



28 September 2017

Village of Pemberton
Box 100 – 7400 Prospect Street
Pemberton, BC V0N 2L0

Attention: Tim Harris, Manager of Operations & Development Services

Subject: BC Hydro's Project at 1363 Aster Street, Development Permit Application

Dear Mr. Harris:

Please find attached BC Hydro's Development Permit Application in respect for our property located at 1363 Aster Street. We are committed to supporting the long term needs of the community and value our continued relationship. As such, we have put our best foot forward.

We confirm BC Hydro's application is made without prejudice to any powers, rights and immunities BC Hydro may have under the Hydro and Power Authority Act (RSBC 1996) Chapter 212, or otherwise. BC Hydro also advises that based on these powers, rights and immunities this application should not be construed as an ongoing agreement by BC Hydro to apply for similar permits or any other regulatory permits of the Village of Pemberton with respect to the subject project/ development or any other projects/developments of BC Hydro.

We look forward to working with you and the community, shoulder to shoulder, towards receiving your final approval of our application.

Respectfully Yours,

A handwritten signature in black ink, appearing to read "S. Rodrigues", written over a faint circular stamp.

Sean F. Rodrigues Architect AIBC MRAIC
Project Manager

604-699-9004
sean.rodriques@bchydro.com

Encl. Development Permit Application



BC Hydro Pemberton Field Building Design Rationale

For almost 60 years, BC Hydro has been a proud member of the Pemberton community as an employer, a customer, a service provider, a neighbor and a financial contributor. We look forward to continuing a strong and collaborative relationship with the community on this project and those that follow.

Project Drivers

BC Hydro has a commitment to deliver reliable, clean and affordable power to all of our customers. We take this mandate seriously and endeavour to instill these principals in all facets of our business so that we can offer the best possible value to our customers, the rate payers. Our existing facility was first built in the early 1960's and no longer meets the operational needs of the business. Key issues driving this redevelopment include:

- insufficient indoor and outdoor space;
- poor condition of the buildings including limited structural capacity and building code issues;
- workplace safety concerns; and
- operational challenges that impede timely service to customers

Site Selection Process

The Pemberton field building works in concert with our Whistler, Squamish and Lillooet facilities to support a regional response to operational requirements for a population of approximately 38,000 in the Sea to Sky corridor, Bridge River Valley and Lillooet. Part of this strategy requires BC Hydro to have a presence north of "suicide hill" and south of Mt. Currie so that we can maintain coordinated service through all seasons. While this operational strategy has not changed over the half century, the equipment and technology of power distribution have changed as the needs of the communities we serve along the corridor have also evolved. For example, our trucks are larger, equipment is bigger and our operational requirements and safety standards are more robust.

In addition, our new standards also require our field buildings to remain operational after natural disaster strikes so that we can respond to crises in a timely fashion. Our post-disaster response plan requires that, where possible, our field buildings to be out of the flood plain, out of areas with soils susceptible to liquefaction and away from fractured, talus rock slopes.

Further, in the interest of maintaining high value and affordability for all rate payers, BC Hydro has a defined project budget. This requires a holistic view of all project costs to be measured against risk-value registers. Following a comprehensive analysis of over fifty potential sites, BC Hydro determined that the existing site best satisfied all of the requirements listed above.

Building Design Rationale

The proposed redevelopment of the Field office is a combined 2-storey 914 square meter administration building with a warehouse, three truck bays, and a covered storage shed. The facility is situated in the central core of Pemberton surrounded by light commercial and residential use lands. The site is currently zoned for C-1 Town Center Commercial. Based on the site location and zoning, a Development Permit and Rezoning application is required for redevelopment. The rezoning application seeks to rezone the property to the appropriate M-1 Industrial zone.

The proposed development is sensitive to the surrounding sites and guided by both the functional requirements for a field office as well as spatial and aesthetic requirements of the Pemberton Official Community Plan (OCP) and Downtown Enhancement Strategy. A review of the applicable Village of Pemberton guidelines indicates a desire for developments to showcase Pemberton's heritage, culture and artistic character through use of public artwork display, welcoming signage, consistent storefront design, four-season greening; and to showcase Pemberton's natural assets through creation of views, consideration of solar exposure (summer and winter), respect of existing vegetation and trees, and to complement existing topographic conditions. This project site is bounded on the north-west corner by an existing rocky outcrop and mature stand of trees, the intent is to maintain that natural condition and to nestle the building into the north edge of the site and retain as many existing trees as possible. The public face of the site along Aster St. will be addressed with a decorative fence, bookended with two architectural, board-formed concrete walls. One wall will have the ability to host public art at the prominent corner of Aster Street and Dogwood Drive, and the other wall will support identifying signage. A PMT located at the south-east corner of the site could be clad with decorative film as a further public art opportunity.

With regards to building form, the Pemberton OCP indicates a desire to maintain the consistency of the small-town character with simple, functional building forms with no intent for a specific architectural style or theme. Further, the OCP directs to avoid blank walls and to reduce the mass and scale of buildings with variations to the form, colour, texture and other façade detailing, and to diminish the impact of roof mounted equipment. This also reduces the appearance of garage doors from public streets. The materials indicated in the OCP call for durable exterior materials, avoiding vinyl, synthetics, and large areas of stucco or tile. Colours should reflect nature's spectrum (earth, foliage, grass, sky and woods).

In response to the Pemberton OCP, the new BC Hydro building will be a simple form with a monopitch roof that slopes away from the public streets with no rooftop units. It was identified that the south east corner of the building is the most prominent and forms the main entrance to the building. The roof extends beyond the building to create a warm wood-type soffit which wraps the north and east walls and returns to grade on the north side. This frames a metal panel clad façade that is grounded with a base of split face masonry. The metal panel colours of sky and green tones are set in a field colour of dark grey. The coloured panels are oriented horizontally to articulate the façade and the colours focus in density towards the south east

corner to highlight the building entrance. The overhead doors on the south façade are expressed with two rows of glazing and the solid panels are coloured similarly to the surrounding façade. Likewise, exterior doors are also coloured to match the siding in order to downplay their prominence in the building elevation.

The new Field Building is designed to the current building code standards for most components but will exceed the current building code to seismically meet the much higher standards for Post-Disaster, dictated in the next building code. From an energy perspective, the building will be designed to meet an energy intensity of 100kWh/m²/year and shadow LEED™ certification, which also exceeds the current building code requirements. What this means is that the building will make use of LED lighting, low-flow plumbing fixtures, higher levels of building insulation and durable buildings that require less maintenance and replacement over the long term. Finishes and furniture will have high recycled content and low amounts of volatile organic compounds.

At the Dogwood Drive and Aster Street intersection the BC Hydro design includes a prominent, architecturally finished wall that can be used for housing public art on either a permanent or changing basis, a new concrete sidewalk with wheelchair let-down along Aster Street and improved lighting levels.

The majority of all site storage has been tucked away in the northwest corner of the site, screened by the tall trees and hillside as much as possible. To stabilize the slope from a post-disaster perspective, a short retaining wall is planned here. The few small caliper trees that are removed will be donated to the local community and replaced at a 2:1 ratio. Because the building is likewise nestled back into the treed hillside, it can only be viewed primarily from the south and east. From Dogwood Drive and the neighboring church to the north, it is fully screened by the retained dense tree canopy.

BC Hydro is also following a Crime Prevention Through Environmental Design (CPTED) principle which is defined as a multi-disciplinary approach to deterring criminal behaviour through environmental design.

Community Benefits

- A fresh, new post-disaster building and graded yard
- Ability to house new, larger trucks that cannot otherwise be located in Pemberton (ie. maintain response time)
- Enhanced landscape design and architectural fencing along Aster Street
- Improved street and area lighting
- Dedicated wall for the display of public art
- Pathway along east side of property
- Tree replacement (2:1 ratio)

Flood Control Level

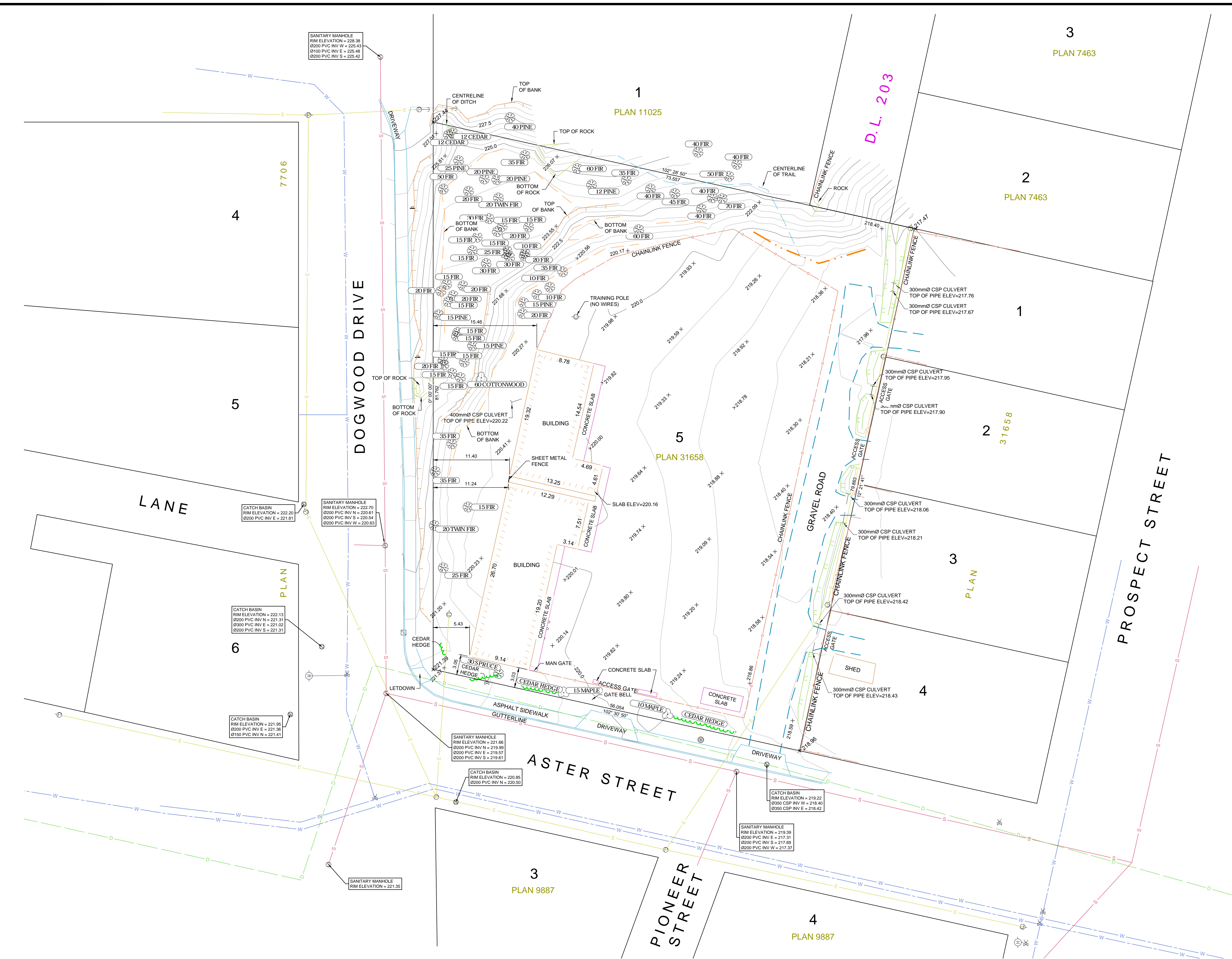
In accordance with the OCP and rezoning guidelines, and attached to this application, BC Hydro has conducted a Flood Control Level assessment. This analysis has identified the site to be in the alluvial fan of Pemberton Creek. Meeting the requirements of the 1:500 year flood, the building must be raised to a geodetic elevation of 220.6 meters; an elevation approximately 1m above the Aster Street vehicle entrance. This further supports the desire to place the building at the rear of the site so that there is a low

Storm Water Management

As part of BC Hydro's design, all storm water will be collected and managed on site utilizing a slow percolation cistern in combination with an oil-water separator that recharges the ground water. By significantly reducing the amount of water being discharged into Village's storm system (and delaying the discharge of what little remains to off peak times), BC Hydro is reducing its environmental footprint and its load on the Village's infrastructure.

Traffic Impact

In accordance with the rezoning guidelines and attached to this application, BC Hydro has conducted a Traffic Impact Study. Typical of many of our smaller field buildings, the Pemberton field building has a fulltime crew of 4 people which can increase by 1-3 staff throughout the week. Further, we have changed our operations and have eliminated the delivery of the very large, 100 foot poles to this site. The much shorter 40 and 50 foot poles will continue to be delivered in standard sized trucks; however, we have changed the way in which we operate to have just in time delivery and less on-site storage other than emergency spares. As a result, we will have only 7 parking stalls on the site, deliveries will be made into one of three truck bays and there is no significant impact to existing traffic patterns in the community because all truck manoeuvring can be accommodated off the street and within the site.



LEGEND

○	BOLLARD
⊠	CATCH BASIN (TOP INLET)
— —	CULVERT
⊕	FIRE HYDRANT
— —	GUY WIRE
⊙	CATCH BASIN ROUND
⊙	MANHOLE - SANITARY
— —	OVERHEAD LINES
— —	SANITARY PIPES - UNDERGROUND
— —	WATER PIPES - UNDERGROUND
— —	STORM PIPES - UNDERGROUND
4	SIGN POST
⊕	POLE - HYDRO
⊕	POLE - HYDRO/TELEPHONE POLE
⊙	TREE - CONIFEROUS Ø(cm)
⊙	TREE - DECIDUOUS Ø(cm)
⊕	DRILLED WELL
— —	TOP OF DITCH
— —	BREAKLINE

- NOTES:**
- LOCAL GROUND COORDINATES ARE DERIVED FROM DUAL FREQUENCY GPS DIFFERENTIAL CARRIER PHASE OBSERVATIONS TO BRITISH COLUMBIA ACTIVE CONTROL STATION WSLR (WHISTLER). TO CONVERT TO UTM ZONE 10 (NAD83 CSRS):
FIRST APPLY THE FOLLOWING SHIFT:
NORTHING: 5,500,000
EASTING: 500,000
THEN MULTIPLY BY THE COMBINED SCALE FACTOR OF: 0.99956976
 - ELEVATIONS ARE IN METRES AND ARE REFERRED TO GEODETIC DATUM CVD28.
 - THIS PLAN SHOWS GROUND MEASURED DISTANCES. TO COMPUTE GRID LEVEL DISTANCES, MULTIPLY GROUND DISTANCES BY A COMBINED FACTOR OF 0.999569764
 - TREE DIAMETER SHOWN ARE IN CENTIMETRES.
 - THIS PLAN REPRESENTS FIELD SURVEY CONDUCTED ON SEPTEMBER 15-16TH & 19TH, 2016.
 - CONTOUR INTERVAL IS 0.5m.
 - BUILDING MEASUREMENTS SHOWN FROM SIDING.
 - PARCEL DIMENSIONS ARE DERIVED FROM PLAN KAP31658. PROPERTY BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY. THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES AND PROPERTY CORNERS.
 - UNDERLYING UTILITIES & SERVICES ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD. MCELHANNAY ASSUMES NO RESPONSIBILITY TO ITS ACCURACY. SPOT ELEVATIONS SHOWN ARE SURFACE ELEVATIONS AND DO NOT REPRESENT THE DEPTH OF THE LOCATED UTILITIES.
 - STORM AND WATER UTILITY LINEWORK ARE APPROXIMATE AND REFERENCED TO DRAWINGS: "SKMBT_C284e16102612350.pdf" AND "SKMBT_C284e16102612360.pdf" RECEIVED FROM CLIENT

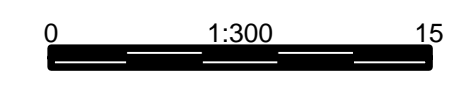
Rev	Date	Description	Surv	Drawn	App'd
3	2016-10-31	REVISED CIVIC ADDRESS	-	KM	BB
2	2016-10-26	ADDITIONAL UTILITIES	LS	KM	BB
1	2016-10-13	RESOLVED BOUNDARIES	LS	CG	BB
0	2016-09-27	INITIAL SUBMISSION	BCR	CG	BB

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ORIGINAL DWG SIZE: ANSI D (22" x 34")
ALL DIMENSIONS ARE IN METRES



McElhanney
McElhanney Associates Land Surveying Ltd.

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Tel 604 932 5426

Approved Sealed

MMM GROUP LIMITED
1045 HOWE STREET, SUITE 700, VANCOUVER, BC V6Z 2A9

**TOPOGRAPHIC SURVEY PLAN OF LOT 5
D.L. 203 LILLOOET DISTRICT PLAN 31658
BC HYDRO PEMBERTON FIELD OFFICE**
CIVIC ADDRESS: 1363 ASTER STREET / PID: 003-621-791
PEMBERTON, BC

Drawing No. **V-01**

Project Number **2113-03098-00**

Rev. **3**



BC HYDRO PEMBERTON OPERATIONS FACILITY

1363 ASTER ST, PEMBERTON, BC, CANADA

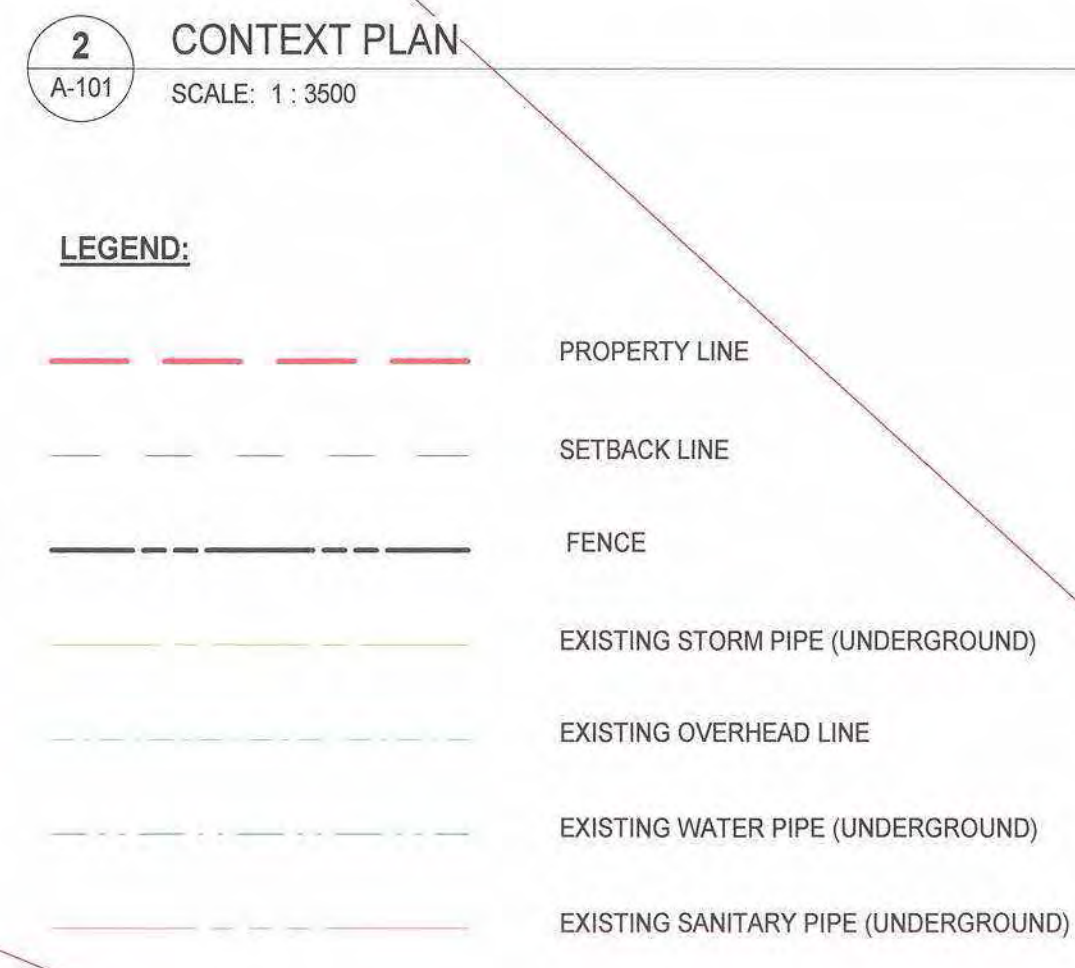
ISSUED FOR DEVELOPMENT PERMIT
2017-09-29



ARCHITECTURAL DRAWING LIST	
NUMBER	SHEET NAME
A-000	COVER PAGE
A-101	EXISTING SITE PLAN AND CONTEXT
A-105	SITE PLAN - DEVELOPMENT PERMIT
A-111	LEVEL 1 PLAN
A-112	LEVEL 2 PLAN
A-201	EXTERIOR ELEVATIONS
A-801	EXTERIOR VIEWS



