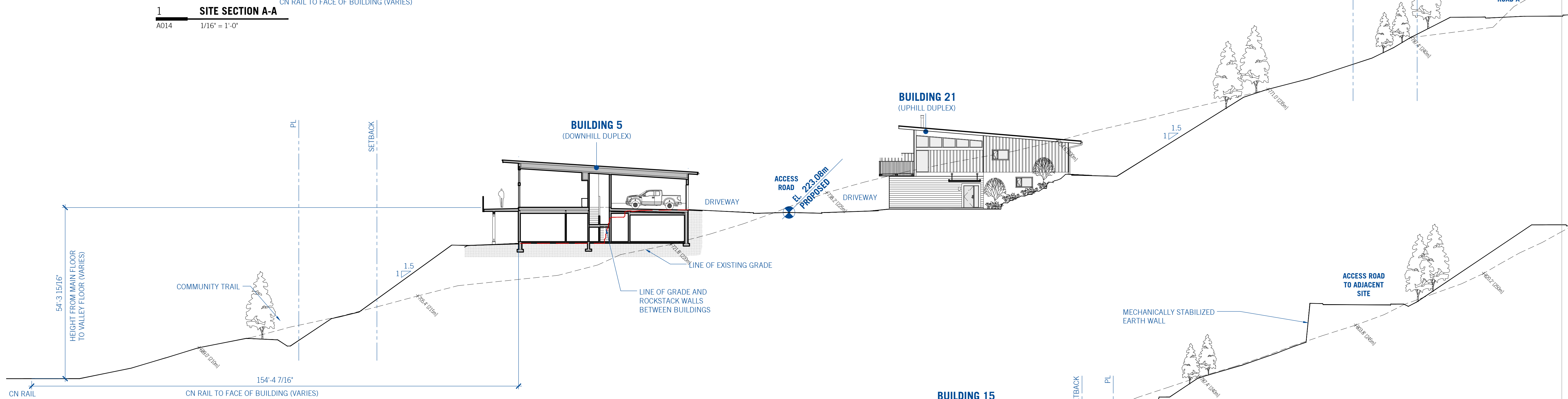
VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