PROJECT NO.	180283	PLOT DATE	2017-09-29
DRAWING NO.	A-000		



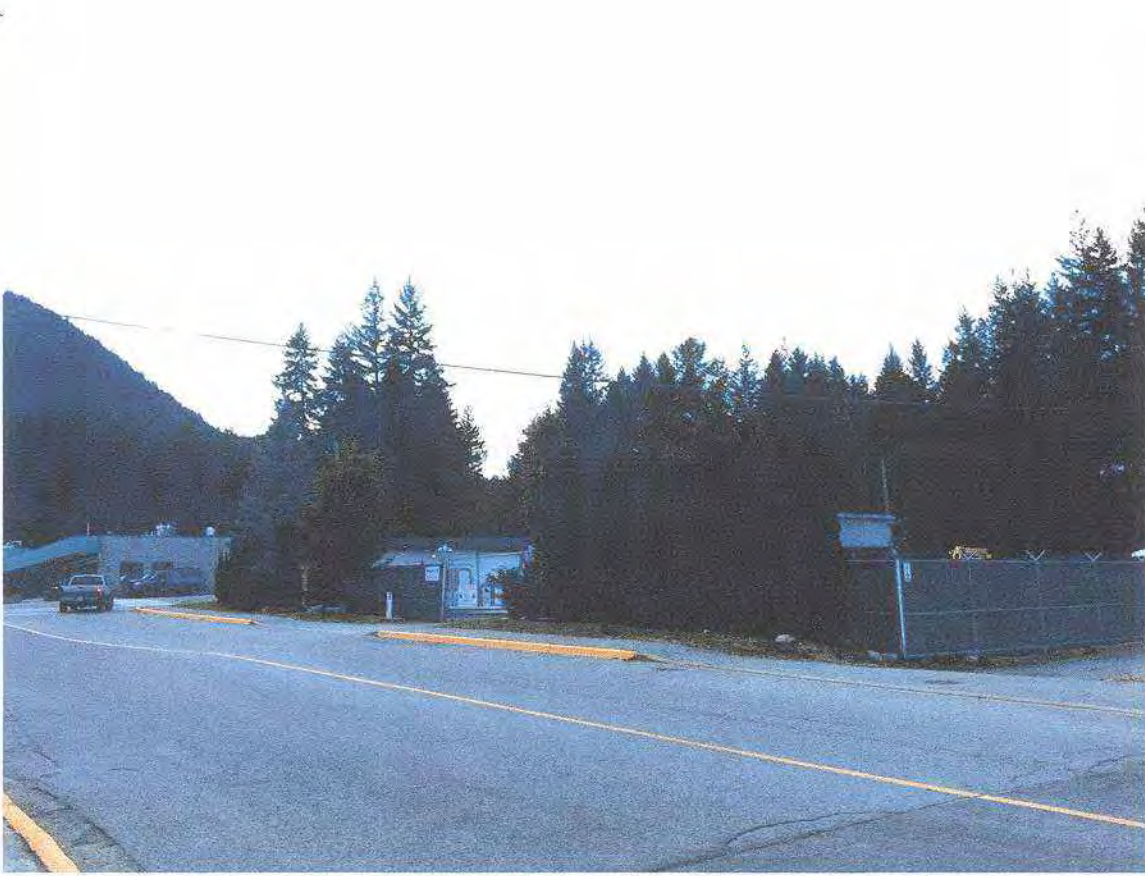
1 EXISTING SITE PLAN
A-101 SCALE: 1 : 250



01. VIEW OF EXISTING PROPERTY FROM NORTH SLOPE



02. VIEW OF EXISTING PROPERTY FROM SOUTH WEST CORNER



03. VIEW OF EXISTING PROPERTY FROM SOUTH EAST CORNER



04. VIEW OF EXISTING EAST FENCELINE



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D	2017-09-29	ISSUED FOR DEVELOPMENT PERMIT	
C	2017-06-14	50% DESIGN DEVELOPMENT	
B	2017-03-27	100% SCHEMATIC DESIGN	
A	2016-11-07	50% SCHEMATIC DESIGN	
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PROJECT
PEMBERTON BC HYDRO FIELD OFFICE

1363 ASTER ST, PEMBERTON, BC, CANADA

DRAWING TITLE
EXISTING SITE PLAN AND CONTEXT

DRAWING ISSUE
ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	HS
180283	2017-09-29	REVIEWED	MG
DRAWING NO.	SCALE	As indicated	

A-101

D



PROJECT DATA

ZONING: C-1 Town Center Commercial

LOT SIZE: 5,174 S.M.

SETBACKS:

- 0m from front parcel line
- 0m from interior side parcel line
- 0m from exterior side parcel line
- 4.5m from rear parcel line for principal building
- 3.5m from rear parcel line for accessory structure

BUILDING HEIGHT:

- Maximum Height of Principal Building: 10.5 m
- Maximum Height of Accessory Structures: 4.5 m
- Proposed Building Height: 9.5 m

BUILDING FLOOR AREAS:

- Level 1 717 sm
- Level 2 197 sm
- Total Main Building 914 sm

- Proposed Floor Area Ratio: 17.7%
- Maximum Density/ FAR: 200%

SITE COVERAGE:

- Proposed Main Building (including canopies and overhang) 905 sm
- Proposed Transformer Storage 22 sm
- Proposed Staging Storage 46 sm
- Total Building Area (Coverage): 973 sm

Proposed Coverage:

- Maximum Lot Coverage: 19%
- 75%

PARKING PROVISION:

- Workspace/office gross floor area 152 sm
- Required stalls (1 stall per 28 sm of gross area) 6
- Provided stalls: 7
- H/C PARKING: 1 required and provided

LOADING PROVISION:

- Required Loading 2
- (Industrial: 2 for 500 m2 to 2,500 sm of gross floor area)
- Provided Loading Bays (truck bays) 3



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PROJECT
PEMBERTON BC HYDRO FIELD OFFICE
 1363 ASTER ST, PEMBERTON, BC, CANADA

DRAWING TITLE
SITE PLAN - DEVELOPMENT PERMIT

DRAWING ISSUE
ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	180283	PLOT DATE	2017-09-29	DRAWN	Author
SCALE	1 : 200	REVIEWED		CHECKER	
DRAWING NO.	A-105	REVISION			A

1 SITE PLAN
 A-105 SCALE: 1 : 200

C	2017-09-29	ISSUED FOR DEVELOPMENT PERMIT	
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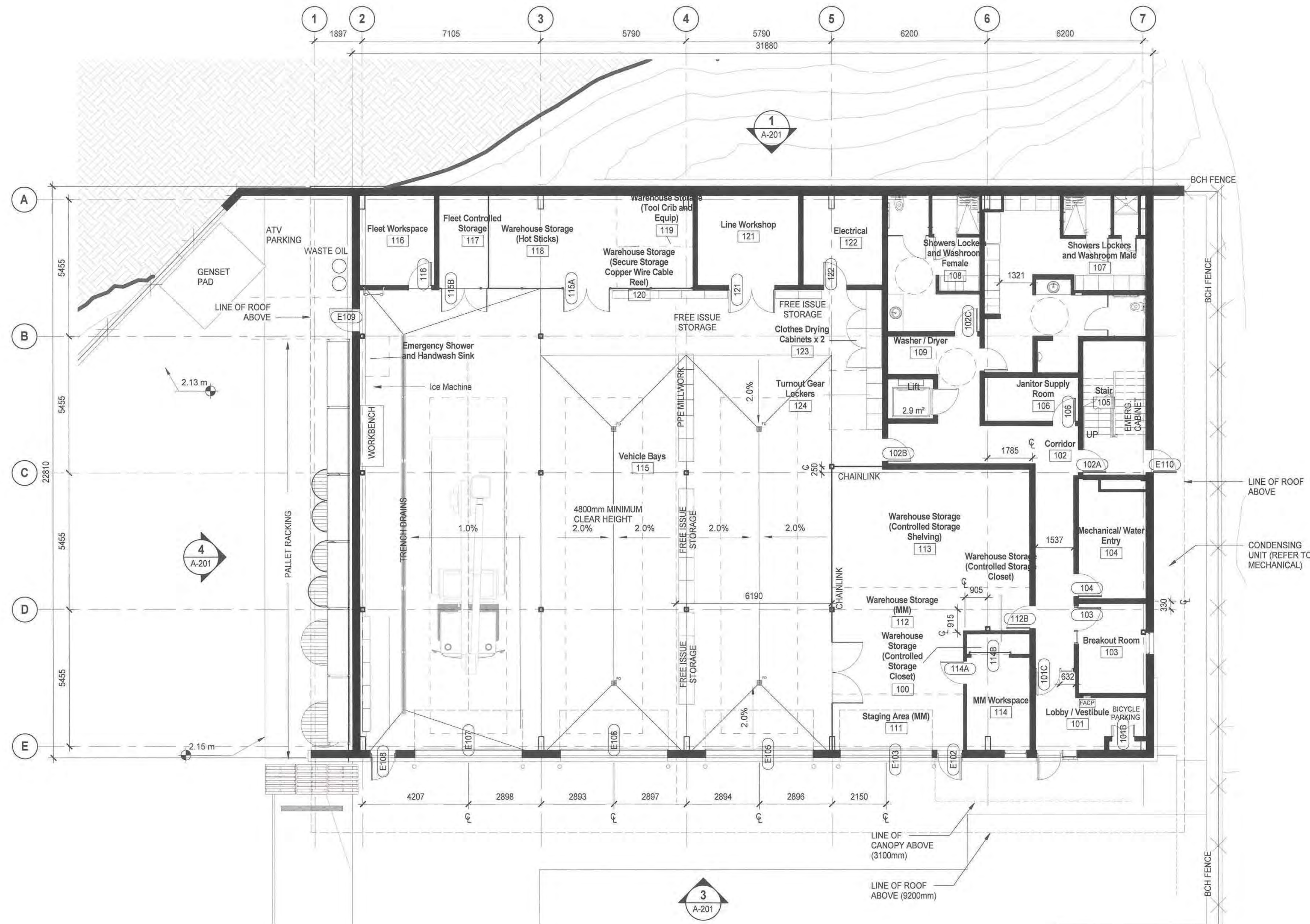
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PEMBERTON BC HYDRO FIELD OFFICE
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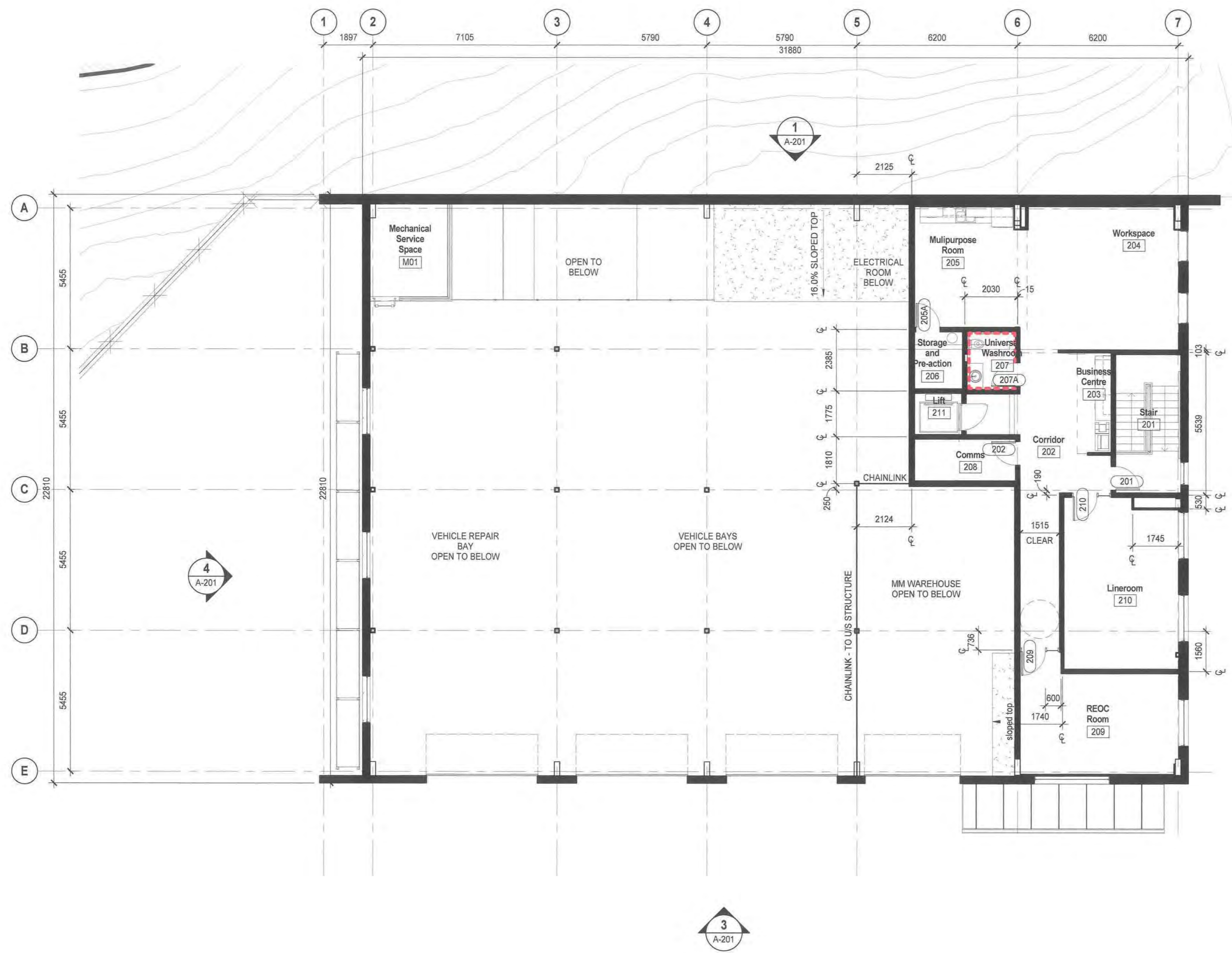
DRAWING TITLE
LEVEL 1 PLAN

DRAWING ISSUE
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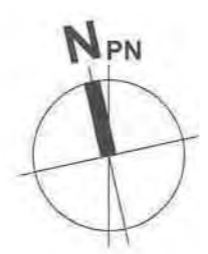
PROJECT NO.	180283	PLOT DATE	2017-09-29	DRAWN	MG	
		SCALE	1 : 100	REVIEWED	MG	
DRAWING NO.	A-111				REVISION	C



1 LEVEL 1 FLOOR PLAN
A-111 SCALE: 1 : 100



1 LEVEL 2 FLOOR PLAN
A-112 SCALE: 1 : 100



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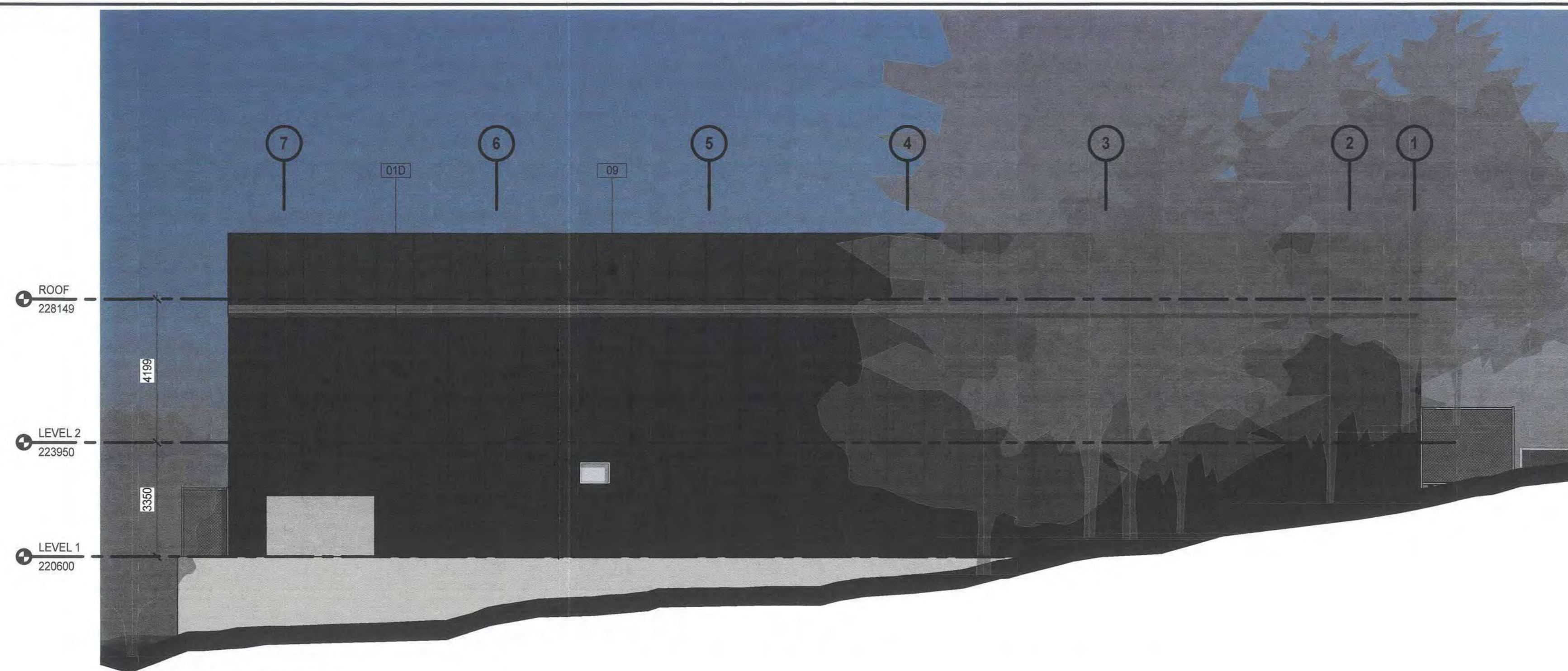
PROJECT
PEMBERTON BC HYDRO FIELD OFFICE
1363 ASTER ST, PEMBERTON, BC, CANADA

DRAWING TITLE
LEVEL 2 PLAN

DRAWING ISSUE
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PROJECT NO.	PLOT DATE	DRAWN	MG
180283	2017-09-29		
SCALE	1 : 100	REVIEWED	MG

DRAWING NO.	REVISION
A-112	B



1 NORTH ELEVATION
A-201 SCALE: 1:100

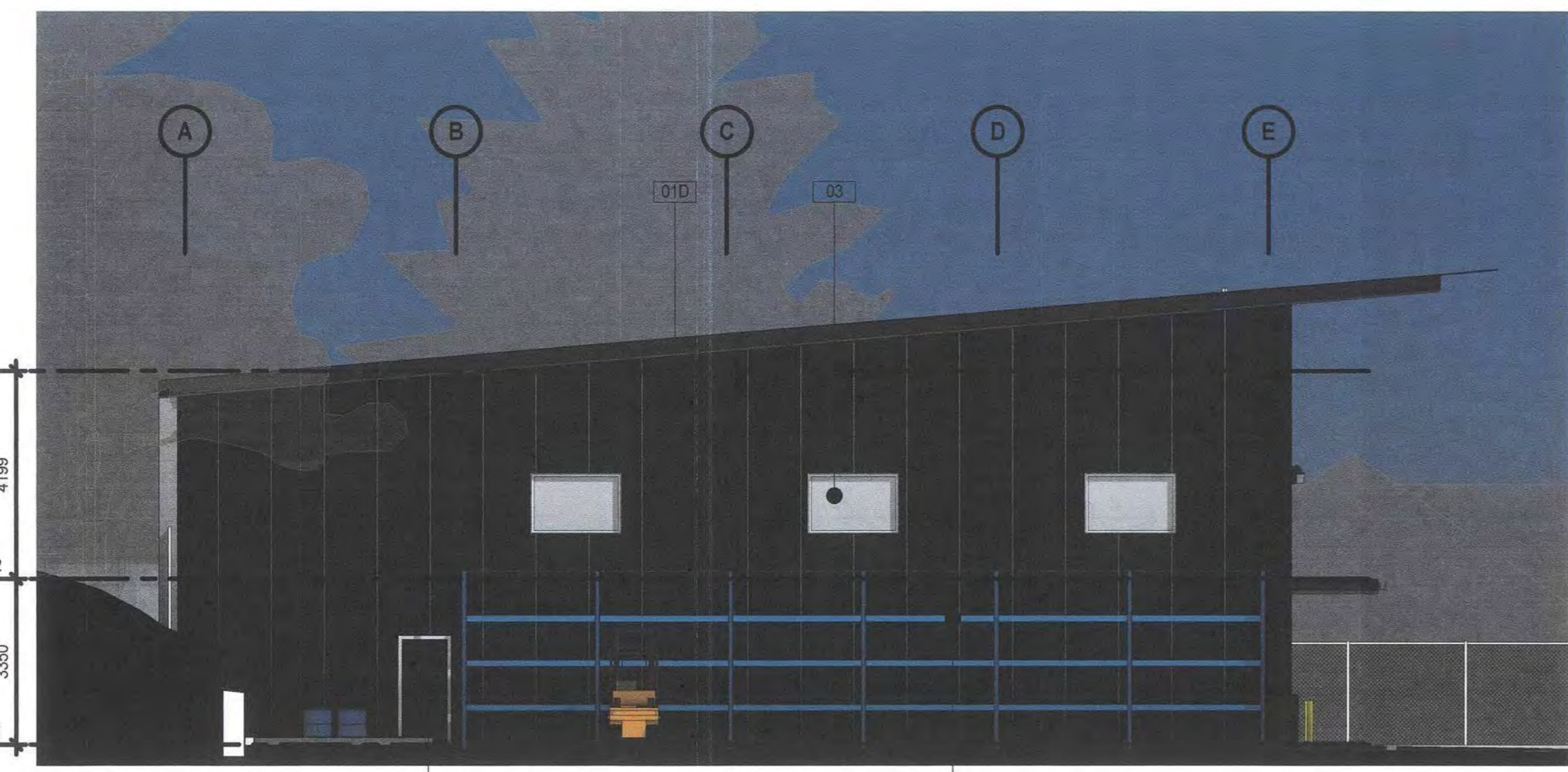
EXTERIOR FINISH MATERIAL LEGEND	
TAG	DESCRIPTION
01A	PRE-FINISHED INSULATED METAL PANEL SYSTEM (HORIZONTAL) - FIELD COLOUR - GRANITE
01B	PRE-FINISHED INSULATED METAL PANEL SYSTEM (HORIZONTAL) - ACCENT COLOUR - SPRUCE
01C	PRE-FINISHED INSULATED METAL PANEL SYSTEM (HORIZONTAL) - ACCENT COLOUR - HEMLOCK
01D	PRE-FINISHED INSULATED METAL PANEL SYSTEM (VERTICAL) - FIELD COLOUR - GRANITE
02	SPLIT-FACE CONCRETE MASONRY UNIT
03	WINDOW UNIT
04	OVERHEAD DOOR C/W 2 ROWS GLAZING. COLOUR TO MATCH FIELD COLOUR
05	4' STEEL BOLLARD
06	METAL SOFFIT WITH WOOD FINISH
07	PAINTED HOLLOW METAL DOOR IN PAINTED PRESSED STEEL FRAME
08	COVERED RACKING C/W PLYWOOD BACKING AGAINST BUILDING
09	INSULATED ROOF PANEL SYSTEM - SLATE GREY

EXTERIOR FINISH SELECTION

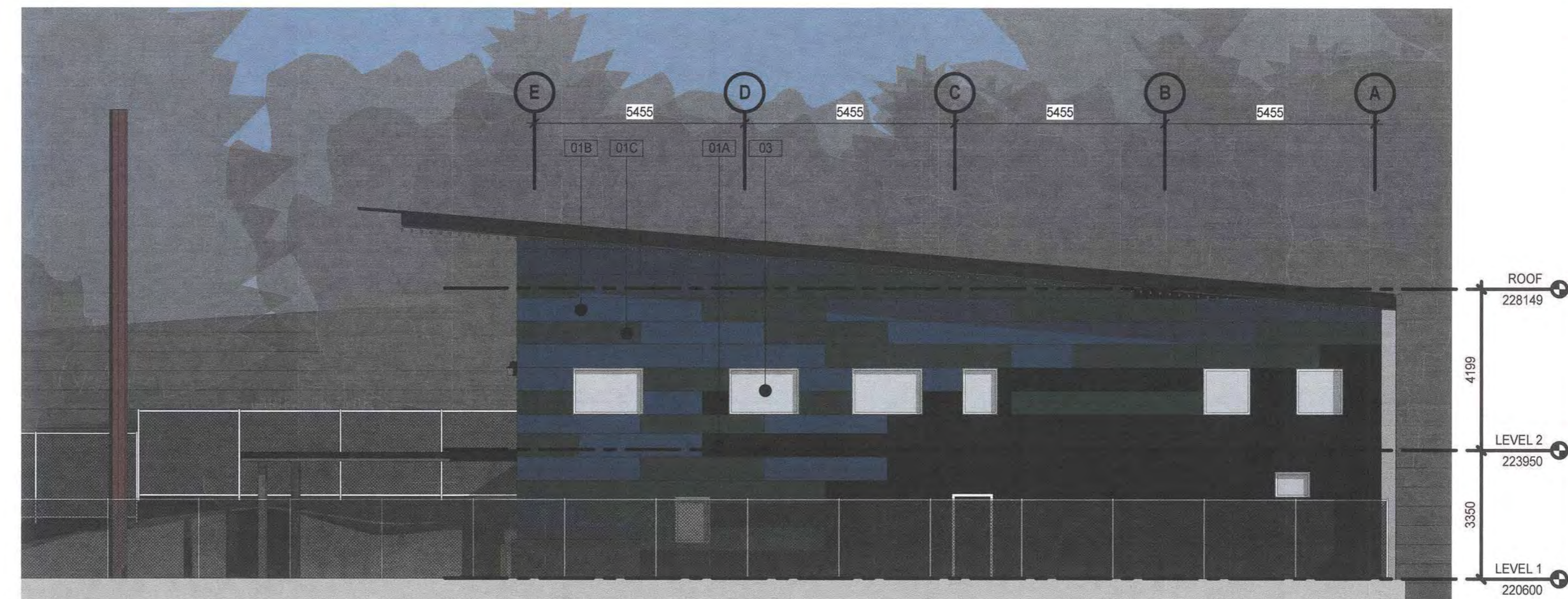
- 
 GRANITE / DARK BRONZE INSULATED METAL PANEL FLAT NON-EMBOSSED FINISH FIELD WALL COLOUR (01A) - SOUTH AND EAST ELEVATION HORIZONTAL 610MM HIGH PANELS (01D) - NORTH AND WEST ELEVATION VERTICAL 1065MM WIDE PANELS
- 
 SPRUCE / REGAL BLUE INSULATED METAL PANEL FLAT NON-EMBOSSED FINISH ACCENT COLOUR (01B) HORIZONTAL 610MM HIGH PANELS
- 
 HEMLOCK / EVERGREEN INSULATED METAL PANEL FLAT NON-EMBOSSED FINISH ACCENT COLOUR (01C) HORIZONTAL 610MM HIGH PANELS
- 
 LIGHT BROWN WOOD STRIPS SOFFIT COLOUR (06)
- 
 SPLIT-FACE MASONRY CHARCOAL COLOUR EXTERIOR WALL BASE (02)



3 SOUTH ELEVATION
A-201 SCALE: 1:100



4 WEST ELEVATION
A-201 SCALE: 1:100



2 EAST ELEVATION
A-201 SCALE: 1:100



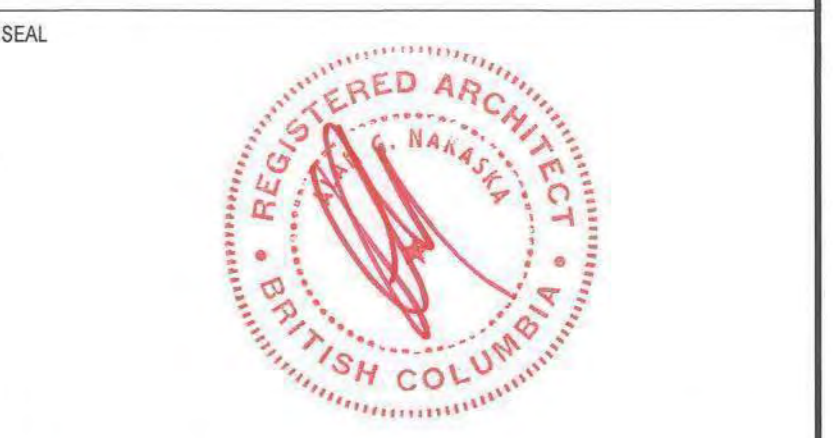
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PROJECT
PEMBERTON BC HYDRO FIELD OFFICE
1363 ASTER ST, PEMBERTON, BC, CANADA

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING ISSUE
ISSUED FOR DEVELOPMENT PERMIT

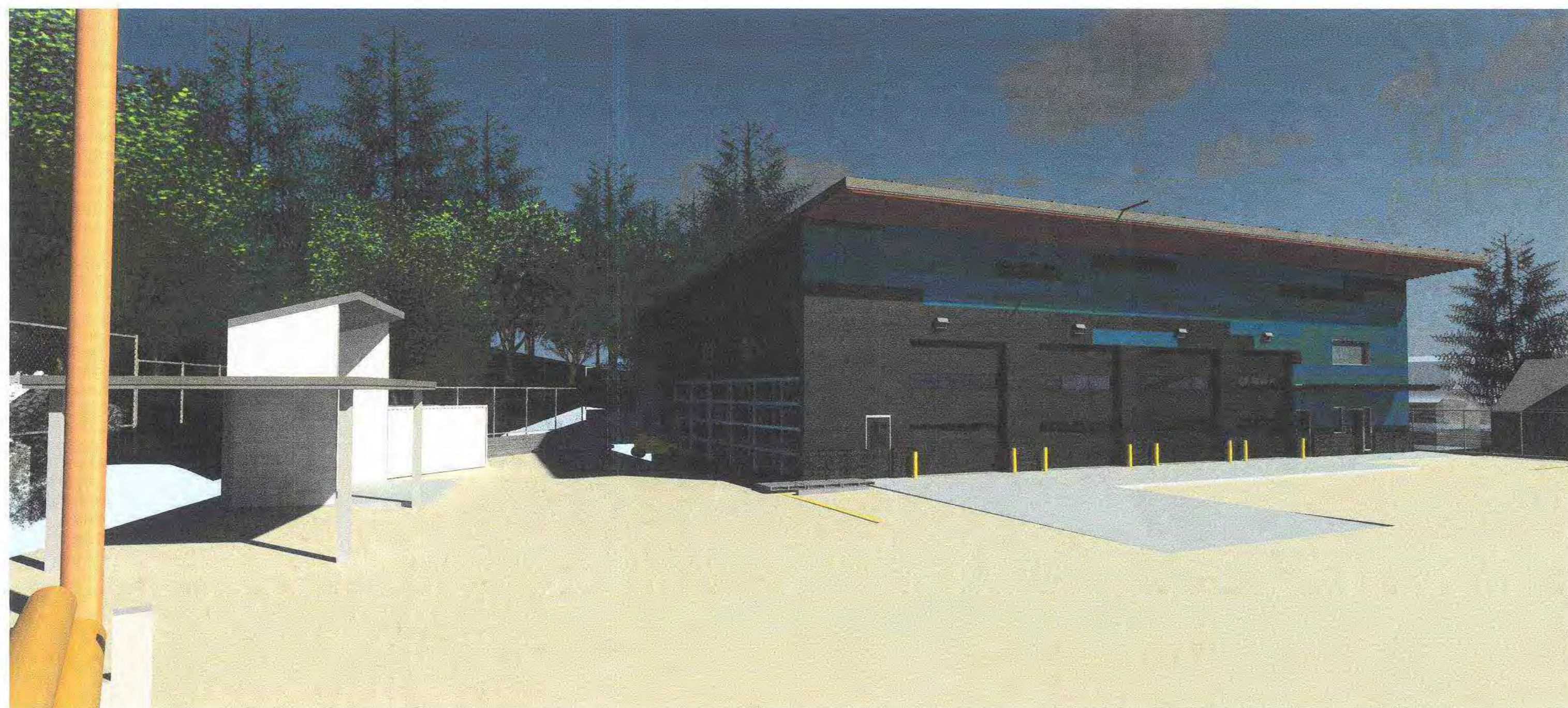
PROJECT NO.	PLOT DATE	2017-09-29	DRAWN	VD
180283	SCALE	As indicated	REVIEWED	MG
DRAWING NO.	A-201		REVISION	C



SOUTH WEST CORNER
SCALE: NTS



VIEW FROM ASTER ST.
SCALE: NTS



MAIN YARD - SOUTH AND WEST FACADE
SCALE: NTS



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REV.	DATE	DESCRIPTION	BY	CHKD
C	2017-09-29	ISSUED FOR DEVELOPMENT PERMIT		
B	2017-06-14	50% DESIGN DEVELOPMENT		
A	2017-03-27	100% SCHEMATIC DESIGN		
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE		REVISED BY

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SEAL



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PROJECT

PEMBERTON BC HYDRO FIELD OFFICE

1363 ASTER ST, PEMBERTON, BC, CANADA

DRAWING TITLE

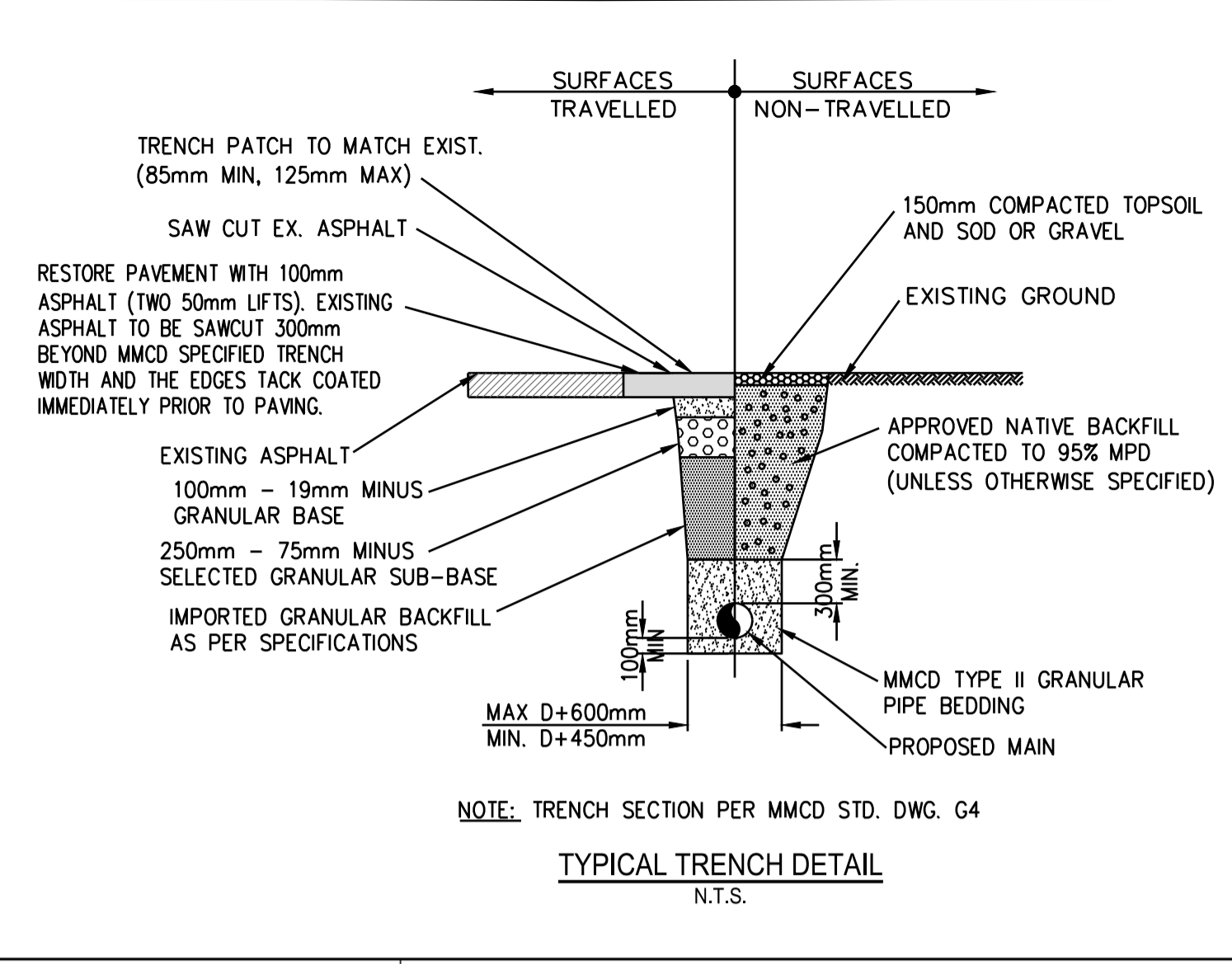
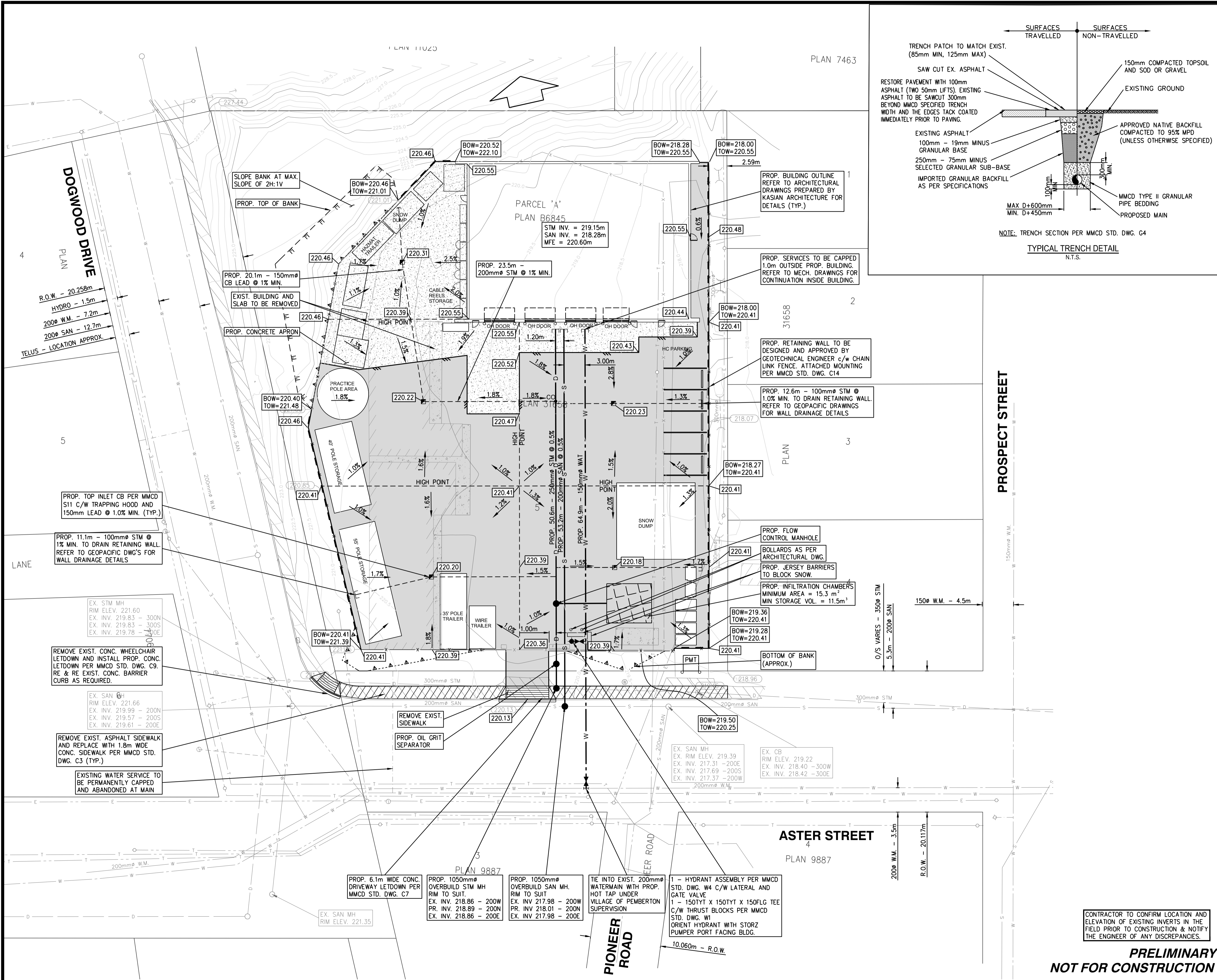
EXTERIOR VIEWS

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN
180283	2017-09-29	MG
	SCALE	REVIEWED
	NTS	MG

DRAWING NO.	REVISION
A-801	C



BENCHMARK:
ELEVATIONS ARE IN METERS AND ARE REFERRED TO GEODETIC DATUM CVD28

SURVEYED BY:
MCELHANEY ASSOCIATES
LAND SURVEYING
LTD.