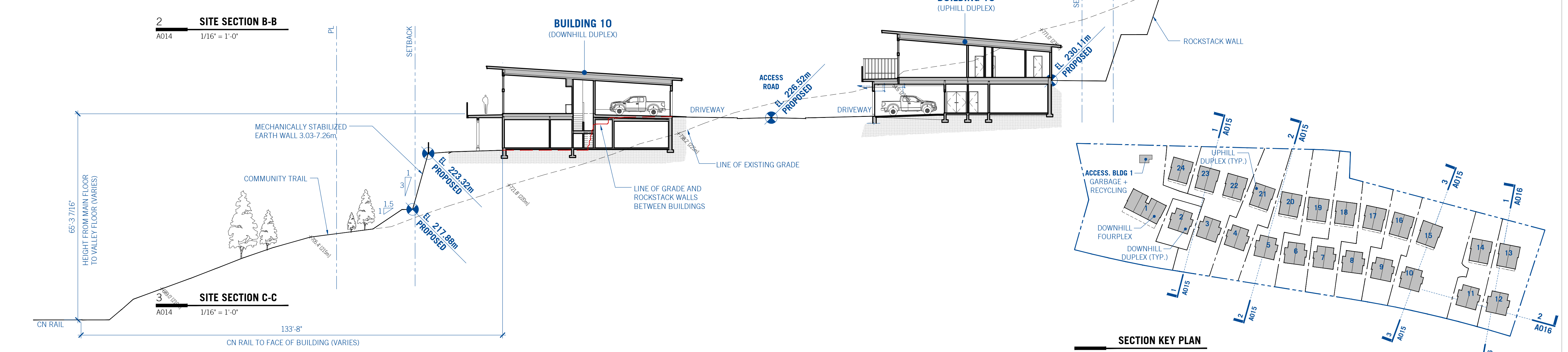
WWW.UWARCHITECTURE.COM



1 SITE SECTION A-A
A014 1/16" = 1'-0"



2 SITE SECTION B-B
A014 1/16" = 1'-0"

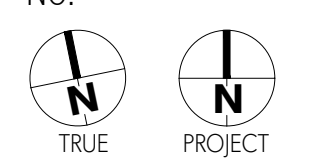


3 SITE SECTION C-C
A014 1/16" = 1'-0"



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2018-002

A015

SITE CROSS SECTIONS

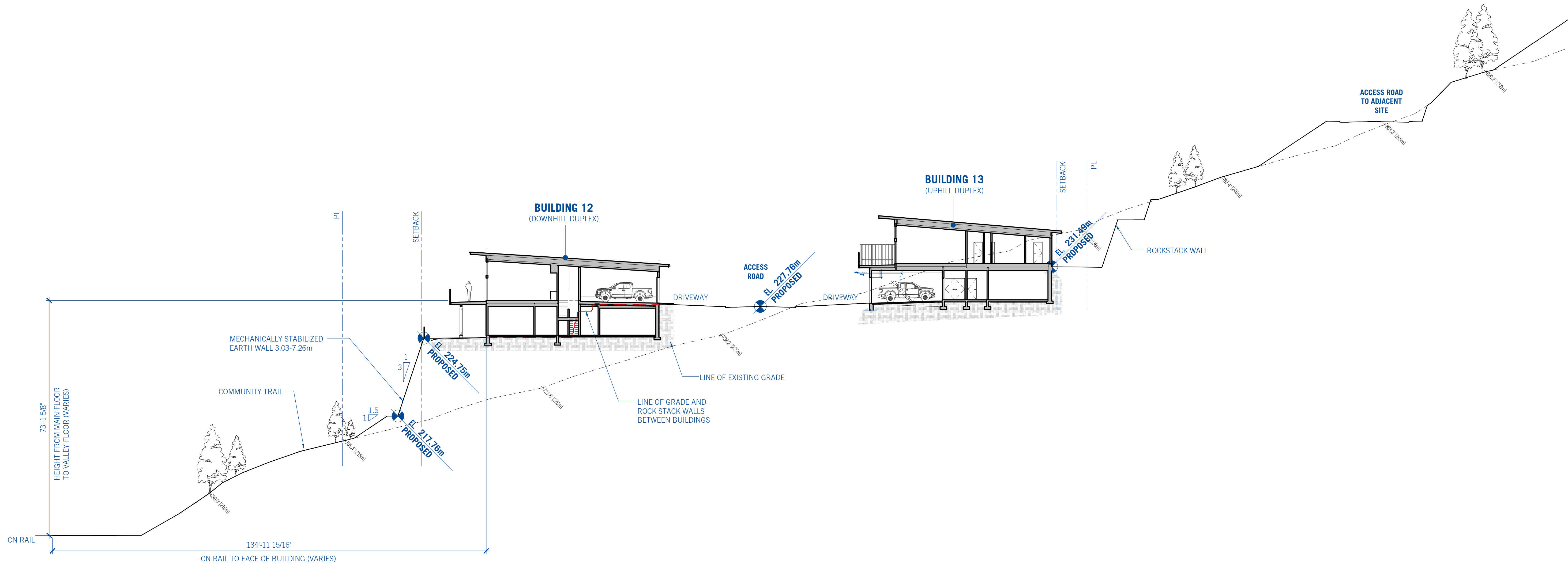
UWA

URBAN WEST ARCHITECTURE

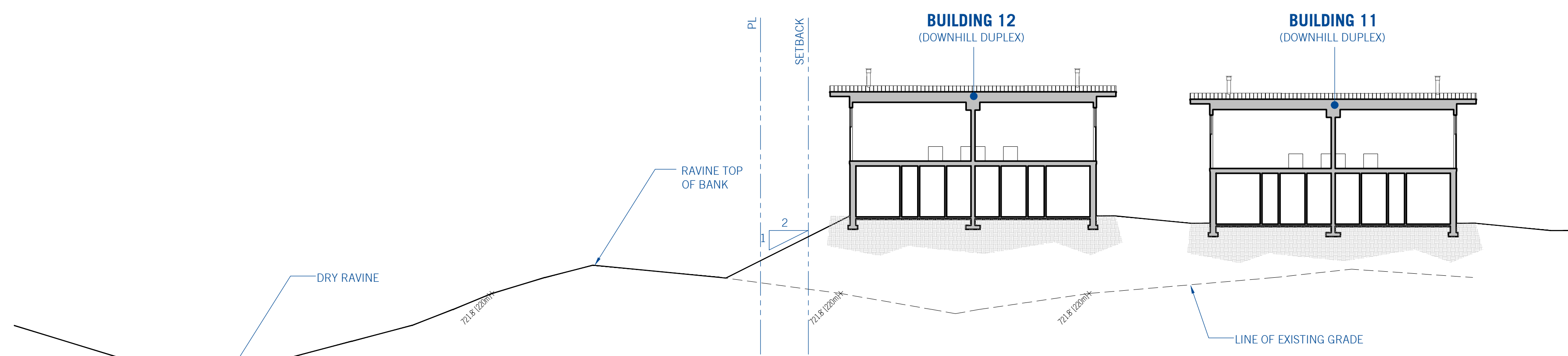
VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR STREET
VICTORIA BC V8T 3Y3
T 250 893 7517

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1 SITE SECTION D-D
A016 1/16" = 1'-0"



2 SITE SECTION E-E
A016 1/16" = 1'-0"



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2020 10 02 ISSUED FOR REVIEW
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NO.

TRUE PROJECT

'ELEVATE AT SUNSTONE' TOWNHOUSES
LOT A, SUNSTONE RIDGE, PEMBERTON BC
2018-002

A016

SITE CROSS SECTIONS