CIVIC ADDRESS:
1470 ASTER STREET
PEMBERTON BC
V0N2L1

LEGAL DESCRIPTION:
LOT 5
D.L. 203 LILLOEET DISTRICT PLAN 31658

SCALE:
0 1:250 12m

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DATE	REVISION	DESCRIPTION
09/29/2017	6	ISSUED FOR DEVELOPMENT PERMIT
09/25/2017	5	REVISED SITE PLAN
06/09/2017	4	ISSUED FOR 50% DETAILED DESIGN
03/13/2017	3	ISSUED FOR RE-ZONING
02/27/2017	2	REVISED SITE PLAN
02/02/2017	1	ISSUED FOR CLIENT REVIEW
03/11/2016	0	ISSUED FOR 50% SCHEMATIC DESIGN

PROJECT:
**PEMBERTON BC HYDRO
FIELD OFFICE**

CLIENT:
**WSP CANADA
LIMITED**

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DATE: 2016-10-31	SEAL:
DRAWN: SF	
DESIGN: SB	
CHECKED: BL	
SCALE: 1:250m	

SHEET TITLE:
SITE GRADING PLAN

DRAWING NO.: SG	REV: 6
RFB JOB No. 16-0906	SHEET 1 OF 4

**PRELIMINARY
NOT FOR CONSTRUCTION**

CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF EXISTING INVERTS IN THE FIELD PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

GENERAL NOTES

- ALL ON-SITE SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE B.C. BUILDING CODE, THE B.C. PLUMBING CODE, AND PASS THE INSPECTION OF THE VILLAGE OF PEMBERTON BUILDING DEPARTMENT. ALL WORKS CONSTRUCTED WITHIN THE PROPOSED AND EXISTING MUNICIPAL RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE VILLAGE OF PEMBERTON STANDARDS AND CONSTRUCTION SPECIFICATIONS AND SHALL BE CARRIED OUT UNDER THEIR INSPECTION.
- THE CONTRACTOR SHALL ENSURE THAT ALL APPROVALS REQUIRED FOR THE PROPOSED WORKS HAVE BEEN OBTAINED FROM ALL AUTHORITIES AND AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE LOCATIONS OF THE EXISTING UTILITIES, AS SHOWN ON THE DESIGN DRAWINGS, ARE APPROXIMATE ONLY AND THIS INFORMATION MAY NOT BE FULLY ACCURATE OR COMPLETE. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY TO OBTAIN ACCURATE/COMPLETE LOCATIONS OF ALL EXISTING SANITARY SEWERS, STORM SEWERS, WATERMANS, GAS MAINS, ELECTRICAL AND/OR TELEPHONE AND/OR CATV CABLES AND CONDUITS, SERVICE PIPES, POLES, POSTS, AND ALL OTHER STRUCTURES, WHETHER ABOVE OR UNDERGROUND, OR WHICH APPEAR IN THE EXCAVATION, WITHIN THE ENTIRE AREA OF THE PROPOSED WORKS. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES AT ALL TIE-IN POINTS, AT ALL POINTS WHERE A CONFLICT MAY ARISE DURING THE CONSTRUCTION OF THE PROPOSED WORKS, AND TO CONFIRM DESIGN ELEVATIONS. IN THE EVENT OF A CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER FOR DIRECTIONS. THE CONTRACTOR SHALL ASSUME ALL COSTS AND EXPENSES THAT MAY OCCUR FOR DAMAGES, SUPPORT OF AND REPAIR TO SUCH PLANT BY REASON OF THE NEGLIGENCE OF HIS OPERATIONS. (EXISTING UTILITIES SHOWN ARE DERIVED FROM AS-BUILT INFORMATION AND ALL UTILITIES MAY NOT BE NECESSARILY SHOWN.)
- THE CONTRACTOR SHALL RESTORE THE EXISTING PAVEMENT ACROSS ALL TRENCH EXCAVATIONS TO ORIGINAL CONDITION OR BETTER AND THE FINISHED PAVEMENT SHALL BLEND IN SMOOTHLY WITH THE EXISTING PAVEMENT.
- THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR EXISTING SERVICES AND ANY SERVICES DISTURBED ARE TO BE REPLACED TO THE SATISFACTION OF THE VILLAGE OF PEMBERTON OR OTHER APPROVING AGENCIES.
- ANY MATERIAL SUBSTITUTION AND/OR DESIGN CHANGE MUST OBTAIN WRITTEN APPROVAL FROM THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL SURVEY MONUMENTS, BENCHMARKS, AND LEGAL PINS MUST BE PROTECTED AND ANY DAMAGE CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING IMPROVEMENTS SHALL BE RESTORED TO THE SATISFACTION OF THE VILLAGE OF PEMBERTON. IN SPECIAL CASES, THE VILLAGE OF PEMBERTON MAY REQUIRE WRITTEN ACCEPTANCE BY THE AFFECTED PROPERTY OWNERS FOR RESTORATION WORKS PERFORMED BY THE CONTRACTOR.
- SEE ARCHITECTURAL DRAWINGS FOR BUILDING DETAILS AND LAYOUT DIMENSIONS.
- STORM, SANITARY AND WATER SERVICE CONNECTIONS INCLUDING SANITARY CLEANOUTS AND WATER SERVICE CURB STOPS REQUIRED IMMEDIATELY OUTSIDE THE PROPOSED BUILDINGS SHALL BE TERMINATED 1.0 METRES FROM THE BUILDINGS BY THE "ON-SITE" CONTRACTOR OR AS APPROVED BY THE BUILDING DEPARTMENT. CONTINUATION BY BUILDING PLUMBING CONTRACTOR SHALL INCLUDE ANY STORM SUMPS REQUIRED IMMEDIATELY OUTSIDE THE PROPOSED BUILDINGS.
- THE CONTRACTOR SHALL CONFIRM WITH THE MECHANICAL ENGINEER PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS, ELEVATIONS, AND SIZE OF THE SERVICE CONNECTIONS TO THE PROPOSED BUILDINGS.
- FOR LANDSCAPING DETAILS AND DIMENSIONS, SEE THE LANDSCAPE ARCHITECT'S DRAWINGS.
- THE DEVELOPER SHALL RETAIN A GEOTECHNICAL CONSULTANT TO CONFIRM THE ADEQUACY OF THE PROPOSED ROAD STRUCTURE AND CONDITIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS FOR WORKING ON PRIVATE PROPERTY.

ROADWORKS NOTES

- SUBGRADE AND GRANULAR BASE MATERIALS SHALL BE COMPACTED TO AT LEAST 95% OF THEIR MODIFIED PROCTOR DRY DENSITY UNLESS OTHERWISE NOTED.
- ALL LOOSE AND ORGANIC MATERIAL SHALL BE EXCAVATED AND REMOVED FROM THE ROADWAY.
- THE CRUSHED GRANULAR BASE COURSE SHALL BE TESTED IN AN APPROVED MANNER PRIOR TO THE PLACEMENT OF THE PROPOSED CONCRETE CURB AND GUTTER AND ROAD PAVEMENT.
- ALL VALVES BOXES, MANHOLES, JUNCTION BOXES, ETC. WITHIN THE ROAD RIGHT OF WAY SHALL BE ADJUSTED TO FINISHED GRADE UNLESS OTHERWISE NOTED.
- LOCATIONS OF DRIVEWAYS, WHEELCHAIR RAMPS, ETC. SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION OF THE PROPOSED CONCRETE CURB AND GUTTER.
- CHANGES IN GRADE SHALL BE FORMED WITH SMOOTH CURVES.
- THE CONTRACTOR SHALL SAWCUT THE EXISTING PAVEMENT WHERE INDICATED ON THE DRAWING OR AS DIRECTED BY THE ENGINEER.

STORM SEWER NOTES

- STORM SEWER SHALL BE NON-REINFORCED CONCRETE PIPES CONFORMING TO ASTM DESIGNATION C-14 CLASS 3 OR REINFORCED PIPES CONFORMING TO ASTM DESIGNATION C-76 CLASS 3 OR POLYVINYLCHLORIDE (PVC) PIPES WITH A MINIMUM SDR 35 SPECIFICATION.
- STORM SEWER MANHOLES SHALL BE 1050mm DIAMETER UNLESS NOTED OTHERWISE
- CATCH BASINS SHALL BE INSTALLED AS PER MMCD STD. DWG. S11. CATCH BASIN LEADS SHALL BE 200mm DIAMETER PVC PIPE WITH A MINIMUM SDR 35 SPECIFICATION UNLESS OTHERWISE NOTED.
- CATCH BASIN RIM ELEVATIONS SHALL BE SET 25mm BELOW THE FINISHED GUTTER LINE GRADE. THE GUTTER AND ROAD SURFACE ARE TO BE SHAPED TO FORM A DISH AROUND THE INLET.
- REFER TO ROAD DESIGN DRAWINGS FOR CATCH BASIN LOCATIONS AND ELEVATIONS.
- ALL WYES SHALL BE MANUFACTURED.
- THE CONTRACTOR SHALL BE RESPONSIBLE IN ENSURING THAT THE FINISHED RIM ELEVATION OF THE STORM SEWER MANHOLES MATCH THE FINISHED ROAD GRADES AND ELEVATIONS.
- THE STORM SERVICE CONNECTIONS SHALL BE AT 1.5% MINIMUM UNLESS OTHERWISE NOTED.
- EXISTING INVERTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CATCH BASIN MANHOLES SHALL BE A STANDARD MANHOLE AS PER MMCD STD. DWG. S11, EXCEPT THE LID SHALL BE A DOBNEY FOUNDRY TYPE C39 GRATE OR APPROVED EQUIVALENT AND HAVE A 600mm DEEP SUMP.
- LAWN BASINS SHALL BE INSTALLED AS PER DETAIL "B". LAWN BASIN LEADS SHALL BE 100mm DIAMETER PVC PIPE WITH A MINIMUM SDR 28 SPECIFICATION UNLESS OTHERWISE NOTED.

SANITARY SEWER NOTES

- SANITARY SEWER SHALL BE NON-REINFORCED CONCRETE PIPES CONFORMING TO ASTM DESIGNATION C-14 CLASS 3 OR REINFORCED CONCRETE PIPES CONFORMING TO ASTM DESIGNATION C-76 CLASS 3 R POLYVINYLCHLORIDE (PVC) PIPES WITH A MINIMUM SDR 35 SPECIFICATION.
- SANITARY SEWER MANHOLES SHALL BE 1050mm DIAMETER UNLESS OTHERWISE NOTED.
- ALL WYES SHALL BE MANUFACTURED.
- THE CONTRACTOR SHALL BE RESPONSIBLE IN ENSURING THAT THE FINISHED RIM ELEVATION OF THE SANITARY SEWER CLEANOUTS MATCH THE FINISHED ROAD GRADES AND ELEVATIONS.
- SANITARY SERVICE CONNECTIONS SHALL BE AT 2.0% MINIMUM UNLESS OTHERWISE NOTED.
- EXISTING INVERTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- SANITARY SERVICE CONNECTIONS AND TIE-INS SHALL BE INSTALLED BY THE CONTRACTOR FROM THE MAIN TO THE PROPERTY LINE INCLUDING THE INSPECTION CHAMBER AT THE PROPERTY LINE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PEMBERTON PRIOR TO THE COMMENCEMENT OF TIE-IN CONNECTION PROCEDURES. TIE-INS AND CONNECTIONS SHALL BE COORDINATED WITH THE VILLAGE OF PEMBERTON. TIE-INS AND CONNECTIONS TO THE EXISTING SANITARY SEWER SHALL BE PERFORMED BY THE VILLAGE OF PEMBERTON AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL EXPOSE THE TIE-IN LOCATIONS FOR THE VILLAGE'S CREWS. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS REQUIRED TO COMPLETE THE TIE-INS.

WATERMAIN NOTES

- ALL WATERMANS SHALL BE DUCTILE IRON PIPE (CLASS 50) AWWA C151 (CEMENT MORTAR LINED TO AWWA C104) OR POLYVINYLCHLORIDE (PVC) PIPE SDR18 AWWA C900 (CLASS 150 OR BETTER).
- THE MINIMUM COVER OF THE PROPOSED WATERMAIN SHALL BE 1.8 METRES.
- THE MINIMUM GRADE OF THE PROPOSED WATERMAIN SHALL BE 0.1%
- GATE VALVES SHALL BE MCAVITY OR APPROVED EQUIVALENT GATE VALVE CONFORMING TO AWWA STANDARD C500 56.7 kg CONSTRUCTION.
- THRUST BLOCKS SHALL BE IN ACCORDANCE WITH MMCD STD. DWG. W1. THE CONTRACTOR SHALL CONFIRM THRUST BLOCK END AREAS WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONFIRM THE WATERMAIN WORKING PRESSURE WITH THE ENGINEER PRIOR TO PRESSURE TESTING.
- PRESSURE TESTING, CHLORINATION AND FLUSHING SHALL BE PERFORMED TO THE MINISTRY OF HEALTH AND AWWA STANDARDS AND TO BE PAID BY THE CONTRACTOR. ALL TESTING TO BE WITNESSED BY A VILLAGE OF PEMBERTON REPRESENTATIVE.
- ASSURANCE OF PROTECTION OF THE WATERMAIN:
 - A) 0.5 METRE VERTICAL SEPARATION OF THE WATERMAIN FROM ANY STORM OR SANITARY SEWER – WITH THE WATERMAIN BEING ABOVE;
 - B) 3.0 METRES HORIZONTAL SEPARATION OF THE WATERMAIN FROM ANY STORM OR SANITARY SEWER;
 WHERE THE ABOVE IS NOT POSSIBLE THE FOLLOWING MEASURES ARE TO BE TAKEN:
 - A) WHEN THE WATERMAIN IS CLOSER THAN 0.5 METRE TO A SEWER (STORM OR SANITARY) BUT ABOVE THE SEWER THE WATERMAIN MUST BE LAID IN SUCH A MANNER THAT CROSSING IS MADE MIDWAY BETWEEN JOINTS ON A FULL LENGTH OF WATERMAIN. IF THIS IS NOT ATTAINABLE THE JOINTS ARE TO BE WRAPPED WITH HEAT SHRINK PLASTIC OR PACKED WITH COMPOUND AND WRAPPED WITH TAPE.
 STANDARDS:
 - ANSI/AWWA C214 (FACTORY APPLIED)
 - ANSI/AWWA C209 (FIELD APPLIED)
 - ANSI/AWWA C217-90 (PETROLEUM TAPE)
 - ALL MATERIALS USED ARE TO HAVE ZERO HEALTH HAZARD
- WHEN THE WATERMAIN IS BENEATH THE SEWER THERE SHALL BE A MINIMUM 300mm SEPARATION. THE CROSSING SHALL BE MADE MIDWAY ON A FULL LENGTH OF WATERMAIN PIPE. THE WATERMAIN JOINTS ARE TO BE SHRINK WRAPPED OR TAPE WRAPPED. (ABOVE STANDARDS)
- WHEN 3.0 METRES HORIZONTAL SEPARATION IS UNATTAINABLE, ALL WATERMAIN JOINTS ARE TO BE WRAPPED. (ABOVE STANDARDS)
- WATER SERVICE CONNECTIONS SHALL BE INSTALLED BY THE CONTRACTOR FROM THE MAIN TO THE PROPERTY LINE INCLUDING THE CURB STOP OR WATER VALVE AT THE PROPERTY LINE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PEMBERTON PRIOR TO THE COMMENCEMENT OF TIE-IN CONNECTION PROCEDURES. TIE-INS AND CONNECTIONS SHALL BE COORDINATED WITH THE VILLAGE OF PEMBERTON. TIE-INS AND CONNECTIONS TO THE EXISTING WATERMAIN SHALL BE PERFORMED BY THE VILLAGE OF PEMBERTON AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL EXPOSE THE TIE-IN LOCATIONS FOR THE VILLAGE'S CREWS. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS REQUIRED TO COMPLETE THE TIE-INS.

BENCHMARK:
ELEVATIONS ARE IN METERS AND ARE REFERRED TO GEODETIC DATUM CVD28

SURVEYED BY:
MCELHANEY ASSOCIATES
LAND SURVEYING
LTD.

CIVIC ADDRESS:
1470 ASTER STREET
PEMBERTON BC
V0N2L1

LEGAL DESCRIPTION:
LOT 5
D.L. 203 LILLOOET DISTRICT PLAN 31658

SCALE:
AS SHOWN

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09/29/2017	2	ISSUED FOR DEVELOPMENT PERMIT
09/25/2017	1	REVISED SITE PLAN
06/09/2017	0	ISSUED FOR 50% DETAILED DESIGN

ISSUED: M/D/Y	REVISION	DESCRIPTION
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PROJECT:
**PEMBERTON BC HYDRO
FIELD OFFICE**

CLIENT:
**WSP CANADA
LIMITED**



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201 - 40147 Glenalder Place,
Squamish, BC V8B 0G2
TEL 604 892 8222
BINNIE.com

DATE: 06/07/17

SEAL:

DRAWN: LS

DESIGN: SB

CHECKED: BL

SCALE: AS SHOWN



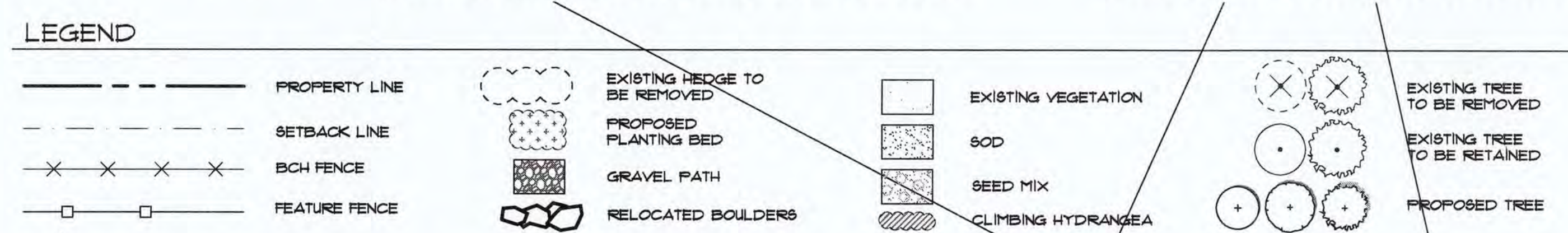
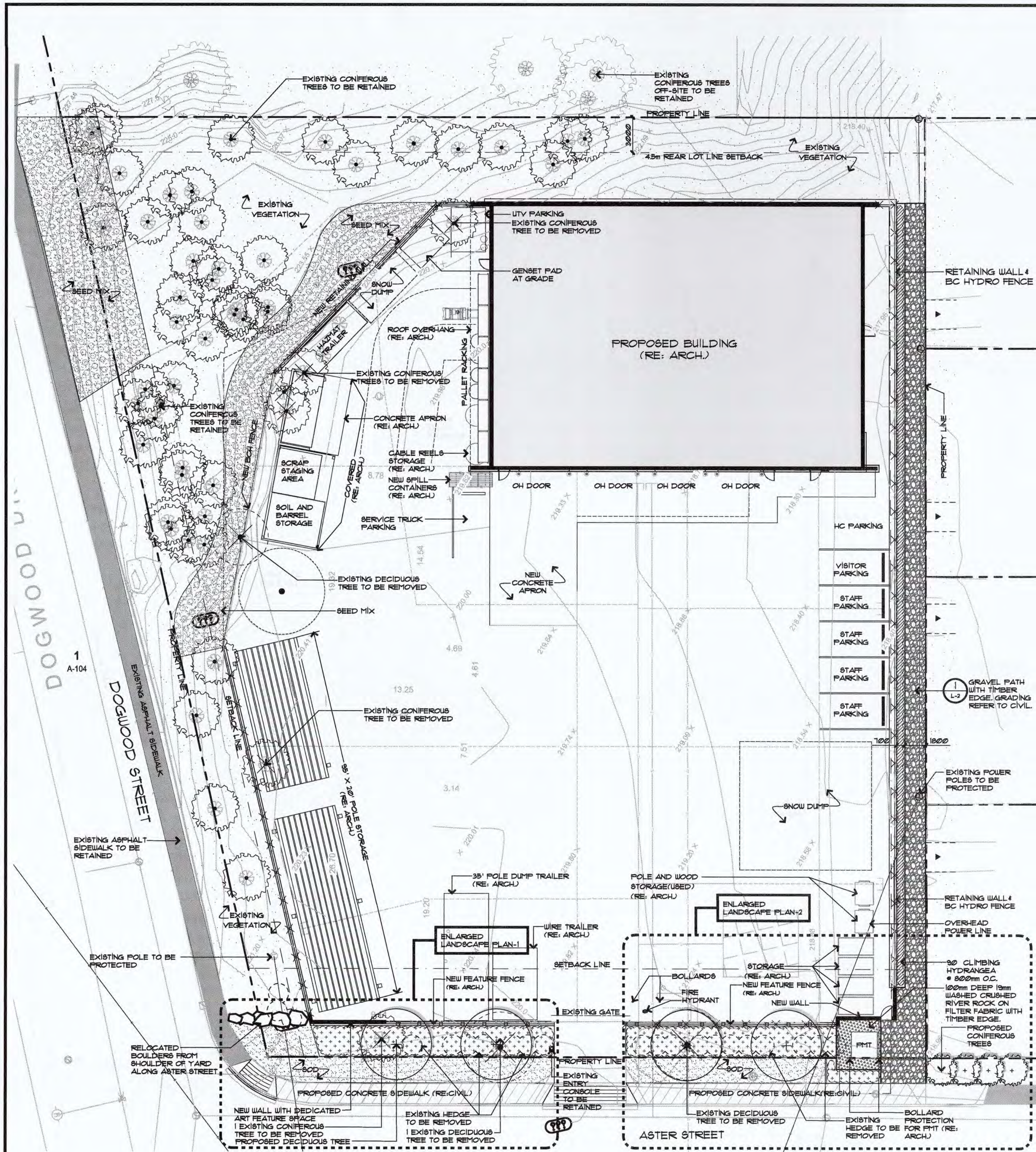
SHEET TITLE:
**GENERAL
NOTES**

DRAWING NO.:
D1

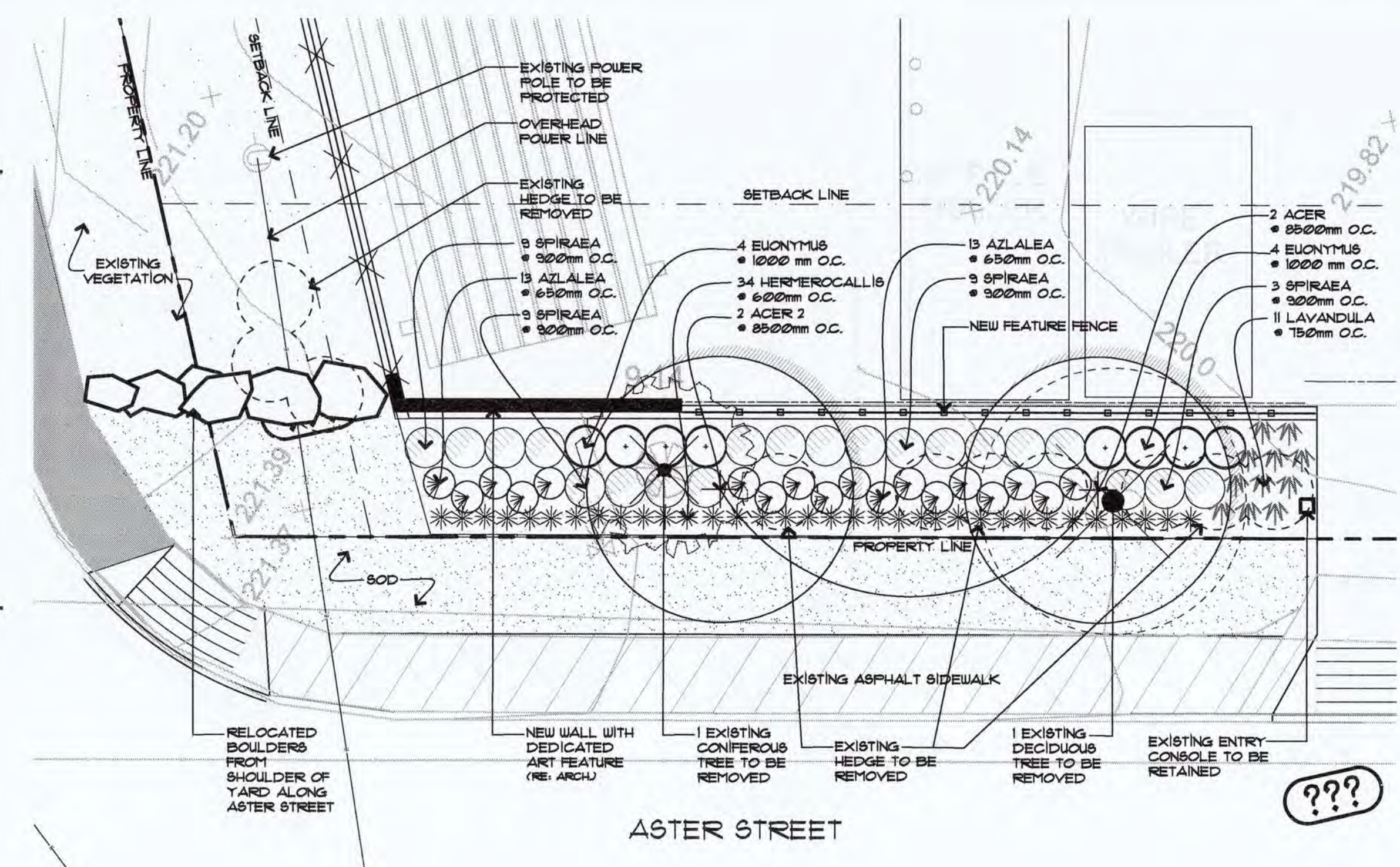
REV.
2

RFB JOB No. 16-0906

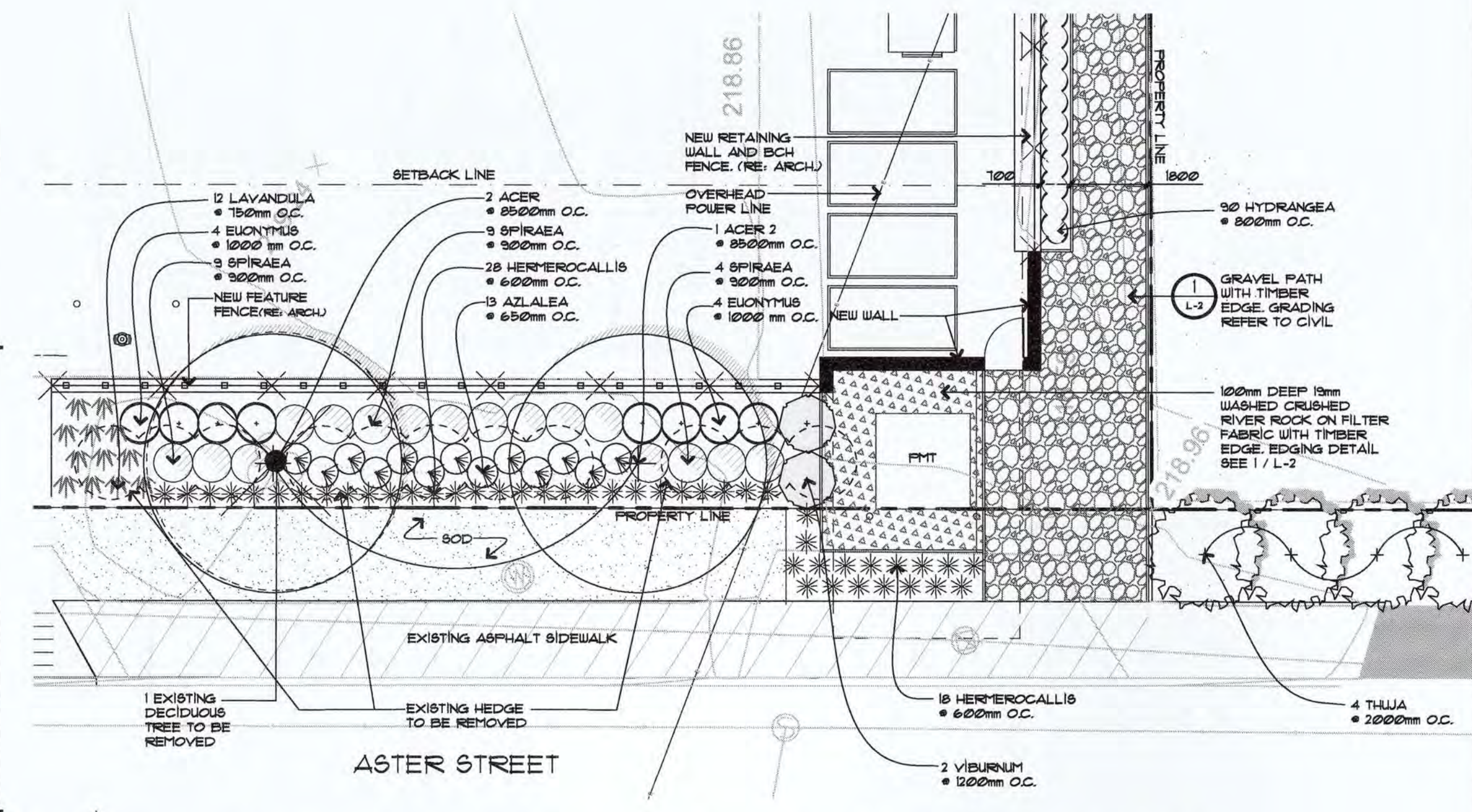
SHEET 4 OF 4



LANDSCAPE PLAN
SCALE: 1:200
0 200 400cm



ENLARGED LANDSCAPE PLAN-1
SCALE: 1:200
0 100 200cm



ENLARGED LANDSCAPE PLAN-2
SCALE: 1:200
0 100 200cm

TOTAL NO. OF TREES REMOVED : 9
TOTAL NO. OF TREES RETAINED ON-SITE : 46
TOTAL NO. OF NEW TREES : 8

NOTES:
1. CONTRACTOR TO RELOCATE EXISTING BOULDERS ON SHOULDER OF YARD TO THE LOCATION SHOWN ON DRAWING.
2. SOD AND PLANTING BED ALONG ASTER STREET ARE TO BE IRRIGATED.

GRAVEN/HUSTON/POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C., V2P 4S3 TEL: 793-9445



PROJECT NAME:
BC HYDRO PEMBERTON OPERATIONS FACILITY
1363 ASTER ST
PEMBERTON, BC

DRAWING NAME: LANDSCAPE PLAN

NO.	REVISIONS / ISSUES	DATE
1	ISSUED FOR DP REVIEW	17/08/17
2	100% DD FOR REVIEW	17/09/22
3	DEVELOPMENT PERMIT	17/09/29

PROJECT NUMBER: 17096

SCALE:	DATE:
1:200	2017/09/20

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GENERAL NOTES:

1. CONTRACTORS TO CONFIRM UNITS AND MEASUREMENTS.
2. PREVENT DAMAGE TO ALL LANDSCAPING, BUILDINGS, STRUCTURES AND UNDERGROUND AND/OR OVERHEAD UTILITIES MAKE GOOD ALL DAMAGE TO SATISFACTION OF OWNER.
3. PRIOR TO CLEARING, VERIFY LIMITS OF CLEARING WITH OWNER.
4. DISPOSE OF CLEARED AND GRUBBED MATERIALS AS WORK PROGRESSES AND DO NOT ACCUMULATE.
5. LEAVE GROUND SURFACE IN CONDITION SUITABLE FOR IMMEDIATE GRADING OPERATIONS.
6. CONTROL DUST AT ALL TIMES FOR DURATION OF CONTRACT.
7. PROVIDE HOARDING IF NECESSARY AND PROTECT PUBLIC AND PRIVATE PROPERTY FROM INJURY OR DAMAGE.
8. PROVIDE TEMPORARY DRAINAGE AND PUMPING IF NECESSARY AND DO NOT DISCHARGE WATER CONTAINING SUSPENDED MATERIALS INTO WATERCOURSES OR DRAINAGE SYSTEM.
9. MAINTAIN EXISTING CONDITIONS FOR PARKING AND TRAFFIC AROUND THE SITE THROUGHOUT CONSTRUCTION. TAKE MEASURES TO RE-ROUTE TRAFFIC OR WARN VISITORS TO THE SITE THAT HEAVY EQUIPMENT AND WORK CREWS ARE OPERATING.
10. AREA AND VEGETATION DISTURBED DUE TO GRADING AND EXCAVATING SHALL BE REHABILITATED SATISFACTORY TO THE OWNER AND NEIGHBOURS.

PLANT LIST

NOTE: PLANT LIST COUNTS ARE FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCY WITH PLAN, THE PLAN WILL GOVERN.

NOTE: NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT. AREA OF SEARCH FOR MATERIAL IS TO BE LOWER MAINLAND AND FRASER VALLEY.

QTY	SYM.	LATIN / COMMON NAME	SIZE	ROOTS	REMARKS
TREES					
4		ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	6cm CAL.	UB	1.8M STANDARD
4		THUJA OCCIDENTALIS 'EMERALD' / EMERALD CEDAR	3.0m HIGH	UB	
SHRUBS					
31		AZALEA JAPONICA 'GIRARD'S ROSE' / JAPANESE AZALEA	NO. 2 POT		
16		EUONYMUS ALATUS 'COMPACTA' / BURNING BUSH	NO. 9 POT		
2		VIBURNUM PLICATUM 'TOPEMONT' / SUMMER SNOWFLAKE	NO. 9 POT		
36		SPIRAEA JAPONICA 'GOLD FLAME' / GOLD FLAME SPIREA	NO. 2 POT		
GROUND COVERS / PERENNIALS / VINES					
23		LAVANDULA ANGUSTIFOLIA 'HIDCOTE' / HIDCOTE ENGLISH LAVENDER	NO. 1 POT		
80		HELICTRICHON BERMERYRENIS / BLUE OAT GRASS	NO. 1 POT		
20		HYDRANGEA ANOMALA PETIOLARIS / CLIMBING HYDRANGEA	NO. 1 POT		

LANDSCAPE SPECIFICATIONS:

FINISH GRADING

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF UNDERGROUND SERVICES.
2. SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
3. SUBGRADE SHALL BE SCARIFIED TO 6" MINIMUM DEPTH PRIOR TO PLACEMENT OF TOPSOIL.
4. REMOVE ALL MISCELLANEOUS ROCKS AND STONES OVER 2" IN DIAMETER.

TOPSOIL AND PLANTING MEDIUM

1. PLANTING MEDIUM FOR PLANTINGS SHALL BE PRO MIX AS SUPPLIED BY THE ANSWER GARDEN PRODUCTS (624-856-622) OR APPROVED EQUIVALENT.
2. TOPSOIL FOR GRASSSED AREAS TO MEET THE REQUIREMENTS OF THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTRACTOR IS RESPONSIBLE FOR TESTING TOPSOIL AND PROVIDING TEST RESULTS TO THE L.A.
3. SPREAD TOPSOIL AND PLANTING MEDIUM TO THE FOLLOWING DEPTHS:

18" (450mm) FOR SHRUB BEDS
TREES AS PER DETAILS

4. FERTILIZER AND CHEMICAL ADDITIVES SHALL BE AS REQUIRED TO OBTAIN THE STANDARDS FOR GROWING MEDIUM AND TOPSOIL AS SET OUT IN THE B.C. LANDSCAPE STANDARD, BCNTA, BCSLA, LATEST EDITION.

PLANT MATERIALS

1. ALL PLANT MATERIALS SHALL BE NURSERY GROWN CONTAINER STOCK AND COMPLY WITH THE STANDARDS OF THE B.C. LANDSCAPE STANDARD, BCNTA, BCSLA, LATEST EDITION WITH RESPECT TO SIZE, GRADING AND QUALITY.
2. TREES SHALL BE GUYED AS PER DETAILS.
3. PRUNING SHALL BE DONE AS REQUIRED TO REMOVE DEAD OR INJURED.
4. ALL SHRUBS ARE TO BE PLANTED IN A CONTINUOUS BED WITH A MINIMUM OF 3" COMPOSTED BARK MULCH UNDER TREES AND SHRUBS AND 2" UNDER GC.
5. LANDSCAPE ARCHITECT TO NOTIFY OF PRE INSPECTION OF TREES AT NURSERY PRIOR TO SHIPPING. LANDSCAPE ARCHITECT MAY WAIVE THIS INSPECTION AT THEIR DISCRETION, BUT THAT DOES NOT WAIVE THE LANDSCAPE ARCHITECT'S RIGHT TO REJECT PLANTS AT SITE.
6. SUBMIT CERTIFICATION TO L.A. THAT NURSERY OF SOURCE FOR ALL PLANT MATERIAL IS FREE FROM PHYTOPHTORA RAMORUM (SUDDEN OAK DEATH VIRUS)
7. ALL PLANT MATERIAL IS TO BE THOROUGHLY WATERED TWICE WITHIN 24 HOURS OF BEING PLANTED.

INSTALLATION

1. THE CONTRACTOR SHALL NOTIFY CITY AND LANDSCAPE ARCHITECT FOR INSPECTION AFTER COMPLETION OF PLANTING.

SODDING

1. SOD TO BE FROM CANADA No. 1 SEED FOR KENTUCKY BLUEGRASS / FESCUE SOD, GROWN FROM IMPROVED KENTUCKY BLUEGRASS AND FESCUES GRASS.

SEEDING

1. ALL AREAS TO BE SEEDDED ARE TO RECEIVE 50mm OF GROWING MEDIUM AND BE SEEDDED WITH GRASS SEED MIX NO 1. GRASS SEED MIX NO1 SHALL BE RICHARDSON SEED 'NATIVE GRASS MIX' AND SEEDDED AT 3kg/100 m².

BARK MULCH

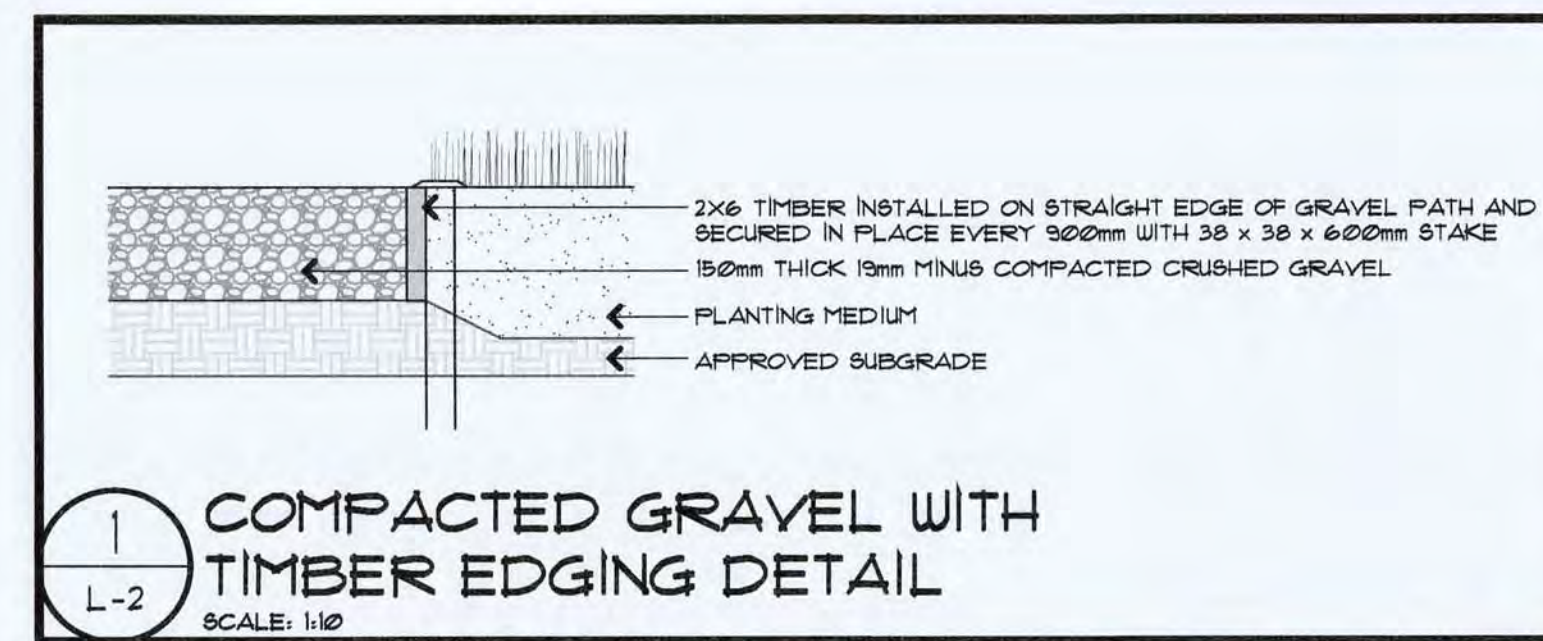
1. BARK MULCH SHALL BE 25mm MINUS, FREE OF CHUNKS AND STICKS AT A DEPTH OF 100mm.

MAINTENANCE

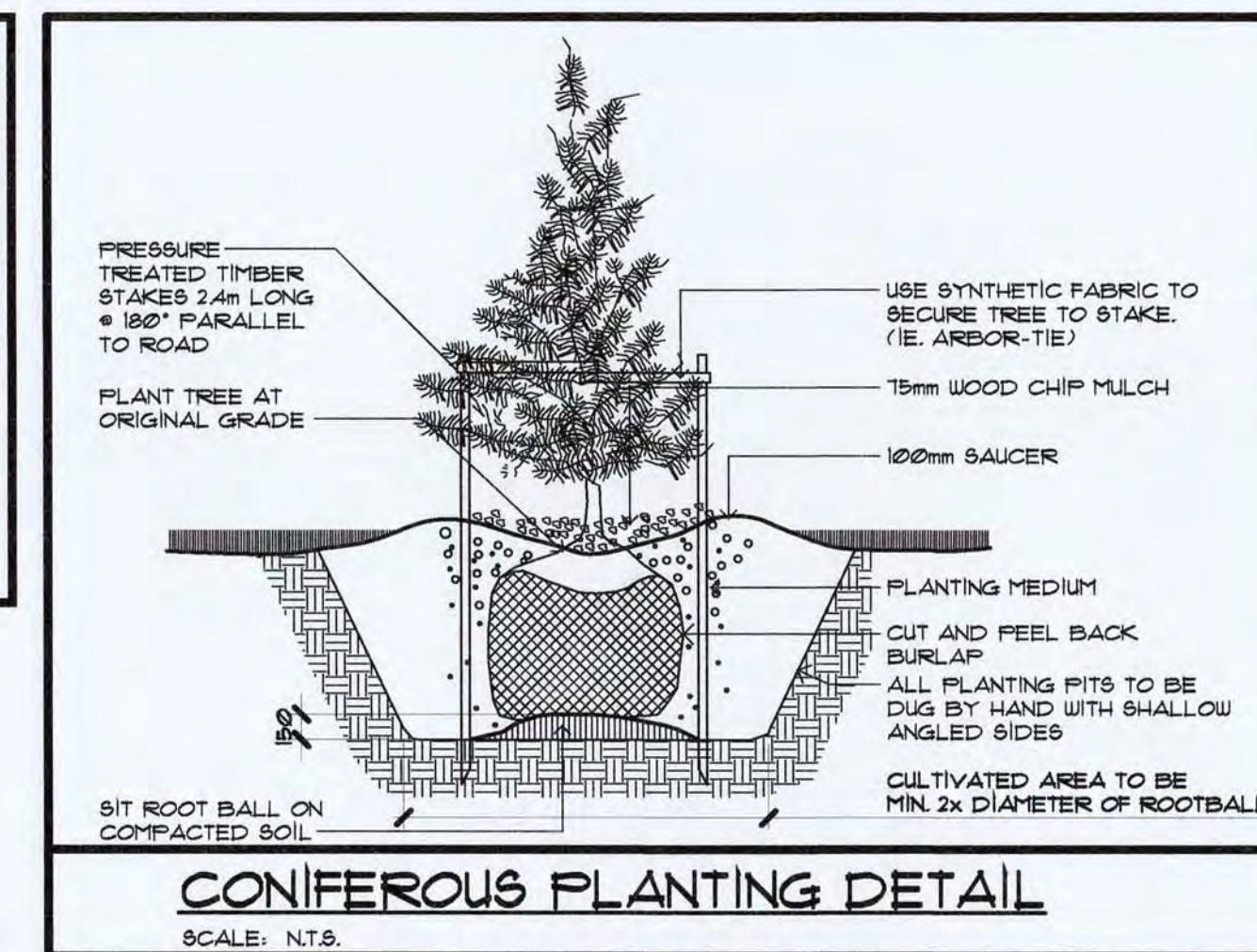
1. MAINTENANCE SHALL CONTINUE UNTIL SUBSTANTIAL PERFORMANCE OF THE PROJECT.

GUARANTEE

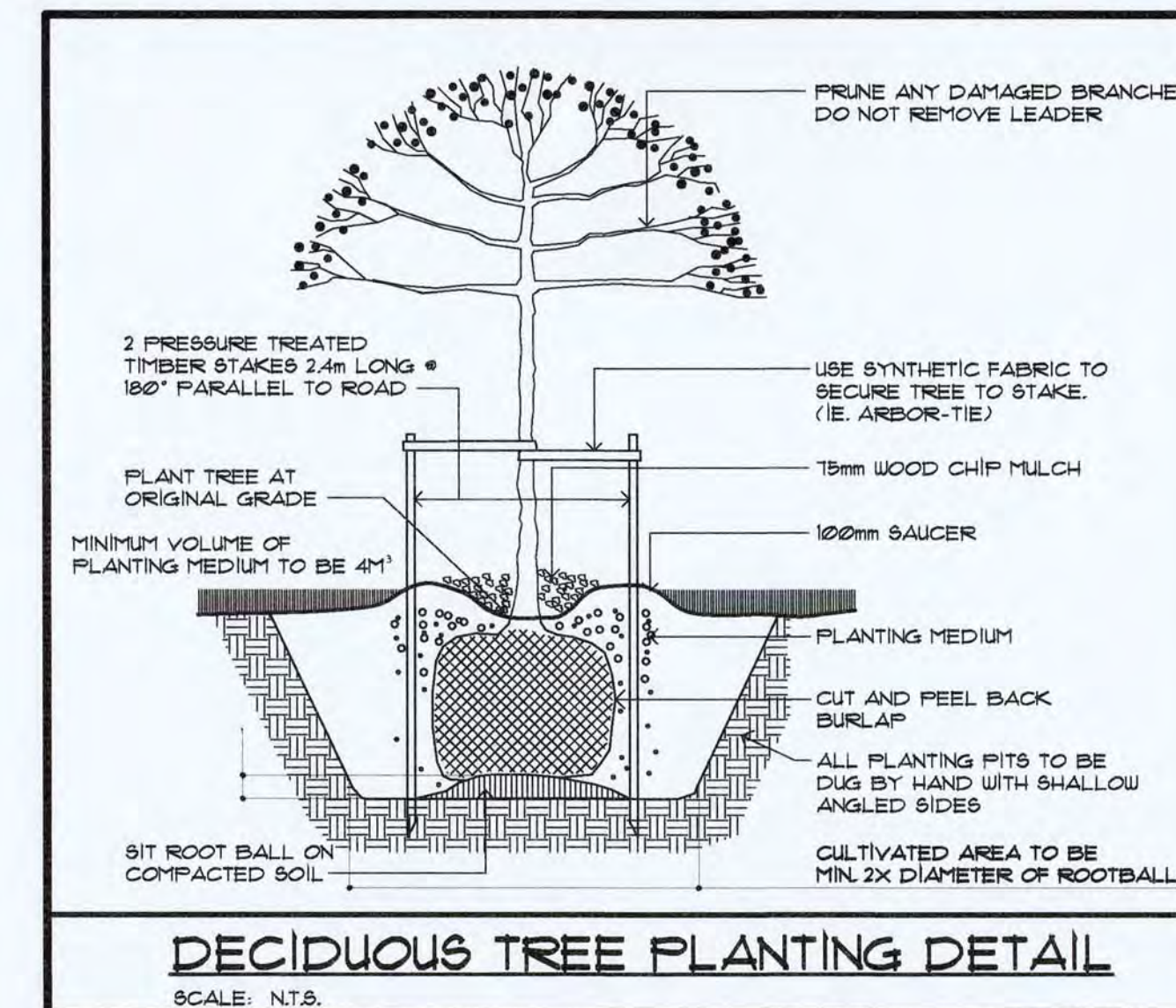
1. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF FIVE YEARS. IF PLANTED IN LATE FALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO YEAR FROM FOLLOWING SPRING.



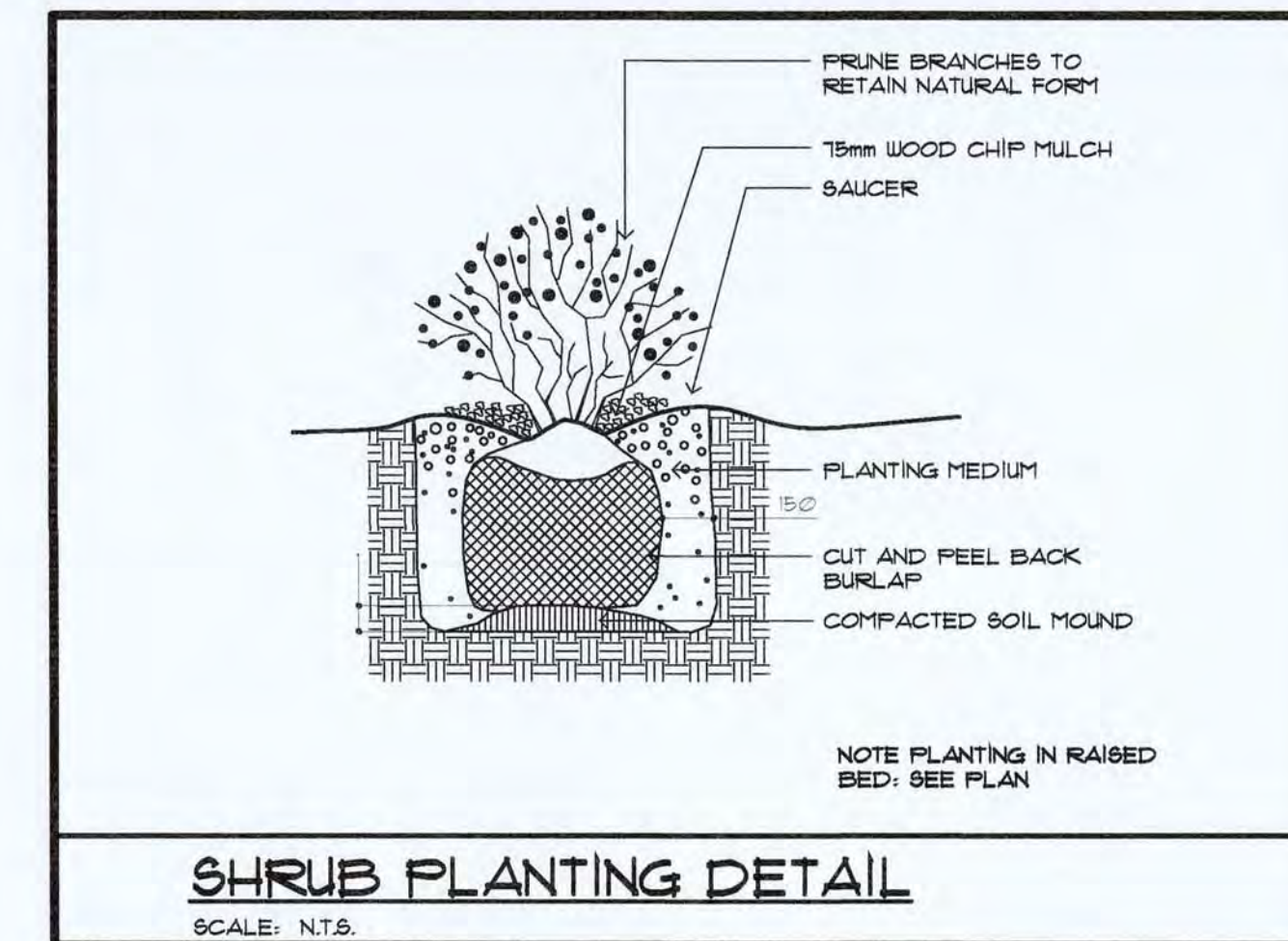
1
L-2
SCALE: 1:10
**COMPACTED GRAVEL WITH
TIMBER EDGING DETAIL**



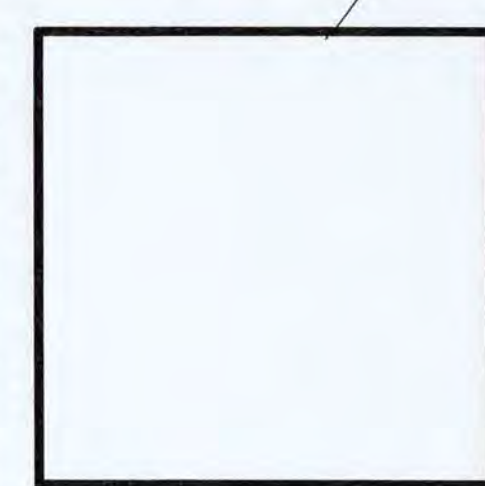
CONIFEROUS PLANTING DETAIL
SCALE: N.T.S.



DECIDUOUS TREE PLANTING DETAIL
SCALE: N.T.S.



SHRUB PLANTING DETAIL
SCALE: N.T.S.



PROJECT NAME:
**BC HYDRO PEMBERTON
OPERATIONS FACILITY**
1363 ASTER ST
PEMBERTON, BC

DRAWING NAME:
LANDSCAPE DETAILS

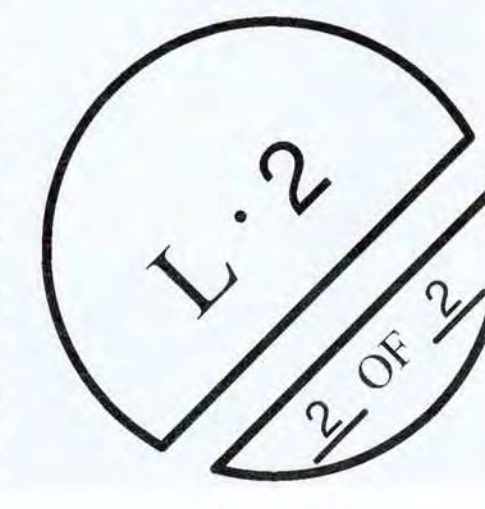
NO.	REVISIONS / ISSUES	DATE
1	ISSUED FOR DP REVIEW	17/08/17
2	100% DD FOR REVIEW	17/09/23
3	DEVELOPMENT PERMIT	17/09/28

PROJECT NUMBER: **17096**

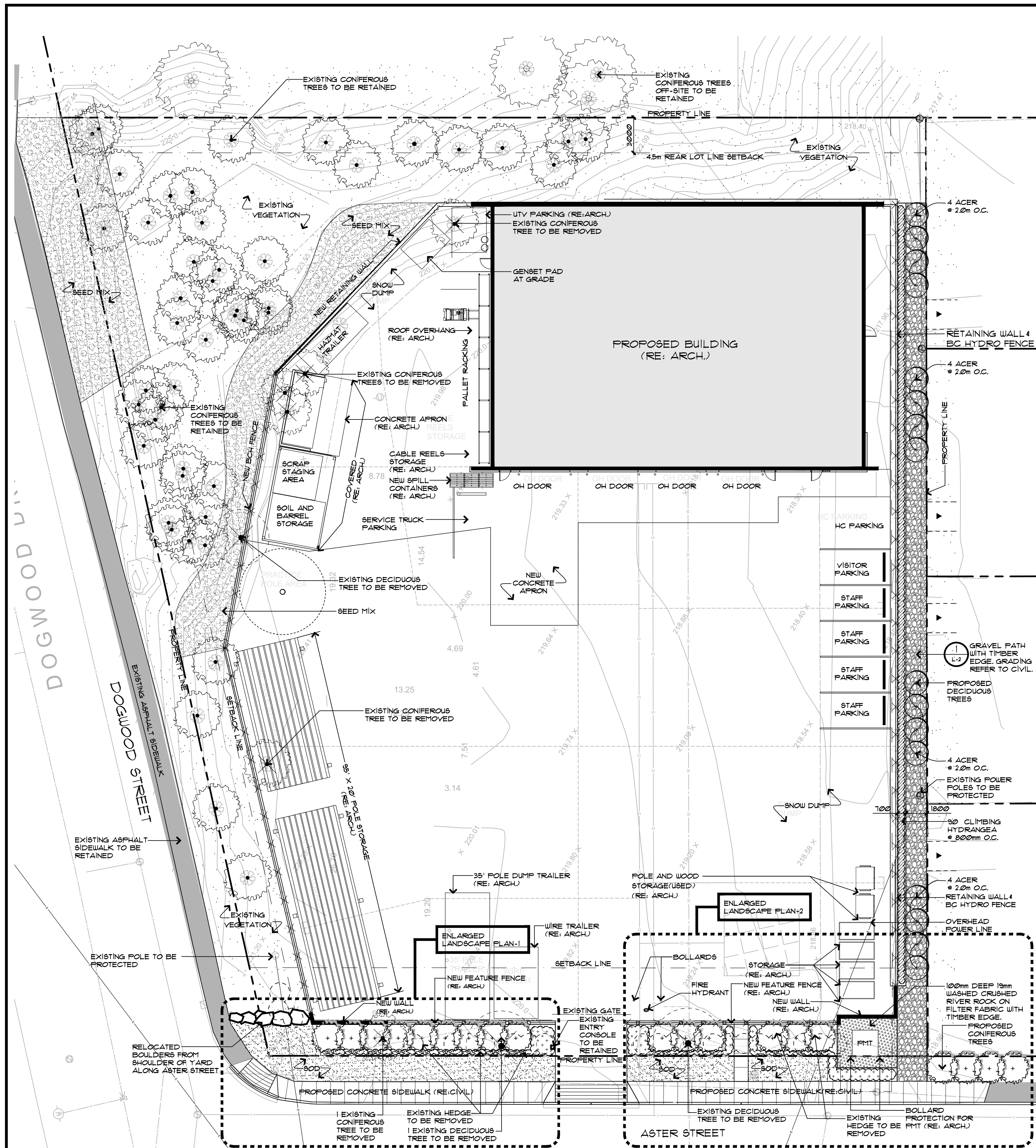
SCALE: 1:200

DATE: 2017/09/28

IT IS THE USER'S RESPONSIBILITY TO ENSURE THAT THE CONTRACTOR ON SITE AND THAT THESE DOCUMENTS ARE OF THE MOST RECENT EDITION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THIRD PARTY INFORMATION INCORPORATED INTO THESE DOCUMENTS. THE ARCHITECT'S WORK IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE LANDSCAPE AND ALL OTHERS EXCLUSIVE PROPERTY OF THE ARCHITECT AND ASSOCIATES. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT AND ASSOCIATES.



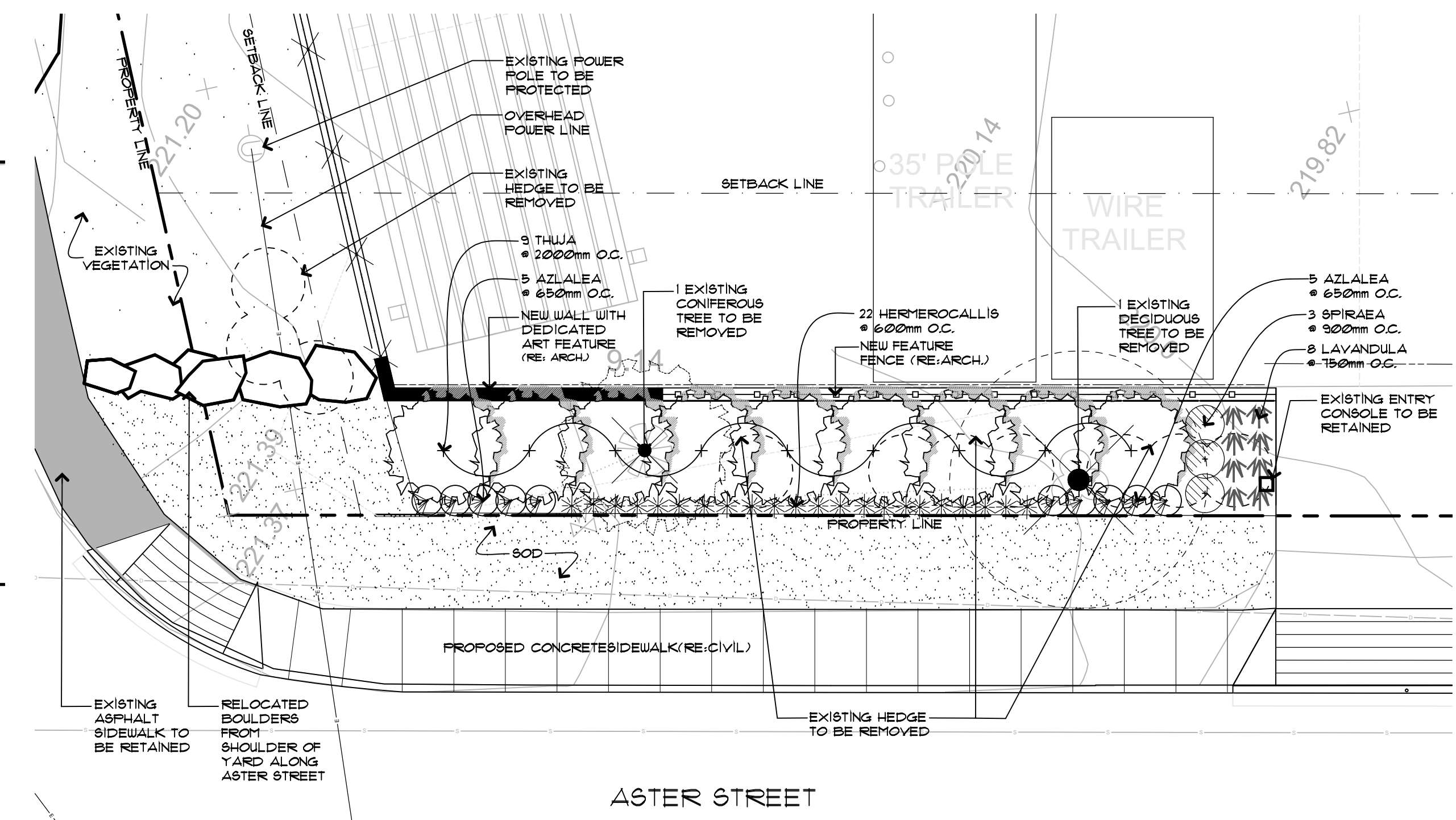
CRAVEN/HUSTON/POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C., V2P 4S3 TEL: 793-9445



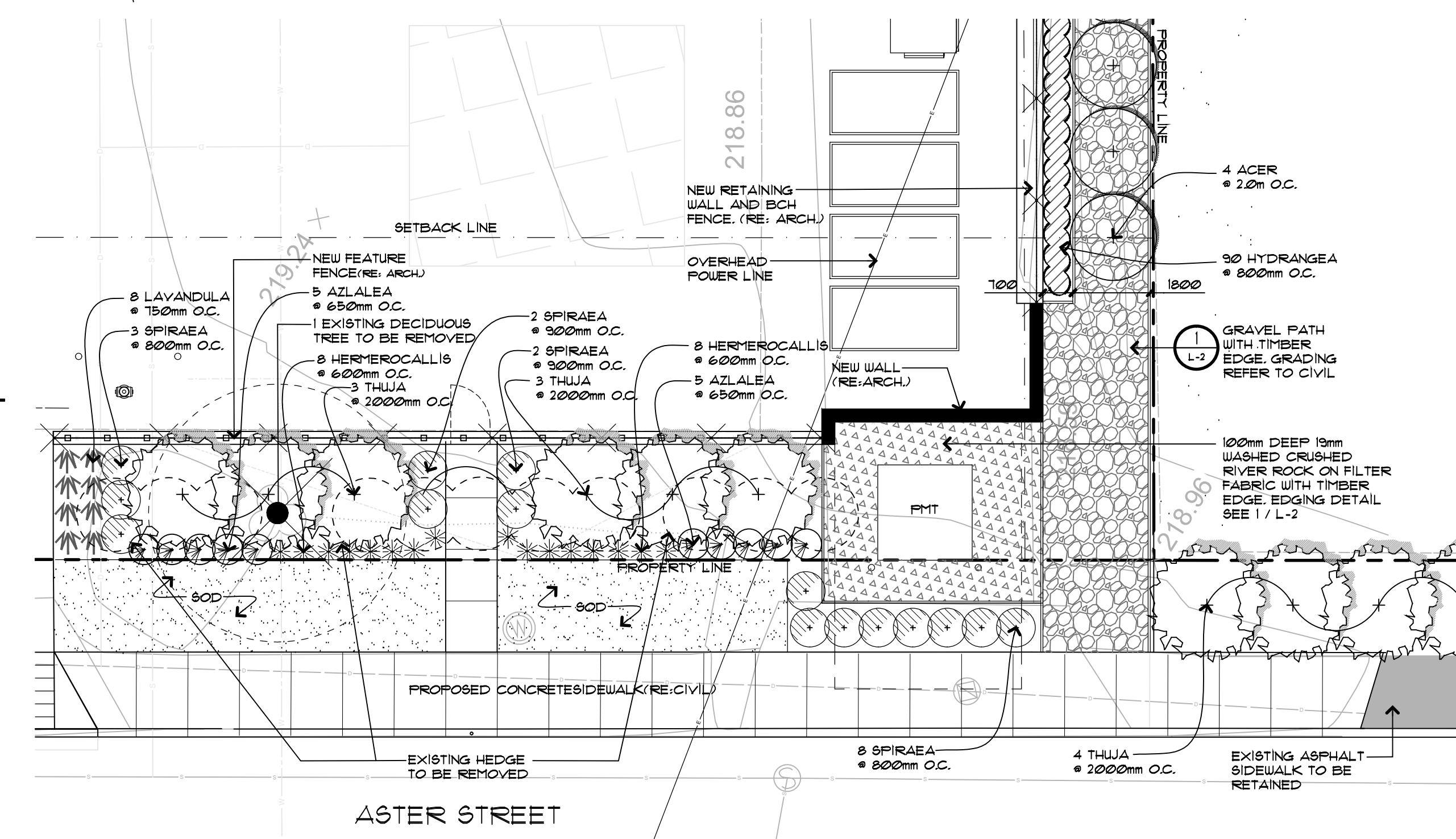
LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- x-x-x-x- BCH FENCE
- FEATURE FENCE
- ☼ EXISTING HEDGE TO BE REMOVED
- ☼ PROPOSED PLANTING BED
- ☼ GRAVEL PATH
- ☼ RELOCATED BOULDERS
- ☼ EXISTING VEGETATION
- ☼ SOD
- ☼ SEED MIX
- ☼ CLIMBING HYDRANGEA
- ⊗ EXISTING TREE TO BE REMOVED
- ⊙ EXISTING TREE TO BE RETAINED
- ⊙ PROPOSED TREE

LANDSCAPE PLAN
SCALE: 1:200
0 200 400cm



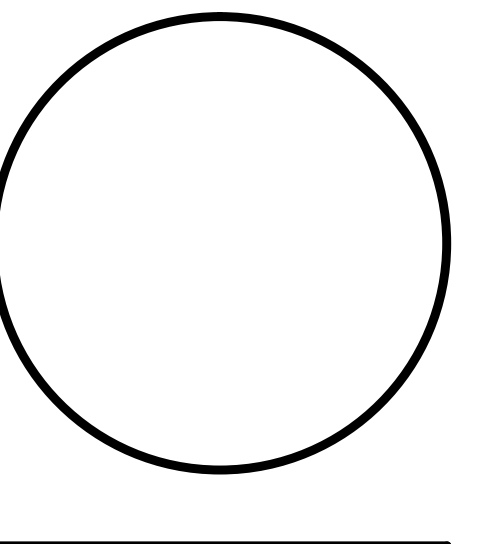
ENLARGED LANDSCAPE PLAN-1
SCALE: 1:100
0 100 200cm



ENLARGED LANDSCAPE PLAN-2
SCALE: 1:100
0 100 200cm

TOTAL NO. OF TREES REMOVED : 9
TOTAL NO. OF TREES RETAINED ON- SITE : 46
TOTAL NO. OF NEW TREES : 35

NOTES:
1. CONTRACTOR TO RELOCATE EXISTING BOULDERS ON SHOULDER OF YARD TO THE LOCATION SHOWN ON DRAWING.
2. SOD AND PLANTING BED ALONG ASTER STREET ARE TO BE IRRIGATED.



BC HYDRO PEMBERTON OPERATIONS FACILITY
1363 ASTER ST
PEMBERTON, BC

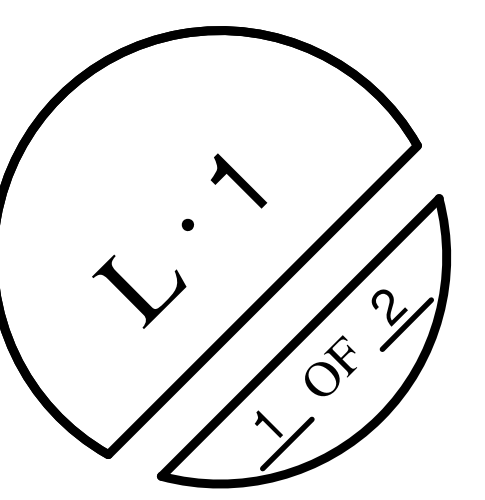
PROJECT NAME: LANDSCAPE PLAN

NO.	REVISIONS / ISSUES	DATE
1	ISSUED FOR DP REVIEW	17/08/17
2	100% DD FOR REVIEW	17/09/22
3	100% DD FOR PERMIT	17/09/29
4	100% DESIGN DEVELOPMENT	17/10/26

PROJECT NUMBER: 17096

SCALE:	1:200
DATE:	2017/10/24

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GENERAL NOTES:

- CONTRACTORS TO CONFIRM UNITS AND MEASUREMENTS.
- PREVENT DAMAGE TO ALL LANDSCAPING, BUILDINGS, STRUCTURES AND UNDERGROUND AND/OR OVERHEAD UTILITIES MAKE GOOD ALL DAMAGE TO SATISFACTION OF OWNER.
- PRIOR TO CLEARING, VERIFY LIMITS OF CLEARING WITH OWNER.
- DISPOSE OF CLEARED AND GRUBBED MATERIALS AS WORK PROGRESSES AND DO NOT ACCUMULATE.
- LEAVE GROUND SURFACE IN CONDITION SUITABLE FOR IMMEDIATE GRADING OPERATIONS.
- CONTROL DUST AT ALL TIMES FOR DURATION OF CONTRACT.
- PROVIDE HOARDING IF NECESSARY AND PROTECT PUBLIC AND PRIVATE PROPERTY FROM INJURY OR DAMAGE.
- PROVIDE TEMPORARY DRAINAGE AND PUMPING IF NECESSARY AND DO NOT DISCHARGE WATER CONTAINING SUSPENDED MATERIALS INTO WATERCOURSES OR DRAINAGE SYSTEM.
- MAINTAIN EXISTING CONDITIONS FOR PARKING AND TRAFFIC AROUND THE SITE THROUGHOUT CONSTRUCTION TAKE MEASURES TO RE-ROUTE TRAFFIC OR WARN VISITORS TO THE SITE THAT HEAVY EQUIPMENT AND WORK CREWS ARE OPERATING.
- AREA AND VEGETATION DISTURBED DUE TO GRADING AND EXCAVATING SHALL BE REHABILITATED SATISFACTORY TO THE OWNER AND NEIGHBOURS.

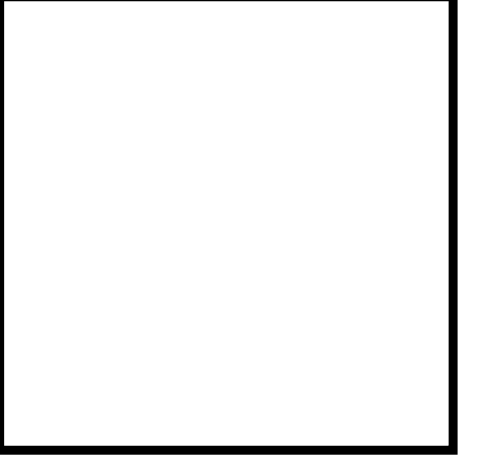
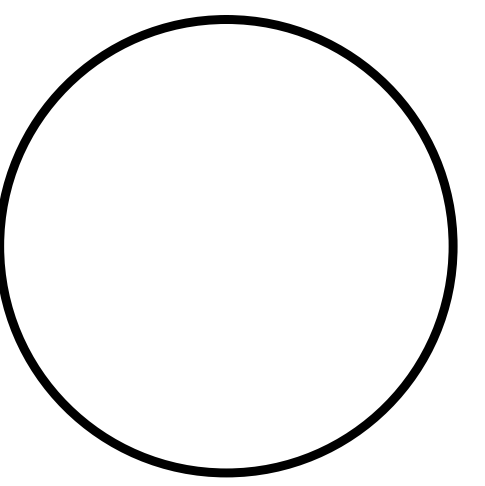
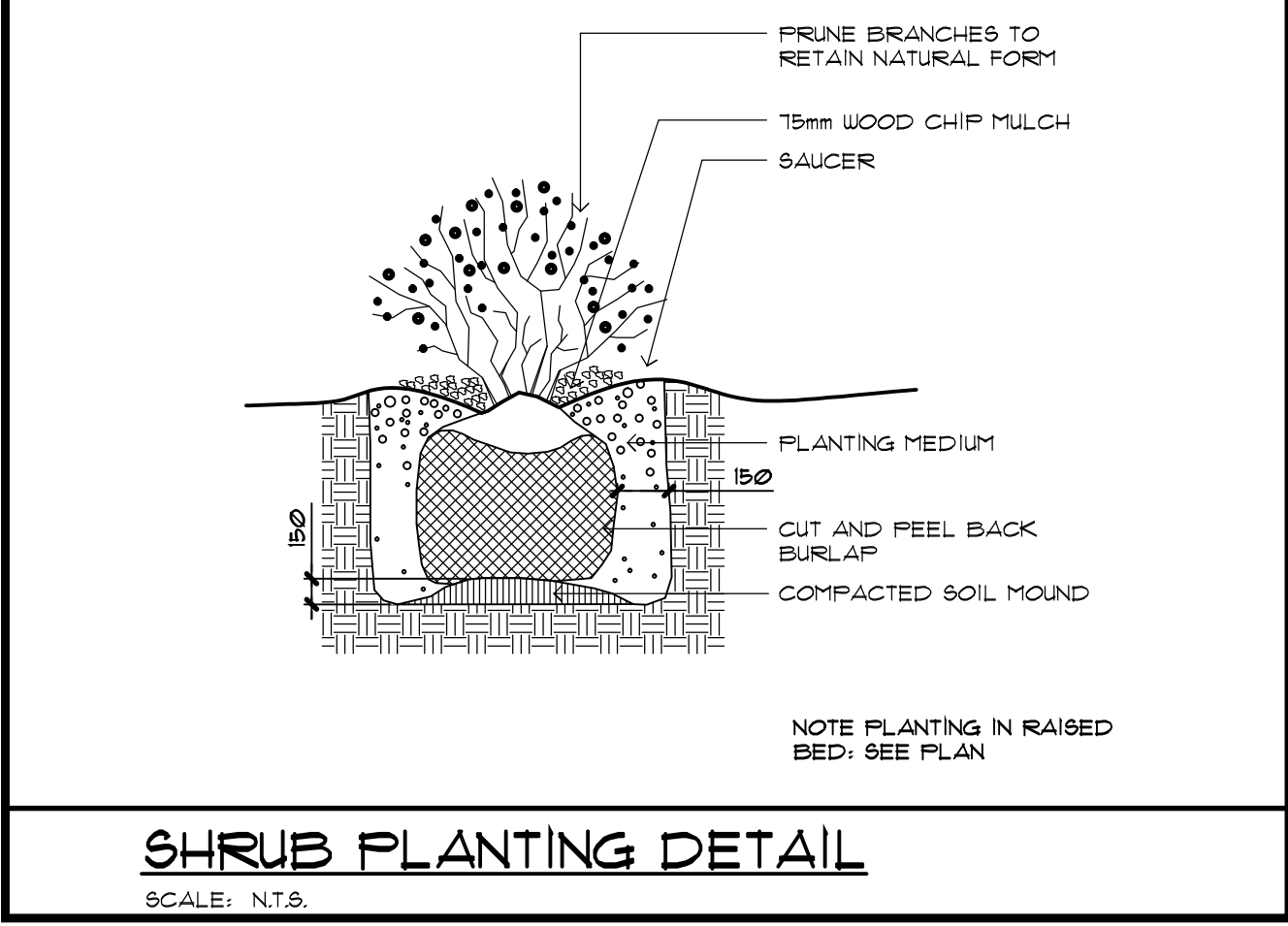
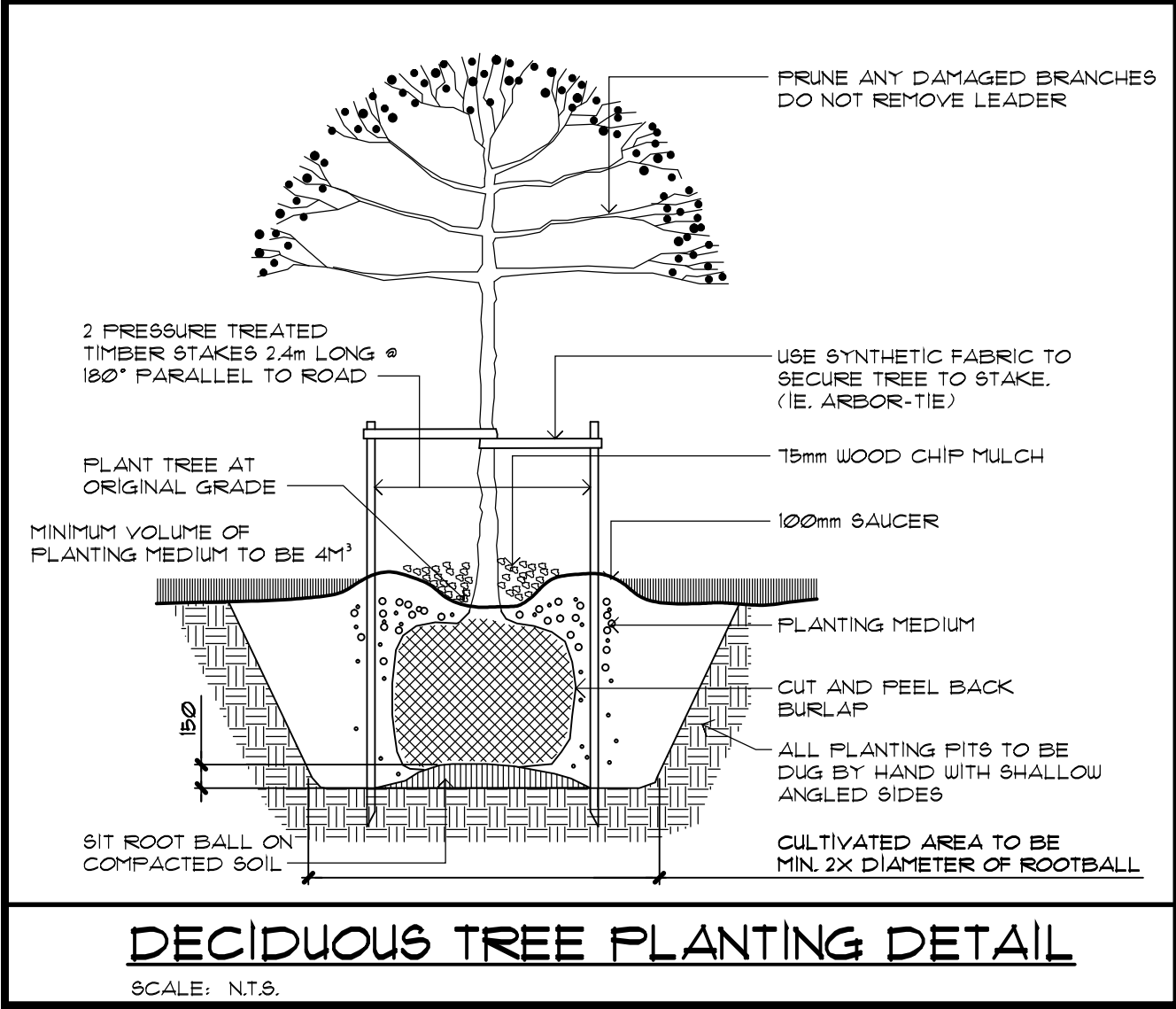
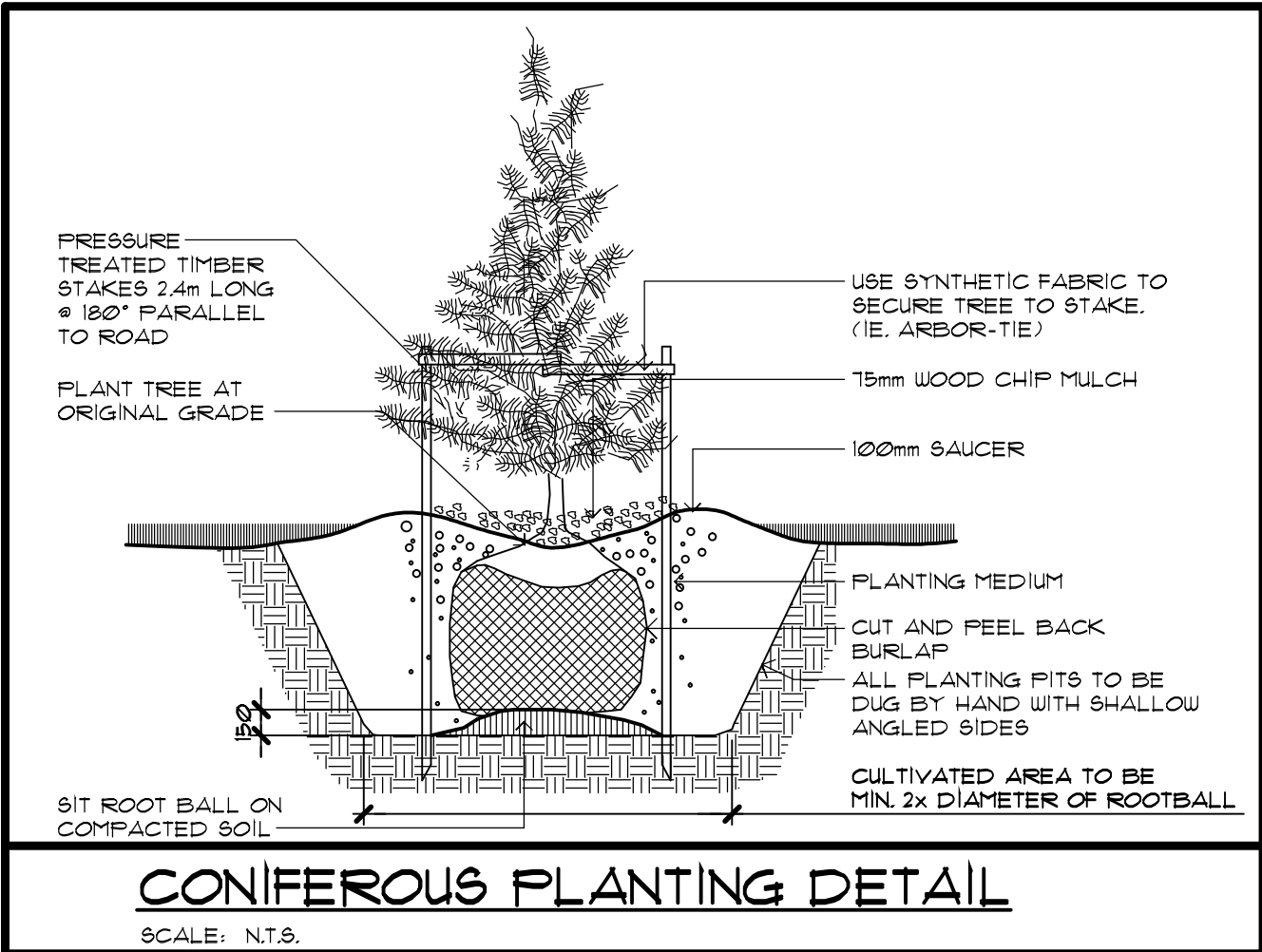
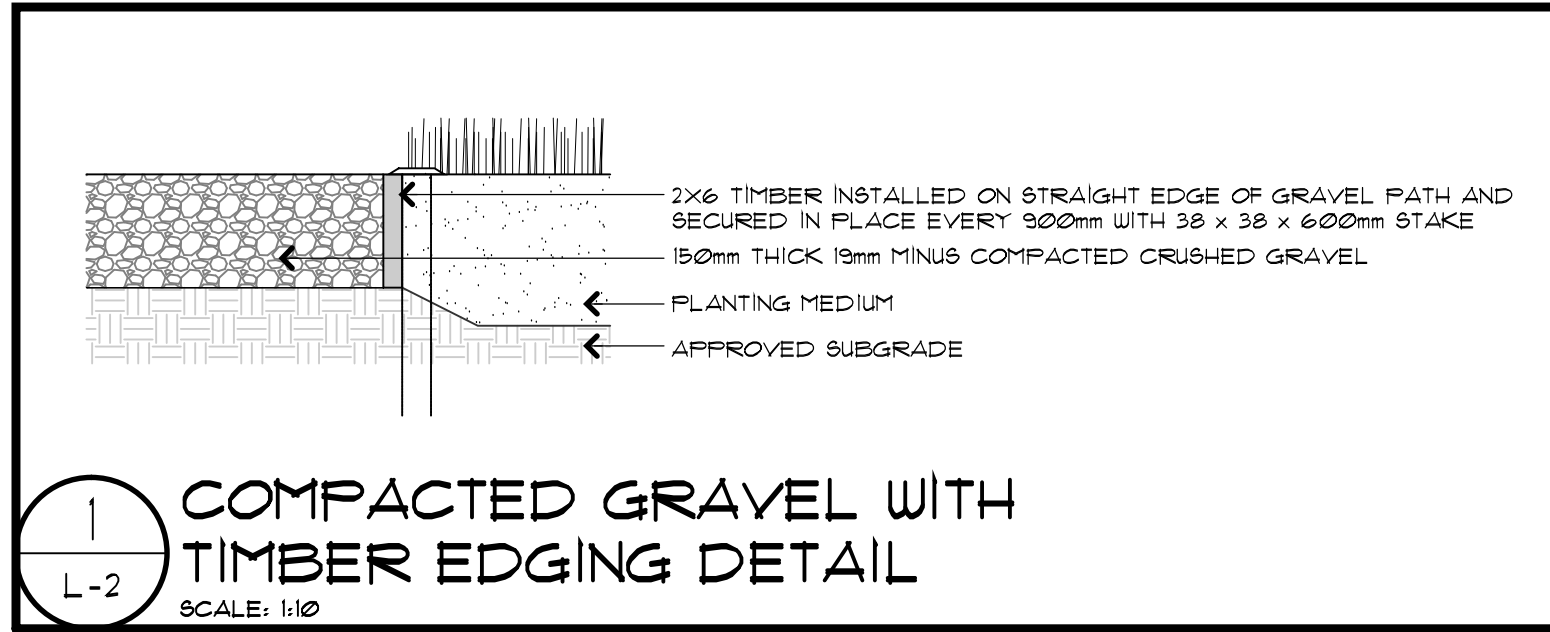
NOTE: PLANT LIST COUNTS ARE FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCY WITH PLAN, THE PLAN WILL GOVERN.

NOTE: NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT. AREA OF SEARCH FOR MATERIAL IS TO BE LOWER MAINLAND AND FRASER VALLEY.

QTY	SYM.	LATIN / COMMON NAME	SIZE	ROOTS	REMARKS
TREES					
16		ACER X FREEMANII 'ARMSTRONG' / FREEMAN MAPLE	6cm CAL.	UB	
19		THUJA OCCIDENTALIS 'SMARAGD' / EMERALD CEDAR	3.0m HIGH	UB	
SHRUBS					
20		AZALEA JAPONICA 'GIRARD'S ROSE' / JAPANESE AZALEA	NO. 2 POT		
36		SPIRAEA BETULIFOLIA 'TOR' / TOR BIRCHLEAF SPIREA	NO. 2 POT		
GROUNDCOVERS / PERENNIALS / VINES					
16		LAVANDULA ANGUSTIFOLIA 'HIDCOTE' / HIDCOTE ENGLISH LAVENDER	NO. 1 POT		
38		HELICTRICHON BERBERIVIRENS / BLUE OAT GRASS	NO. 1 POT		
90		HYDRANGEA ANOMALA FETIOLARIS / CLIMBING HYDRANGEA	NO. 1 POT		

LANDSCAPE SPECIFICATIONS:

- FINISH GRADING**
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF UNDERGROUND SERVICES.
 - SUBGRADE TO BE COMPACTED TO 85% STANDARD PROCTOR DENSITY.
 - SUBGRADE SHALL BE SCARIFIED TO 6" MINIMUM DEPTH PRIOR TO PLACEMENT OF TOPSOIL.
 - REMOVE ALL MISCELLANEOUS ROCKS AND STONES OVER 2" IN DIAMETER.
- TOPSOIL AND PLANTING MEDIUM**
- PLANTING MEDIUM FOR PLANTINGS SHALL BE PRO MIX AS SUPPLIED BY THE ANSWER GARDEN PRODUCTS (604-836-6221) OR APPROVED EQUIVALENT.
 - TOPSOIL FOR GRASSED AREAS TO MEET THE REQUIREMENTS OF THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTRACTOR IS RESPONSIBLE FOR TESTING TOPSOIL AND PROVIDING TEST RESULTS TO THE L.A.
 - SPREAD TOPSOIL AND PLANTING MEDIUM TO THE FOLLOWING DEPTHS:
 - 18" (450mm) FOR SHRUB BEDS
 - TREES AS PER DETAILS
 - FERTILIZER AND CHEMICAL ADDITIVES SHALL BE AS REQUIRED TO OBTAIN THE STANDARDS FOR GROWING MEDIUM AND TOPSOIL AS SET OUT IN THE B.C. LANDSCAPE STANDARD, BCNTA, BCSLA, LATEST EDITION.
- PLANT MATERIALS**
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN CONTAINER STOCK AND COMPLY WITH THE STANDARDS OF THE B.C. LANDSCAPE STANDARD, BCNTA, BCSLA, LATEST EDITION WITH RESPECT TO SIZE, GRADING AND QUALITY.
 - TREES SHALL BE GUYED AS PER DETAILS.
 - PRUNING SHALL BE DONE AS REQUIRED TO REMOVE DEAD OR INJURED
 - ALL SHRUBS ARE TO BE PLANTED IN A CONTINUOUS BED WITH A MINIMUM OF 3" COMPOSTED BARK MULCH UNDER TREES AND SHRUBS AND 2" UNDER GC.
 - LANDSCAPE ARCHITECT TO NOTIFY OF FREE INSPECTION OF TREES AT NURSERY PRIOR TO SHIPPING. LANDSCAPE ARCHITECT MAY WAIVE THIS INSPECTION AT THEIR DISCRETION BUT THAT DOES NOT WAIVE THE LANDSCAPE ARCHITECT'S RIGHT TO REJECT PLANTS AT SITE.
 - SUBMIT CERTIFICATION TO L.A. THAT NURSERY OF SOURCE FOR ALL PLANT MATERIAL IS FREE FROM PHYTOPHTORA RAMORUM (SUDDEN OAK DEATH VIRUS)
 - ALL PLANT MATERIAL IS TO BE THOROUGHLY WATERED TWICE WITHIN 24 HOURS OF BEING PLANTED.
- INSTALLATION**
- THE CONTRACTOR SHALL NOTIFY CITY AND LANDSCAPE ARCHITECT FOR INSPECTION AFTER COMPLETION OF PLANTING.
- SODDING**
- SOD TO BE FROM CANADA No. 1 SEED FOR KENTUCKY BLUEGRASS / FESCUE SOD, GROWN FROM IMPROVED KENTUCKY BLUEGRASS AND FESCUE GRASS.
- SEEDING**
- ALL AREAS TO BE SEEDED ARE TO RECEIVE 50mm OF GROWING MEDIUM AND BE SEEDED WITH GRASS SEED MIX NO. 1. GRASS SEED MIX NO. 1 SHALL BE RICHARDSON SEED 'NATIVE GRASS MIX' AND SEEDED AT 3kg/100 m².
- BARK MULCH**
- BARK MULCH SHALL BE 25mm MINUS, FREE OF CHUNKS AND STICKS AT A DEPTH OF 100mm.
- MAINTENANCE**
- MAINTENANCE SHALL CONTINUE UNTIL SUBSTANTIAL PERFORMANCE OF THE PROJECT.
- GUARANTEE**
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF FIVE YEARS. IF PLANTED IN LATE FALL, PLANT MATERIAL SHALL BE GUARANTEED FOR TWO YEAR FROM FOLLOWING SPRING.



PROJECT NAME:
BC HYDRO PEMBERTON OPERATIONS FACILITY
1363 ASTER ST
PEMBERTON, BC

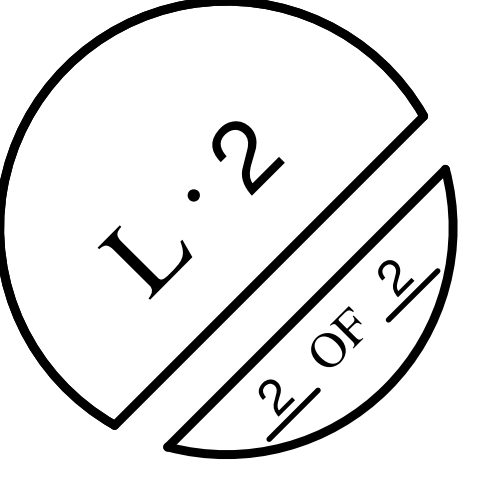
DRAWING NAME:
LANDSCAPE DETAILS

NO.	REVISIONS / ISSUES	DATE
1	ISSUED FOR DP REVIEW	17/08/17
2	100% DD FOR REVIEW	17/09/23
3	DEVELOPMENT PERMIT	17/09/29
4	100% DESIGN DEVELOPMENT	17/10/26

ALL DIMENSIONS TO BE VERIFIED ON-SITE

PROJECT NUMBER: 17096
SCALE: 1:200
DATE: 2017/02/4

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**VILLAGE OF PEMBERTON
ADVISORY DESIGN REVIEW COMMISSION MINUTES**

Appendix C

Minutes for the Advisory Design Review Commission of the Village of Pemberton held Wednesday, October 11, 2017 at 5:30pm at 7400 Prospect Street.

MEMBER IN ATTENDANCE: Tracy Napier (Chair)
Caroline McBain
Saad Hassan
Bob Adams
Nicole Brink

REGRETS: Woody Bishop (Chamber Representative)

STAFF IN ATTENDANCE: Lisa Pedrini, Village Planner
Tim Harris, Manager of Operations & Development Services
Sheena Fraser, Manager of Corporate & Legislative Services (minutes)

PROJECT REPRESENTATIVES: Sean Rodrigues, Project Manager, Properties - BC Hydro
David Mate, Agent
Michael Garforth, Kasian Architecture

GENERAL PUBLIC: 0

1) CALL TO ORDER

At 5:52 pm the meeting was called to order.

2) MINUTES

Moved/Seconded

THAT the minutes of the Advisory Design Review Commission Meeting, held Wednesday, September 27, 2017, be approved as presented.

CARRIED

**3) MAJOR DEVELOPMENT PERMIT: DPA010-BC Hydro Field Office/Works Yard
1368 Aster Street**

Mr. Bob Adams declared a conflict of interest, pursuant to section 100 (2) (a) and (b) of the Community Charter, as his company owns property adjacent to the subject property. Mr. Adams left the meeting at 5:53 p.m.

Lisa Pedrini, Village Senior Planner, provided background on the application noting that the applicant has also applied for a Zoning Amendment as the lands are currently legal non-conforming. As the subject property is also within a the Downtown Revitalization Development Permit area, it was recommended by the Advisory Land Use Commission (ALUC) that the Development Permit application process run concurrently with the rezoning process. Ms. Pedrini also noted that the Zoning Amendment Bylaw is currently at 1st reading and will be considered for second reading after the applicants have provided staff with input from the community gathering during a public open house

which is scheduled for Wednesday, October 18th from 5:00 – 6:30pm at the Community Centre.

The applicant was invited to present the project.

Mr. Michael Garforth, architect representing BC Hydro, presented an overview of the form and character of the proposed upgrades to the Field Office lands. It was noted that expansion of the current facility is required to meet the demands of increased staffing and new equipment (trucks) which require larger bays.

Mr. Garforth outlined the following:

- Siting of the new building (set at the back north east corner of the lot)
- Landscaping upgrades and changes
- Size of the building (2 stories)
- Additional aesthetic values (fencing and retaining wall materials and style)
- Building design (aim to maintain a clean form with no roof top units)

Discussion took place respecting the following:

- Impacts to the existing lane access (it was noted that this lane is on the BC Hydro property and that there are no easements or rights of way registered on Title)
- Impacts on parking on Prospect Street if the residents are no longer able to access through the back of their property
- Official Community Plan designation (is it consistent?). It was noted that it is.
- Fencing – desire to see something less industrial looking and more architectural in nature, option to use different materials than those presented especially along Aster Street
- Fencing and landscaping along the east side of the property – how best to screen this area so that it has less impact on the neighbours; is there a way to break up the long wall?
- Public Art – concern that BC Hydro is only providing the space, but not gifting the community with a piece of public art, and that nothing will be placed on the wall
- Lighting – both inside and outside the property – desire to see a more detailed lighting plan that includes fixtures etc. /night light – what will be the evening/winter lit experience?
- White utility box (Pad mounted transformer or PMT) at the entrance – concerns respecting curb appeal – options to screen with landscaping or wrap similar to what is done in Whistler with Chili Thom art
- Landscaping – types of trees, consider keeping the tall cedars along Aster as they screen the site well now, consider a mix of deciduous and conifers
- Security and safety and the impacts those requirements have on the design of the building and fencing
- Desire to make sure that the development of this site does not look too industrial given that it is in the downtown core – the proponents need to make efforts to ensure the application fits in the downtown and meets the DP guidelines, not the other way around

- Concerns about visuals from neighbouring properties and views from the downtown core (desire to see a 3D image)
- Desire to see the building be less industrial and monolithic but it was understood that there are several constraints given the use; the wood soffit was complemented as a welcome addition.

Moved/Seconded

THAT the Advisory Design Review Commission advises Council that it supports the project in principle with further consideration being given to the following:

- a) A lighting plan that includes specifications of fixtures, location of lights and denotes how the art wall will be lit;
- b) Revised landscape plan that proposes more visual interest and better screens the east side of the building.

CARRIED

As a result of further discussion, the resolution was reconsidered and the following motion was made:

Moved/Seconded

THAT the resolution noted above be rescinded.

CARRIED

Further discussion took place respecting the Commissions concerns and comments.

Moved/Seconded

THAT the Advisory Design Review Commission recommends to Council that BC Hydro Development Permit Application (DPA-010) be supported conditional on the applicant providing the following:

- a) A lighting plan that includes specifications of fixtures, location of lights and how the art wall will be lit;
- b) Revised landscape plan that proposes more visual interest and better screens the east side of the building;
- c) A 3D representation of the site and buildings in order to represent views from different areas of the downtown.

AND THAT the Advisory Design Review Commission would like an opportunity to review the revised plans prior to consideration by Council.

CARRIED

4) **NEXT MEETING**

Ms. Pedrini provided an update to the Commission with respect to applications that are pending or expected to be made to the Village for other developments and the corresponding need for more ADRC meetings in the near future. The Commission members agreed that fewer agenda items per meeting for consideration is better than a full agenda as it allows for more time to better consider applications.

Discussion took place with respect to the best day of the week to hold meetings. Village staff will coordinate with current Commission members to determine a preferred day of the week.

5) ADJOURNMENT

At 7:42 pm the meeting was adjourned.

Tracy Napier
ADRC Chair

DRAFT

**VILLAGE OF PEMBERTON
ADVISORY DESIGN REVIEW COMMISSION MINUTES**

Minutes for the Advisory Design Review Commission of the Village of Pemberton held Monday, December 4, 2017 at 5:30pm at 7400 Prospect Street.

MEMBER IN ATTENDANCE: Tracy Napier (Chair)
Caroline McBain
Saad Hassan
Bob Adams
Julie Kelly (Chamber Representative)
Annie Oja

REGRETS: Nicole Brink

STAFF IN ATTENDANCE: Lisa Pedrini, Village Planner
Tim Harris, Manager of Operations & Development Services
Sheena Fraser, Manager of Corporate & Legislative Services (minutes)

PROJECT REPRESENTATIVES:

BC Hydro Sean Rodrigues, Project Manager, Properties - BC Hydro
David Mate, Agent
Michael Garforth, Kasian Architecture

Crestline Andrea Scott, Lovick Scott Architects Ltd.
Stephen Duke, Alture Properties

GENERAL PUBLIC: 0

1) CALL TO ORDER

At 5:47 pm the meeting was called to order.

2) MINUTES

Moved/Seconded

THAT the minutes of the Advisory Design Review Commission Meeting, held Wednesday, October 11, 2017, be approved as presented.

CARRIED

Lisa Pedrini, Senior Planner welcomed Julie Kelly, who was representing the Chamber of Commerce in the absence of Woody Bishop, and Annie Oja who is newly appointed to the ADRC and formerly served on both the ALUC and ADRC.

At 5:50 p.m. Mr. Bob Adams declared a conflict of interest, pursuant to section 100 (2) (a) and (b) of the Community Charter, as his company owns property adjacent to the BC Hydro subject property. Mr. Adams left the meeting at 5:51 p.m.

3) MAJOR DEVELOPMENT PERMIT: DPA010-BC Hydro Field Office/Works Yard

1363 Aster Street
Revised landscaping & lighting plan

Ms. Pedrini introduced the Development Permit Application and asked Michael Garforth to present the updated information to the application on behalf of BC Hydro related to landscaping and a lighting plan as requested by the ADRC at the October 11th meeting.

Mr. Garforth provided a rendering of the lighting scheme as it would look in the evening to address the concerns raised by the ADRC about lighting impacts. The lighting plan identifies that Type J will be used for the site and sidewalk (with some higher intensity lighting at the north/west corner of the lot) and Type L will be used for the feature wall.

Mr. Garforth presented a revised landscape plan that included better spacing of the cedars along Aster Street and the addition of more trees along the east side of the property to act as a screen between the Works Yard and the adjacent properties. The pad mounted transformer (PMT) is shown as being wrapped and this work has been included in a grant program facilitated by BC Hydro.

The Commission had questions related to the following:

- Clarity respecting the wrapping or covering of the PMT

Mr. Rodrigues advised that BC Hydro has a grant program that provides funds to wrap PMT's. In this regard, Jerry Muir, Community Relations Manager, has applied for this funding on the Village's behalf and included this project in particular in the next grant in-take. The beautification of PMT's is not part of the project budget but has been accounted for through the above noted grant program.

At 5:59 p.m. Mr. Saad Hassan joined the meeting.

Staff will follow up with Jerry Muir, Community Relations Manager, BC Hydro with respect to the status of the grant application to ensure that if the Development Permit is issued this matter is addressed.

- Clarity with respect to the irrigation of the landscaped area

Staff noted that this will be a condition of the Development Permit should it be issued.

- Suggestion that there should be a mix of deciduous and confers along the east fence to provide for better screening in the winter months when the deciduous trees are bare
- Suggestion that the shrubs around the PMT be evergreen varieties rather than deciduous to ensure the PMT is screened year round

Moved/Seconded

THAT the BC Hydro Field Office/Works Yard Development Permit be supported;

AND THAT the applicant be requested to consider a mix of deciduous and confers along the east fence and around the PMT.

CARRIED

Chair Tracey Napier thanked the proponents for providing the Commission with further review and updated plans respecting the landscaping and lighting.

At 6:07 p.m. the BC Hydro delegation left the meeting and Mr. Bob Adams returned to the meeting and took his place at the table.

**4) REVISED MAJOR DEVELOPMENT PERMIT APPLICATION (DPA008)-
CRESTLINE (1422, 1426, 1430 Portage Road)**

Andrea Scott, Architect, provided an overview of the revised design plans for the Crestline Development on Portage Road. The following changes have been made:

- The number of buildings on the site have been reduced to two (2) from five (5).
- The height of the building has been reduced while maintaining the Flood Construction Level requirements and it is now the same height as Portage Station next door.
- The front setback has been revised from zero to 9.9 meters which provides more space for front landscaping
- The new renderings show the building design from both the east and west sides as opposed to just front facing which provides a better view of what the building will look like from those directions

- The garbage feature remains but has been dressed up to better camouflage the space

Discussion took place respecting the following:

- The need to establish landscaping or screening to hide the PMT located in the north/west corner of the property.

The proponents advised that they are waiting referral comments from BC Hydro with respect to options for screening and/or landscaping. It is the intention that the PMT will be hidden from view.

- Garbage enclosure pops up at grade which will require a Variance from both the Ministry of Transportation & Infrastructure and the Village of Pemberton.

The proponents advised that MOTI has supported the at grade garbage container.

- Enhancement of the space between Portage Station (concrete wall) and Crestline on the east side of the building.

The proponents advised that they would look at addressing this through planting of some form of creeping vine or plant.

- Addressing accessibility concerns with respect to the bench (seating area) located at the front of the property.

The proponents will add a back and arm rests to the bench.

Chair Tracy Napier thanked the proponents for taking into consideration the concerns and comments provided by the ADRC at the last meeting and addressing the issues of massing and improvements to the building and landscape design.

Moved/Seconded

THAT the Crestline Development Permit Application be supported;

AND THAT consideration be given to incorporating the following into the design/landscape plan:

- Screening of the PMT (north/west corner)
- Creeping evergreen plantings in the north/east side of the building to cover the pop up garbage enclosure

- Adding accessibility components (back and arm rests) to the bench located at the front of the property along the walkway

CARRIED

At 6:35 p.m. the Crestline Delegation left the meeting.

Ms. Pedrini thanked Mr. Adams for serving on the ADRC and noted that the new ADRC members will be welcomed at the first meeting in the new year – the date of which has not yet been confirmed.

Ms. Pedrini also provided the ADRC with an update on various developments advising that an application has been received from Innovation Building for Radius 2 on Crabapple and from the property owners of the Mount Currie View Mobile Home Park for new pads.

An update was also provided on the Wye Lands and the ADRC was advised that the Village has not yet received a Development Permit application but anticipates that one will be received in the spring.

Ms. Pedrini advised that there is the potential of the development of an affordable housing project on the vacant lot on Crabapple and Arbutus. The Commission members raised concern with respect to traffic flows and the impact of so much development in the area of Arbutus and Portage Road.

5) NEXT MEETING

The meeting date for the next meeting has not been established.

6) ADJOURNMENT

At 6:51 p.m. the meeting was adjourned.

Tracy Napier
ADRC Chair